

NOTICE OF LAND DEVELOPMENT APPLICATION

APPLICATION FOR THE REZONING: PORTION 4 OF FARM 1631 PAARL DIVISION: GROOT DRAKENSTEIN

The following land use application in terms of the Stellenbosch Bylaw on Municipal Land Use Planning 2023 refers:

Application Property Address: RFG Foods, Helshoogte Road, Groot Drakenstein

Application Property Number: Portion 4 of Farm 1631 Paarl Division

Applicant: Willie Steyn Land Use Planner (0218632396)

Owner: RFG Foods Pty Ltd (0218704129: Rian Matthys)

Application Reference: LU/TP 299/2023

Description of land development proposal:

Application has been made:

- a) In terms of Section 15(2)(a) of the Stellenbosch Bylaw on Municipal Land Use Planning 2023 for the rezoning of 0,97 ha of the application property from Agriculture and Rural Zone to Industrial Zone to extend the existing Industrial Zone of 14,9 ha for purposes of regularising an industrial storage yard and a waste water treatment works for the existing food cannery on the property; and
- b) For the Controlling Authority as defined in Act 21 of 1940's approval in terms of Condition C2 on page 14 of Title Deed T7807/2013 to erect additional structures on the application property.

Notice is hereby given in terms of the provisions of the said Bylaw that the above-mentioned application has been submitted to the Stellenbosch Municipality for consideration. The application is available for inspection on the Planning Portal of the Stellenbosch Municipality's website for the duration of the public participation process at the following address: <https://www.stellenbosch.gov.za/planning/documents/planning-notice/land-use-applications-advertisements>. If the website or documents cannot be accessed, an electronic copy of the application can be requested from the applicant.

You are hereby invited to submit comments and / or objections on the application in terms of Section 50 of the said Bylaw. Written comment, which must include the reference to the application, the name, contact details and physical address of the person to submit the comments, the reasons for the comments, and the interest of the person who submits the comment in the application, may be submitted to the applicant (Willie Steyn Land use Planner) by electronic mail as follows: williesteyn1960@gmail.com. By lodging an objection, comment or representation, the person doing so acknowledges that information may be made available to the public and to the applicant.

The comments must be submitted within 30 days from the date of this notice to be received on or before the closing date of **29 April 2024**.

The Municipality, in terms of Section 50(5) of the said Bylaw, may refuse to accept any comments/objection received after the closing date.

For any enquiries on the application or the above requirements, or if you are unable to write and/or submit your comments as prescribed, you may contact the applicant for assistance at williesteyn1960@gmail.com or telephonically at 0218632396 during normal office hours.

28 March 2024

KENNISGEWING VAN GRONDONTWIKKELINGSAANSOEK

AAANSOEK OM HERSONERING: GEDEELTE 4 VAN PLAAS 1631 AFDELING PAARL: GROOT DRAKENSTEIN

Die volgende grondgebruiksaansoek in terme van die Stellenbosch Verordening op Munisipale Grondgebruikbeplanning 2023 verwys:

Adres van aansoekeiendom: RFG Foods, Helshoogtepad, Groot-Draakenstein

Aansoekeiendom beskrywing: Gedeelte 4 van Plaas No. 1631 Afdeling Paarl

Aansoeker: Willie Steyn Grondgebruikbeplanner (0218632396)

Eienaar: RFG Foods Edms Bpk (0218704129: Rian Matthys)

Aansoek Verwysing: LU/TP 299/2023

Besonderhede van die grondgebruiksaansoek:

Aansoek is gedoen:

- a) In terme van artikel 15(2)(a) van die Stellenbosch Verordening op Munisipale Grondgebruikbeplanning 2023 vir die hersonering van 0,97 ha van die aansoekeiendom vanaf Landbou en Landelike Sone na Industriële Sone om die bestaande Nywerheidsone van 14,9 ha te vergroot ten einde 'n bestaande industriële stoorwerf en 'n afvalwater behandelingsaanleg vir die bestaande inmaakfabriek te magtig; en
- b) Vir die Beherende Gesag soos omskryf in Wet 21 van 1940 se goedkeuring in terme van Voorwaarde C2 op bladsy 14 van Titelakte T7807/2013 om addisionele strukture op die aansoekeiendom op te rig.

Kennis word hiermee gegee in terme van die voorskrifte van die genoemde verordening dat bovermelde aansoek by die Munisipaliteit Stellenbosch ingedien is vir oorweging. Die aansoek is ter insae op die Beplanningsportaal van die Munisipaliteit Stellenbosch se webtuiste vir die tydsduur van die publieke deelname proses by die volgende adres:

<https://www.stellenbosch.gov.za/planning/documents/planning-notices/land-use-applications-advertisements>. Indien die webtuiste of tersaaklike dokumente nie toeganklik is nie, kan die aansoeker versoek word om 'n elektroniese kopie van die aansoek beskikbaar te stel.

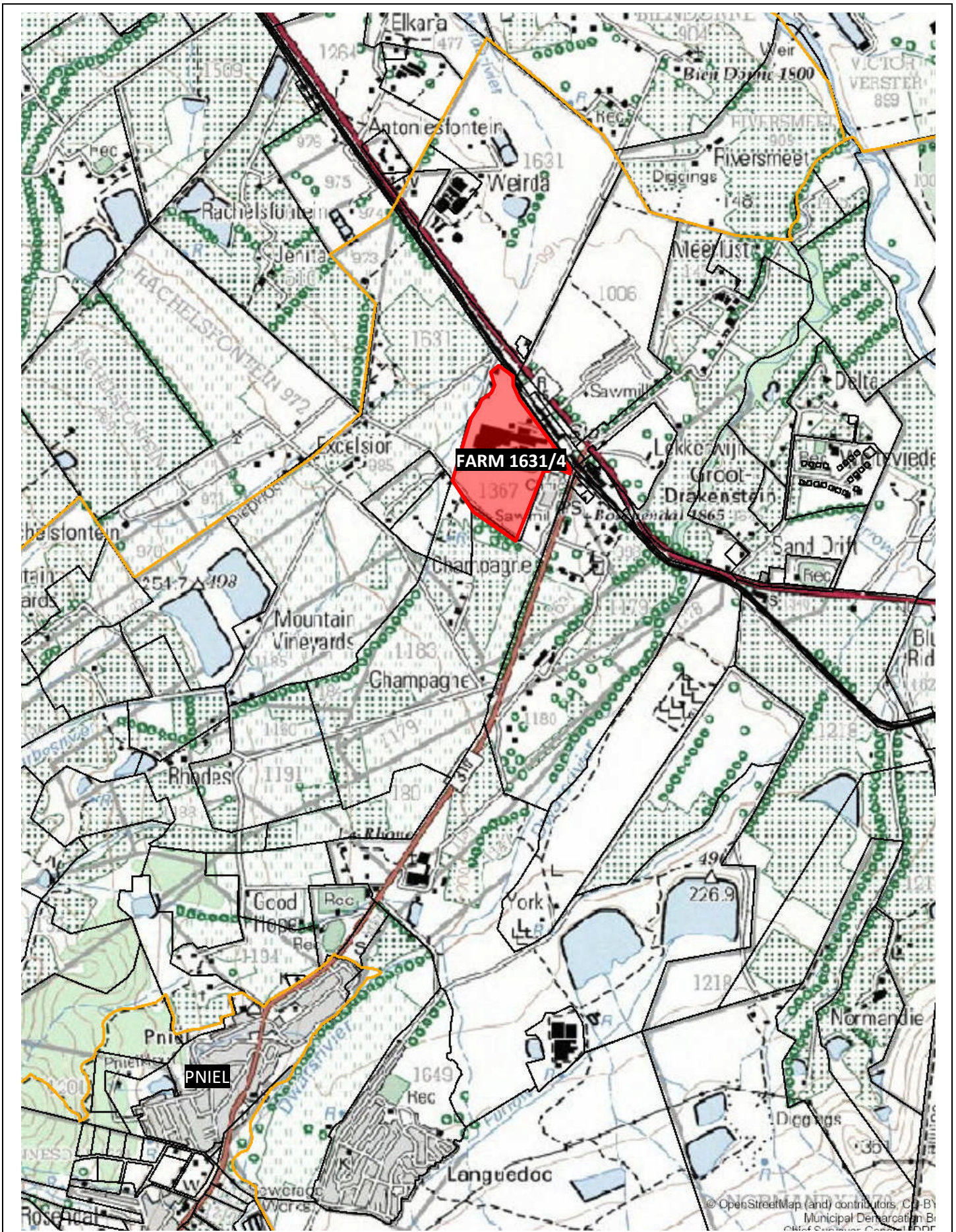
Kommentaar en/of besware kan ingedien word op die aansoek in terme van artikel 50 van die tersaaklike verordening. Skriftelike kommentaar, wat besonderhede ten opsigte van die verwysingsnommer van die aansoek, die name, fisiese adres en kontakbesonderhede van die persoon wat die kommentaar lewer, die redes vir die kommentaar, en die belang van die persoon wat die kommentaar lewer in die aansoek, kan by die aansoeker ingedien word by wyse van elektroniese pos as volg: williesteyn1960@gmail.com. Deur 'n beswaar, kommentaar of verhoë te rig, erken die persoon wat dit doen dat inligting aan die publiek en aan die aansoeker beskikbaar gestel kan word.

Die kommentaar moet binne 30 dae vanaf die datum van hierdie kennisgewing gestuur word en moet ontvang word voor of op die laaste dag van die sluitingsdatum van **29 April 2024**.

Daar moet kennis geneem word dat die munisipaliteit, in terme van artikel 50(5) van die vermeldde verordening, mag weier om enige kommentaar/beswaar te aanvaar wat na die sluitingsdatum ontvang word.

Indien daar enige navrae op die aansoek of bovermelde vereistes vir die lewer van kommentaar is, of indien dit nie moontlik is om geskrewe kommentaar te lewer of die kommentaar op die wyse te lewer soos voorgeskryf nie, kan die aansoeker vir bystand gekontak word by williesteyn1960@gmail.com of telefonies by 0218632396 gedurende normale kantoor ure.

28 Maart 2024



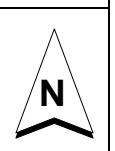
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 Municipal Demarcation Board
 2017 Survey of South Africa

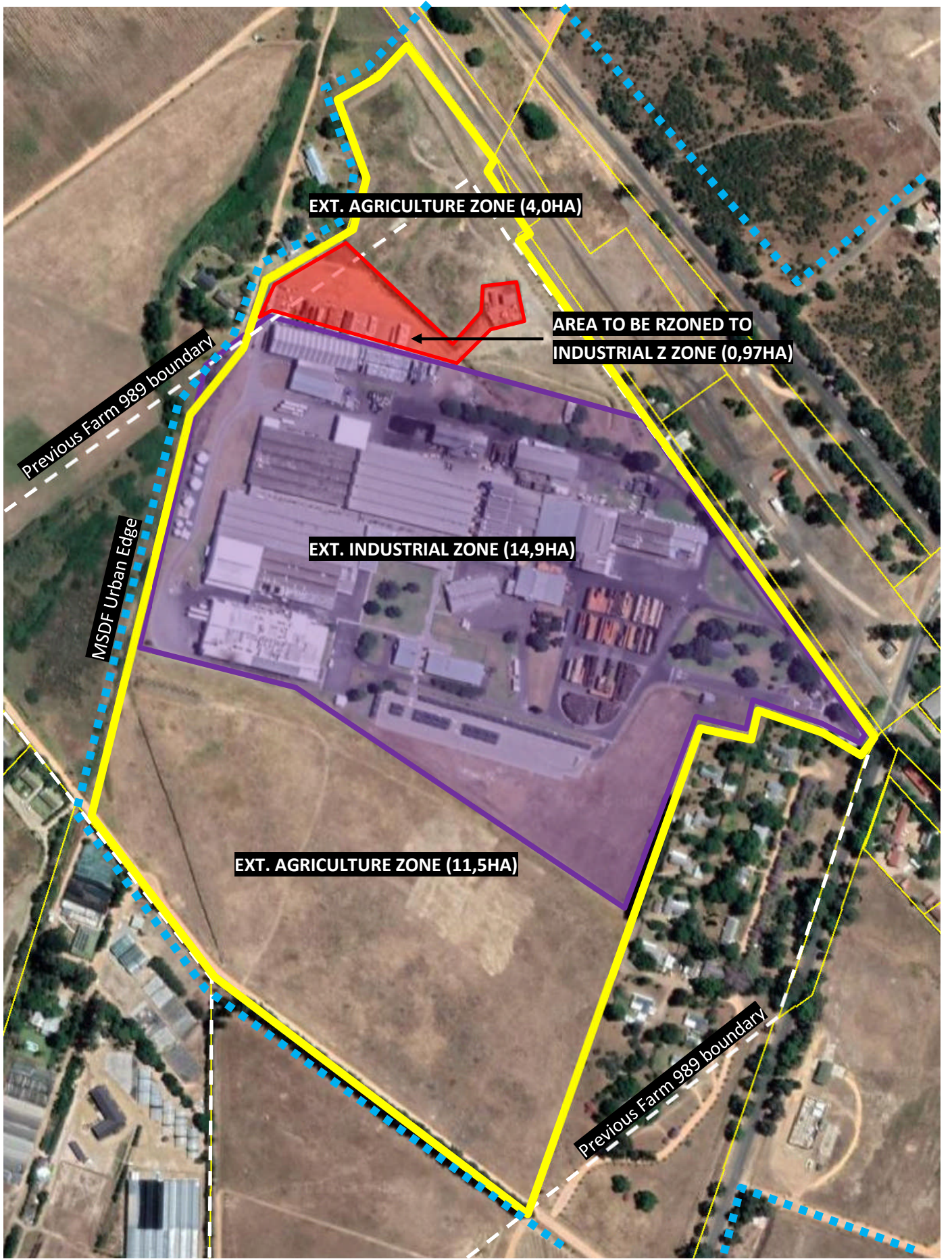
WILLIE STEYN
 Tchn. Pln (B/8074/1998)
LAND USE PLANNER
 082 757 2449

**FARM 1631/4 PAARL
 LOCATION**

Ref.
 RFG2
 Date
 30/5/2023

Base Info
 CFM
 Scale
 NTS





WILLIE STEYN
 Tch. Pln (B/8074/1998)
LAND USE PLANNER
 082 757 2449

**FARM 1631/4 PAARL
 PLAN OF REZONING**

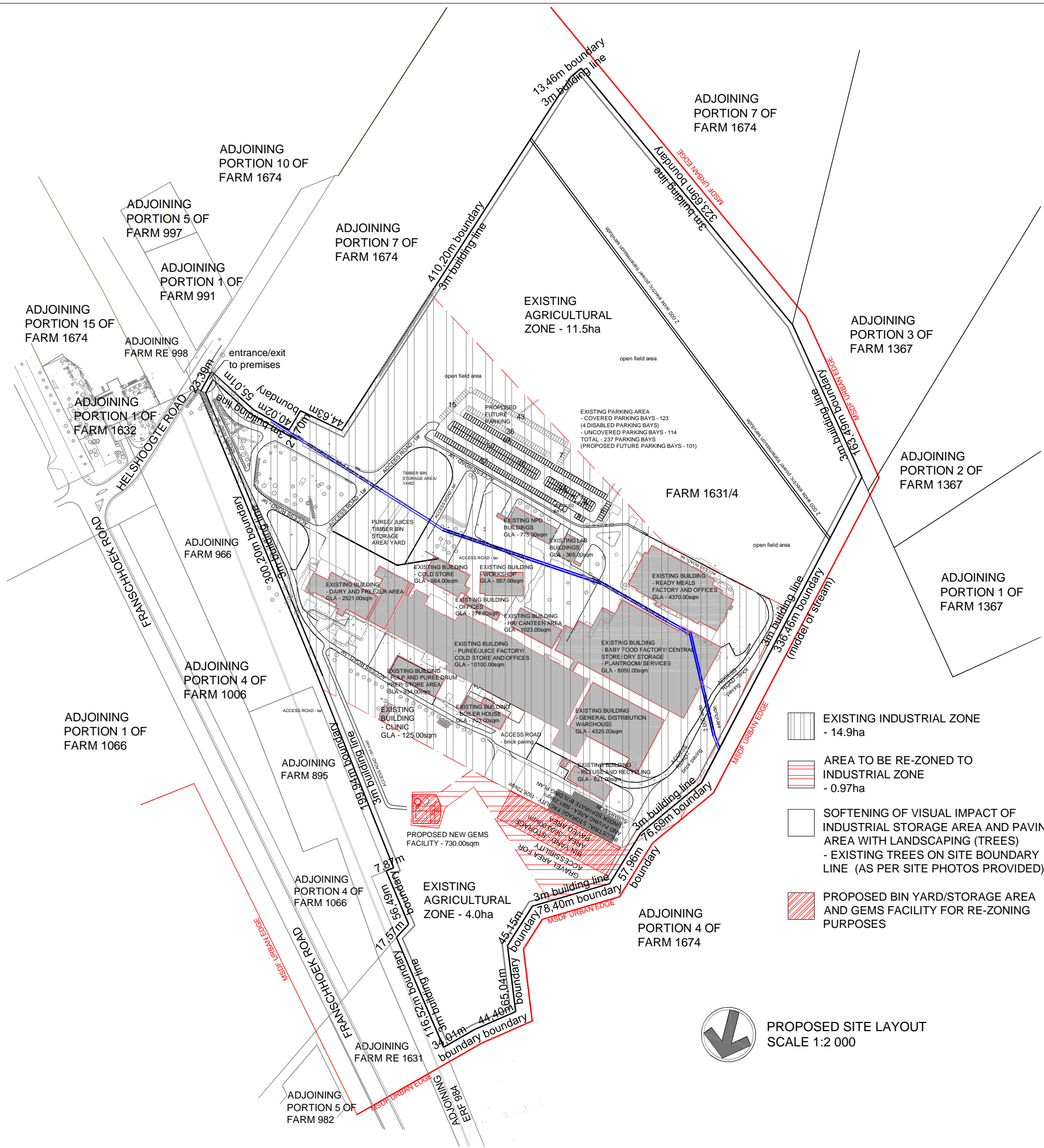
Ref.
RFG2

Date
23/5/2023

Base Info
CFM

Scale
NTS





PROPOSED SITE LAYOUT
SCALE 1:2 000

AREAS - SITE INFO

EXISTING GLA AREAS	
EXISTING NPD BUILDING	- 775.00sqm
EXISTING LAB BUILDING	- 365.00sqm
EXISTING READY MEALS	
FACTORY/OFFICES BUILDING	- 4 370.00sqm
EXISTING BABY FOOD FACTORY/ CENTRAL STORE/ DRY STORAGE BUILDING	- 8 050.00sqm
(PLANT ROOM AND SERVICE INCLUDED)	
EXISTING HR/ CANTEEN BUILDING	- 1 023.00sqm
EXISTING OFFICE BUILDING	- 274.00sqm
EXISTING WORKSHOP BUILDING	- 957.00sqm
EXISTING COLD STORE BUILDING	- 964.00sqm
EXISTING DAIRY/ FREEZER AREA BUILDING	- 2 521.00sqm
EXISTING PUREE/ JUICE FACTORY/ COLD STORE AND OFFICES BUILDING	- 10 100.00sqm
EXISTING GENERAL DISTRIBUTION WAREHOUSE BUILDING	- 4 325.00sqm
EXISTING REFUSE/RECYCLING BUILDING	- 621.00sqm
EXISTING CLINIC BUILDING	- 125.00sqm
EXISTING BOILER HOUSE BUILDING	- 703.00sqm
EXISTING PULP AND PUREE DRUM PREP/ STORE AREA BUILDING	- 934.00sqm
TOTAL	- 36 107.00sqm
PROPOSED NEW GEMS FACILITY	- 730.00sqm
PROPOSED NEW INDUSTRIAL STORAGE FACILITY BUILDING	- 1926.72sqm
(PAVING)	- 5061.23sqm
TOTAL	- 38 763.72sqm

ERF DETAIL
 - total farm 1631/04 is 30.3951 hectares (PAARL Division)
 COVERAGE - 1.3%

ZONING - SPLIT ZONING
 - AGRICULTURAL AND RURAL ZONE
 - INDUSTRIAL ZONE

BUILDING LINES
 ALL BOUNDARIES - 3.0m
 COVERAGE - N/A
 HEIGHT RESTRICTION - 3 storey's

PARKING REQUIREMENTS (OFF-STREET PARKING REQUIREMENTS)
INDUSTRIAL EXISTING
 - 1 bays per 200sqm GROSS LEASABLE AREA
 30 228sqm = 151 bays
 (AS PER ARTICLE 33(4) OF STELLENBOSCH ZONING SCHEME BY-LAW)
 - 8 loading bays provided
NEW ADDITIONS
 - 1.5 bays per 100sqm GROSS LEASABLE AREA
 2657sqm = 40 additional bays
 (AS PER TABLE A OF STELLENBOSCH ZONING SCHEME BY-LAW)

TOTAL REQUIRED - 191 bays
TOTAL PROVIDED - 237 on site public parking on premises (PROPOSED FUTURE PARKING BAYS - 101)

GENERAL NOTES

- ALL THE MEASUREMENTS AND LEVELS MUST BE CHECKED ON SITE BEFORE BUILDINGWORK STARTS
- ANY DIFFERENCES MUST BE DISCUSSED WITH THE DRAFTSMAN AND ADJUSTED AS DISCUSSED
- ALL MATERIALS USED DURING BUILDINGWORK MUST BE SANS APPROVED AND CERTIFIED
- DCP TESTS TO BE CARRIED OUT BEFORE BUILDINGWORK STARTS AND COMPACTION DONE ACCORDINGLY
- WALLS MUST BE DISTRIBUTED AND INSTALLED EVENLY IN A PATTERN IN A CAVITY WALL IN AN AMOUNT OF 2.5 TIES PER SQUARE METRE FROM THE OUTSIDE SKIN WHERE THE CAVITY DOES NOT EXCEED 75mm AND IN A AMOUNT OF 3 TIES PER SQUARE METRE WHERE THE CAVITY EXCEEDS 75mm - AS PER PART K OF SANS 10400
- WEEPHOLES MUST BE ALLOWED FOR IN THE OUTSIDE SKIN OF ALL CAVITY WALLS AT SPACINGS OF MAXIMUM 1m IN THE BRICK LAYER DIRECTLY ABOVE THE DPC
- NO BUILDINGWORK MAY EXCEED THE ERF BOUNDARY
- ALL FOUNDATIONS ON SOLID SOIL - AS PER PART B/H OF SANS 10400
- STORMWATER LAYOUT AND DISCHARGE ON ERF AS PER PART R OF SANS 10400 AND BS (ACT 103/1977)
- PRECAST CONCRETE LINTOLS OVER ALL INTERNAL OF EXTERNAL OPENINGS EXCEEDING 600mm - AS PER PART K OF SANS 10400
- FIRE EQUIPMENT - INSTALLATION AS PER SANS 1910 AND UPKEEP AS PER SANS 1475-1 AND SANS 10105-1
- SAFETY SIGNAGE AS PER FIRE ENGINEERS DETAILS

REVISION/HERSIENING
 REV-01 - NONE

CLIENT/KLIENT
 I ROSSOUW

I-DESIGN
 ARCHITECTURAL DESIGN
 ILZE-MERÉ ROSSOUW
 ARCHITECTURE, ENGINEERING
 (SACAP REGISTRATION NUMBER)
 (S.AFT/11/1866)
 P.O. Box 1137
 Wellington
 Phone: 082 430 6768
 Tel/Fax: 021 864 2293
 Email: i.design@mylink.co.za

JOB/PROJEK
 SDP PLAN FOR PROPOSED RE-ZONING APPLICATION, ON FARM 1631/4, Paarl Division, GROOT DRAKENSTEIN FOR RFG FOODS (Pty) Ltd

DESCRIPTION/BESKRYWING SDP OF SITE FOR RE-ZONING APPLICATION	SCALE/ SKAAL 1:100
DATE/DATUM 18-05-2023	DRAWING NO/TEK NO 0632-LUM01 (RE-ZONING APPLICATION)
DRAWN BY/GETEKEN DEUR I ROSSOUW	REVISION/HERSIENING REV- NONE

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NOTES
 1: See general construction notes drawing No. C17010-000-00 for notes.
 2: Structural drawings must be read in conjunction with Architectural drawings and any discrepancies must immediately be brought to the attention of the Engineer.

PROJECT
RHODES FOOD GROUP

CLIENT
RHODES FOOD GROUP

KEY PLAN



A	21.07.21	CONTRACTOR	PL
R	DATE	ISSUED TO	BY

A	21.07.21	PRICING	PL	LL
R	DATE	REVISION	BY	CHKD

INTEGRATE
 STRUCTURAL AND CIVIL ENGINEERING

VINEYARDS OFFICE ESTATE
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 PO BOX 9733
 TYGER VALLEY 7536

TELEPHONE: 021 913 7353
 FACSIMILE: 021 913 2620
 EMAIL: info@ice.co.za
 INTERNET: www.ice.co.za

DRAWING
**BIN YARD LAYOUT - PHASE 3
 OPTION 1**

STAND/ERF No.
 -

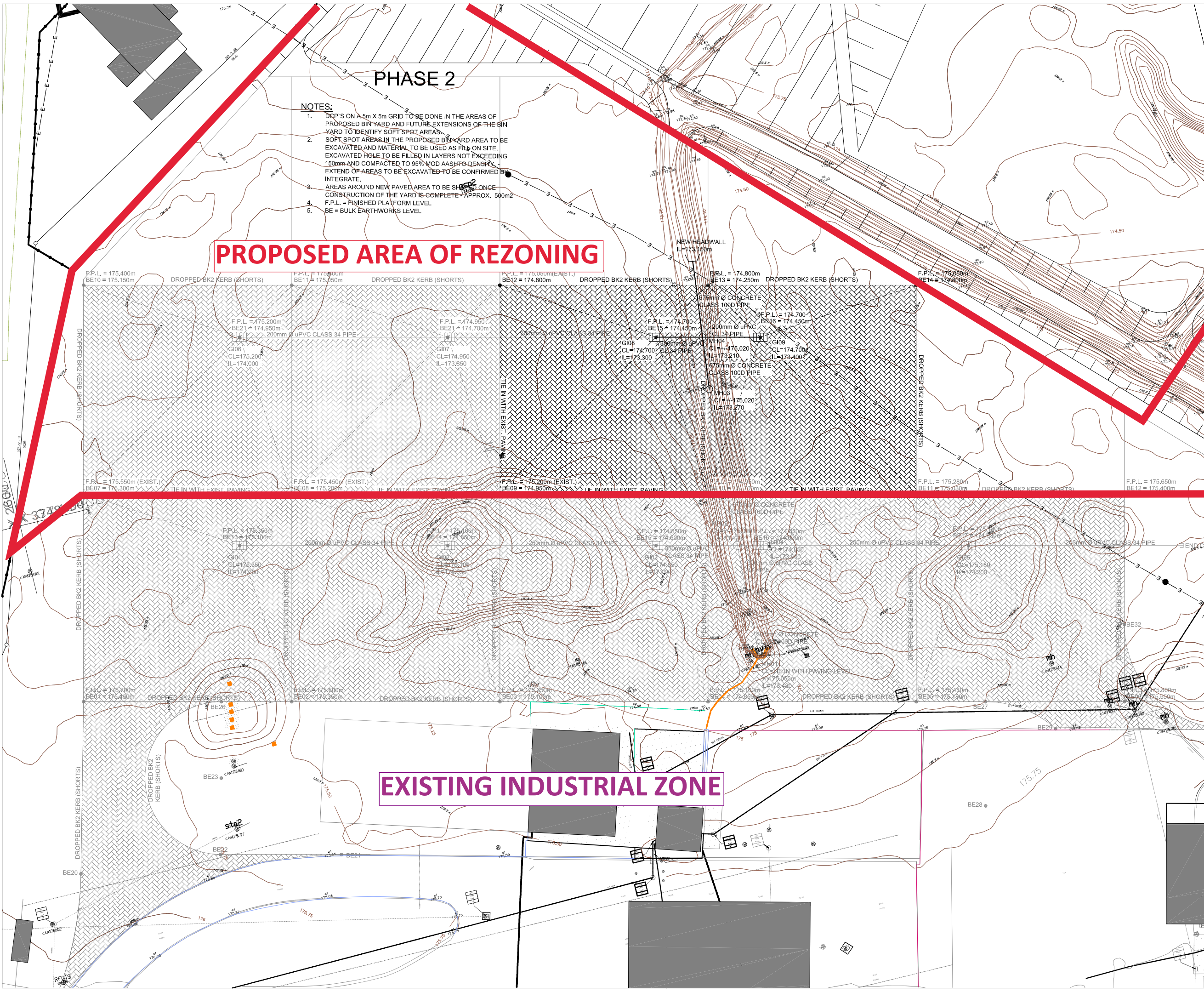
SCALE: AS SHOWN ON A1 DATE: JULY 2021 DRAWN: PL

ARCHITECT:
 -

VERIFIED: APPROVED:

JOB No.
C 21002 /

DRAWING No.
100 - 01 REV. A



PHASE 2

- NOTES:
1. DCP'S ON A 5m X 5m GRID TO BE DONE IN THE AREAS OF PROPOSED BIN YARD AND FUTURE EXTENSIONS OF THE BIN YARD TO IDENTIFY SOFT SPOT AREAS.
 2. SOFT SPOT AREAS IN THE PROPOSED BIN YARD AREA TO BE EXCAVATED AND MATERIAL TO BE USED AS FILL ON SITE. EXCAVATED HOLE TO BE FILLED IN LAYERS NOT EXCEEDING 150mm AND COMPACTED TO 95% MOD AASHO DENSITY. EXTEND OF AREAS TO BE EXCAVATED TO BE CONFIRMED BY INTEGRATE.
 3. AREAS AROUND NEW PAVED AREA TO BE SHOWN ONCE CONSTRUCTION OF THE YARD IS COMPLETE - APPROX. 500m²
 4. F.P.L. = FINISHED PLATFORM LEVEL
 5. BE = BULK EARTHWORKS LEVEL

PROPOSED AREA OF REZONING

EXISTING INDUSTRIAL ZONE

GENERAL NOTES

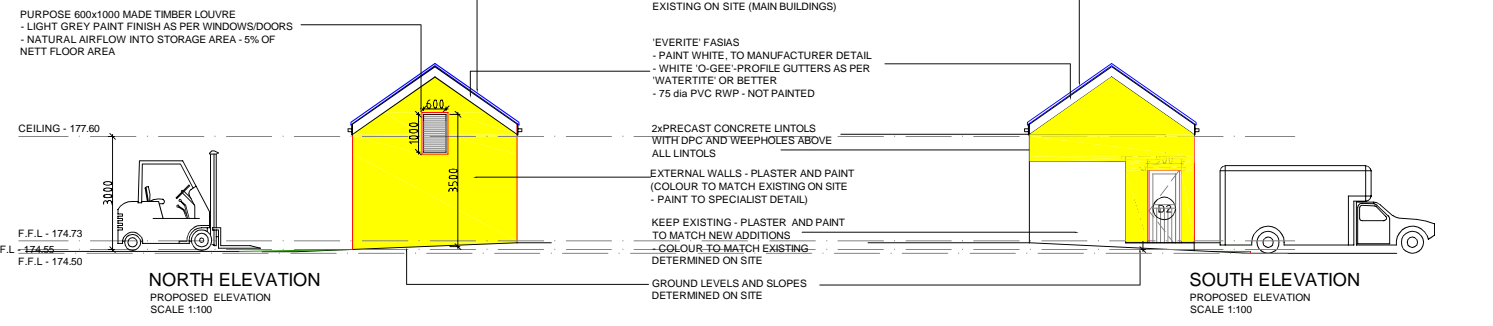
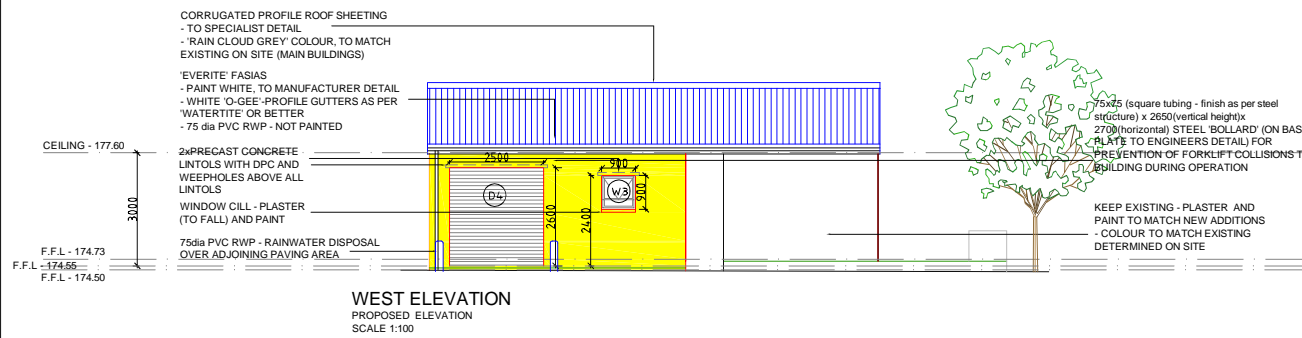
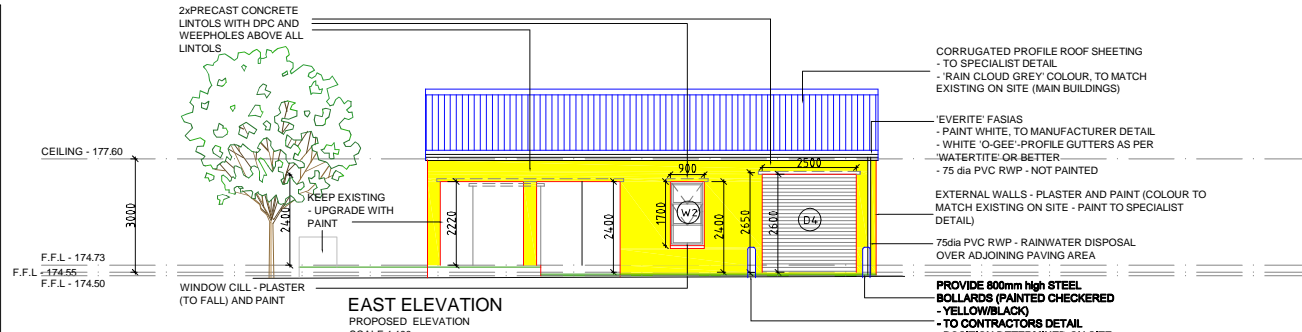
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- SAFETY SIGNAGE AS PER FIRE ENGINEERS DETAILS

WINDOW SCHEDULE

- W1 - KEEP EXISTING
- W2 - WJ01 (800x1700 TOP HUNG DOUBLE OPENING PANEL WINDOW - AS PER ELEVATION) TIMBER FRAME WINDOW - CLEAR GLAZING - VARNISH FINISH
- W3 - WF01 (800x900) WINDOW (TOP HUNG PANEL - AS PER ELEVATION) - OBSCURE GLAZING - VARNISH FINISH
- WINDOWS SPECIFIED AS PER 'CAPE CULTURE' CATALOGUE - SWARTLAND MANUFACTURER
- ALL GLAZING MUST COMPLY TO SAGGA REGULATIONS AND PART N OF SANS 10400
- SAFETY GLAZING TO ALL AREAS EXCEEDING 1m AND GLAZING LOWER THAN 500mm FROM FFL
- PURPOSE MADE WINDOWS AS PER SPECIALIST DETAIL - EXISTING TO BE MEASURED ON SITE AND NEW WINDOWS PURPOSE MADE ACCORDINGLY
- ALL MEASUREMENTS AND AMOUNTS OF WINDOWS NEEDED, MUST BE CHECKED ON SITE BEFORE BEING ORDERED
- INSTALLATION AND IRONMONGERY AS PER MANUFACTURER DETAIL
- PRE-CAST CONCRETE LINTELS OVER ALL INTERNAL AND EXTERNAL OPENINGS EXCEEDING 600mm

DOOR SCHEDULE

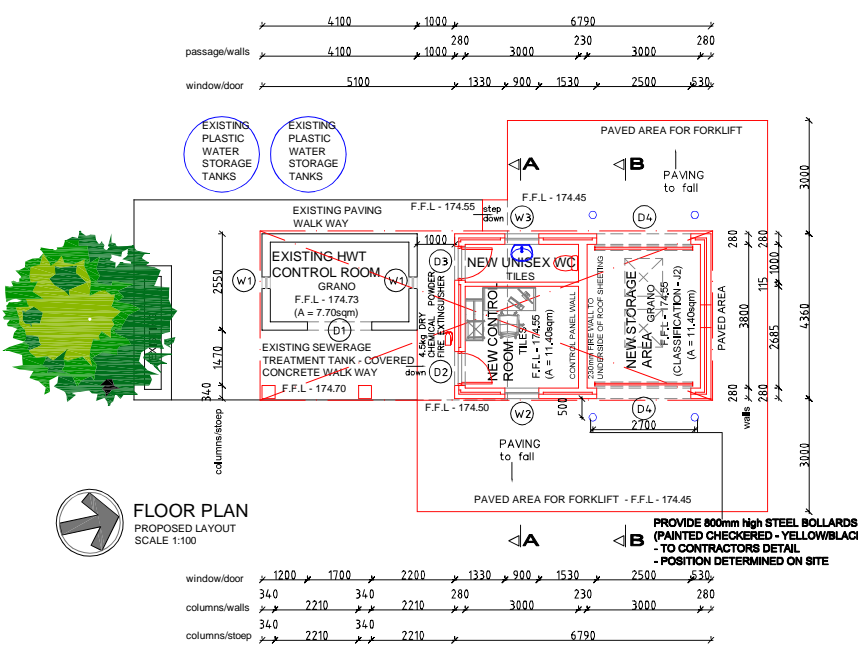
- D1 - KEEP EXISTING OPENING AND GATES
- D2 - SD14 SINGLE SWING TIMBER DOOR, WITH CLEAR GLASS INSERT, AND FRAME (WITH CILL) - IRONMONGERY AS PER MANUFACTURER - VARNISH FINISH
- D3 - SD2 SINGLE SWING TIMBER DOOR AND FRAME (WITH CILL) - IRONMONGERY AS PER MANUFACTURER - VARNISH FINISH
- D4 - 2500x2600 GALVANIZED ROLLER SHUTTER DOOR (WITH PEDESTRIAN DOOR) AS PER 'COROMA' SPECIFICATIONS OR BETTER - DOOR INSTALLATION TO MANUFACTURERS DETAIL - NATURAL SILVER FINISH
- ROLLER DOOR GUIDES TO BE 30mm FROM FFL OF STORAGE AREA AND 15mm NUPRENE RUBBER ENDING TO DOOR ON FFL - PREVENTION OF DIRECT CONTACT TO CONTAMINATED FLOOR WATER IN CASE OF SPILLAGE OF CHEMICALS
- DOORS SPECIFIED AS PER 'CAPE CULTURE' CATALOGUE - SWARTLAND MANUFACTURER
- ALL GLAZING MUST COMPLY TO SAGGA REGULATIONS AND PART N OF SANS 10400
- SAFETY GLAZING TO ALL AREAS EXCEEDING 1m AND GLAZING LOWER THAN 500mm FROM FFL
- PURPOSE MADE DOORS AS PER SPECIALIST DETAIL
- ALL MEASUREMENTS AND AMOUNTS OF DOORS NEEDED, MUST BE CHECKED ON SITE BEFORE BEING ORDERED
- INSTALLATION AND IRONMONGERY AS PER MANUFACTURER DETAIL
- PRE-CAST CONCRETE LINTELS OVER ALL INTERNAL AND EXTERNAL OPENINGS EXCEEDING 600mm
- DOOR SWING AS INDICATED ON FLOOR PLANS



ROOF ISOLATION CALCULATIONS (SECTION A-A)

CONSTRUCTION - R-VALUES	
ROOF SHEETING	0.30
ALL-BUBBLE 2906	1.45
110mm ISOTHERM	2.79
CEILING BOARDS	0.06
TOTAL R-VALUE	3.80

- THIS, ISOLATION CONSTRUCTION OF ROOF COMPLIES WITH SANS 10400 - PART XA (ENERGY EFFICIENCY) - R-VALUE = 3.7



ENERGY EFFICIENCY CALCULATIONS (FENESTRATION)

NEW OFFICE AREA/WC
TOTAL NETT FLOOR AREA

FENESTRATION
(NOT MORE THAN 15% OF TOTAL FLOOR AREA)
PROPOSED - 15% of 22.80sqm (netto floor area) is 3.40sqm
ON SITE - 3.40sqm given fenestration is 15.5%

VENTILATION
(NOT LESS THAN 5% OF TOTAL FLOOR AREA)
PROPOSED - 5% of 22.80sqm (netto floor area) is 1.14sqm
ON SITE - 2.89sqm given ventilation is 7.5%

- THIS, FENESTRATION AND VENTILATION COMPLY TO REGULATIONS OF SANS 10400 - PART XA (ENERGY EFFICIENCY)

AREAS

EXISTING HWT CONTROL ROOM	- 10.45sqm
NEW EXTENSION (SITE OFFICE, STORAGE, WC.)	- 29.60sqm
NEW COVERED CONCRETE WALK WAY	- 11.80sqm
NEW OVER HEAD STEEL FRAME ROOF	- 81.47sqm
TOTAL	- 133.32sqm

ERF DETAIL
- total erf 1631-04 is 30.3951 hec
COVERAGE - n/a

ZONING - INDUSTRIAL/AGRICULTURAL

CLASSIFICATION
D2 - MODERATE RISK INDUSTRIAL

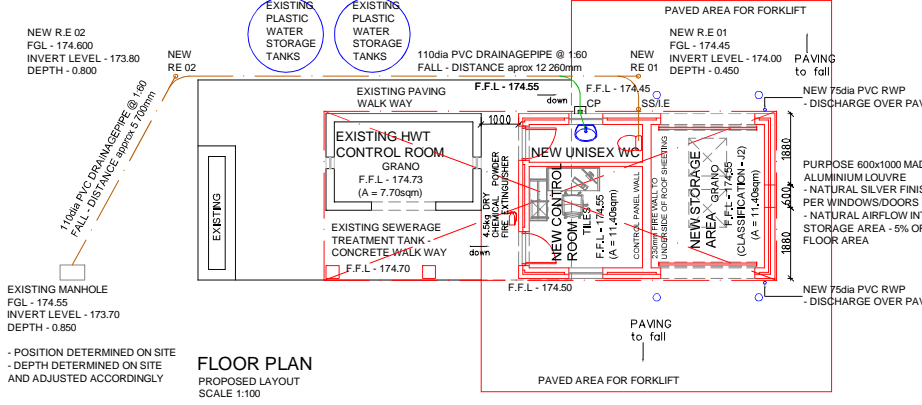
- OCCUPANCY WHERE INDUSTRIAL PROCESS IS CARRIED OUT - EITHER MATERIAL HANDLED OR PROCESS CARRIED OUT IS LIABLE IN EVENT OF FIRE, TO CAUSE COMBUSTION WITH MODERATE INTENSITY, BUT NOT LIKELY TO GIVE OFF POISONOUS FUMES OR CAUSE EXPLOSION

NOTE - DRAINAGE

- ALL DRAINAGE TO COMPLY TO PART P OF SANS 10400
- WATER RETICULATION AND SEWERAGE TO COMPLY TO SANS 10252-1 AND SANS 10252-2 AND SANS 10400 PART P
- SEWERAGE CONNECTIONS TO MUNICIPAL CONNECTIONS NOT TO EXCEED DEPTH OF 1000mm
- PLUMBING INSTALLATION TO SPECIALIST AND COC TO BE PROVIDED
- ALL STORM WATER TO COMPLY TO PART R OF SANS 10400

NOTE - CONSTRUCTION

- ALL ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEERS AND CIVIL DRAWINGS AND ADJUSTMENTS TO BE DISCUSSED ON SITE WITH ALL PARTIES AND ADJUSTED ACCORDINGLY



ROOF: PRE-COLOURED ZINCALUME CORRUGATED ROOF SHEETING (0.53mm - RAIN CLOUD GREY COLOR, TO MATCH EXISTING ON SITE) ON 76x50 BATTENS @ +/- 1000mm c/c ON 'ALL BUBBLE' INSULATION ON PRE-FABRICATED ROOF TRUSSES @ +/- 1000mm c/c

- TRUSSES TO COMPLY TO PART L (4.4.12 - FIG 11&12) OF SANS 10400
- TRUSSES ANCHORED IN WALL WITH GALV HOOP IRON STRIPS MIN 600mmx4 BRICK LAYERS (ROOF CONSTRUCTION TO COMPLY TO PART L OF SANS 10400 - TABLE 8)
- 38x50 WALL-PLATE AGAINST WALL UNDER RAFTER ANCHORING IN WALL
- 35 degree FALL TO ROOF.

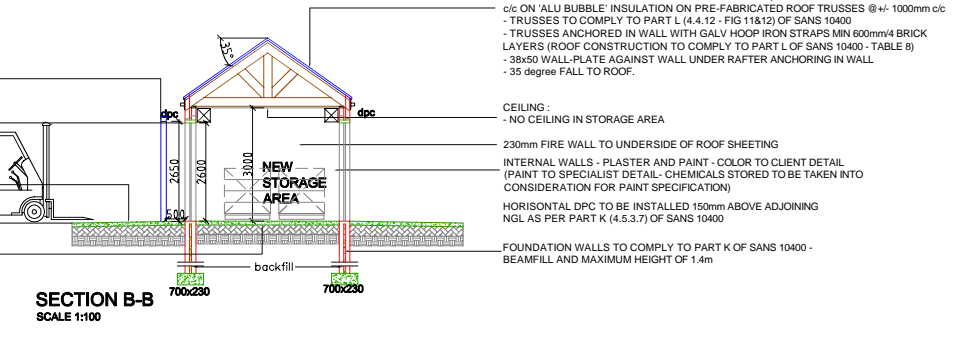
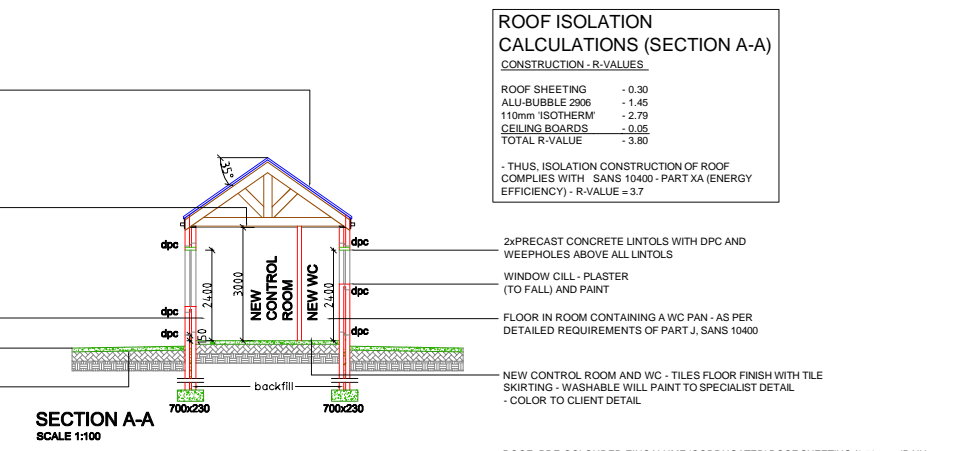
CEILING: OFFICE/WC AND OPEN STOEP AREA/CONCRETE WALK WAY

- EVERITE NUTEC SMOOTH SUSPENDED CEILING BOARDS (TO SPECIALIST DETAIL)
- SABS APPROVED INSULATION ON TOP OF CEILING BOARDS - R-VALUE OF 3.7
- PAINT TO MANUFACTURERS DETAIL
- COLOUR AND CORNICE TO CLIENT DETAIL
- CEILING CONSTRUCTION AND MATERIALS USED TO COMPLY TO PART C, L AND T OF SANS 10400

HORIZONTAL DPC TO BE INSTALLED 150mm ABOVE ADJOINING NGL AS PER PART K (4.5.3.7) OF SANS 10400

INTERNAL WALLS: PLASTER AND PAINT (COLOUR TO CLIENT DETAIL - PAINT TO SPECIALIST DETAIL)

PAVING (TO CLIENT DETAIL) ON 250mm DPC ON GOOD COMPACTED FILLING IN LAYERS OF MAKES 150mm. - FALL OF PAVING TO BE DETERMINED ON SITE, AS PER SITE LEVELS (FALL approx 1:12)



REVISION/HERSINGENING

REV-01 - WINDOW/DOOR SCHEDULE AMENDMENTS
REV-02 - ELECTRICAL CABLE POSITION (EXISTING DB TO NEW CONTROL ROOM)

CLIENT
IROSSOUW
POA

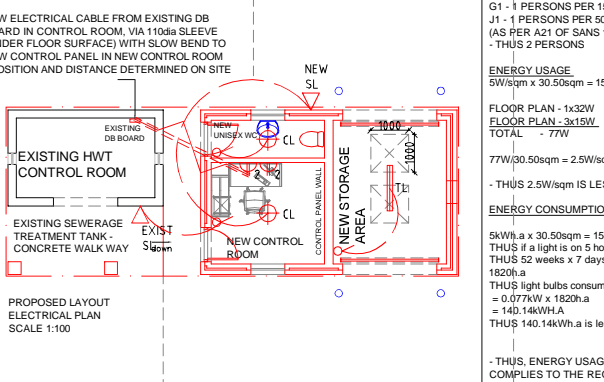
I-DESIGN
ARCHITECTURAL DESIGN
ILZE-MERIE ROSSOUW
SACAP REGISTRATION NUMBER: 12848
(DELT SAFT/11/1898)
PO Box 1137
Willington
Phone: 082 430 6768
Tel/Fax: 021 064 2393
Email: i.design@gmail.com

JOB/PROJECT
PLANS FOR PROPOSED NEW CONTROL ROOM/STORAGE AREA AND OVERHEAD STEEL FRAME AT NEW GEMS PLANT, ON ERF 1631-04, PANIEL ROAD, GROOT DRAGENSTEN FOR RHODES FOOD GROUP

DESCRIPTION/BESKRYWING	SCALE/ SKAAL
SITE CONTROL ROOM/STORAGE FLOOR PLANS/ELEVATIONS SECTIONS	1:100
DATE/DATUM	DRAWING NOTEK NO
15-06-2021	0547-MS02 (MUNICIPAL SUBMISSION)
DRAWN BY/GETEKEN DEUR	REVISION/HERSINGENING
IROSSOUW	REV-02

ELECTRIC SYMBOLS

CL	- CEILING LIGHT
WL	- WALL LIGHT
TL	- FLOURESCENT TUBE LIGHT
WPWL	- WATERPROOF WALL LIGHT
SL	- SECURITY LIGHT (MOTION SENSOR)
LS	- LIGHT SWITCHES
SW	- SINGLE WALL PLUG
2	- DOUBLE WALL PLUG
GAS	- HOT WATER CYLINDER
DB	- DISTRIBUTION BOARD



EE CALCULATIONS - EXISTING DWELLING AND NEW ADDITIONS

OCCUPATION CLASSIFICATION - G1/2
G1 - 1 PERSONS PER 15sqm
J1 - 1 PERSONS PER 50sqm (AS PER A21 OF SANS 10400)

THIS 2 PERSONS

ENERGY USAGE
5W/sqm x 30.50sqm = 152.50W

FLOOR PLAN - 1x32W FLOOR PLAN - 3x15W TOTAL - 77W
77W/30.50sqm = 2.5W/sqm

- THIS 2.5W/sqm IS LESS THEN 5W/sqm REQUIRED

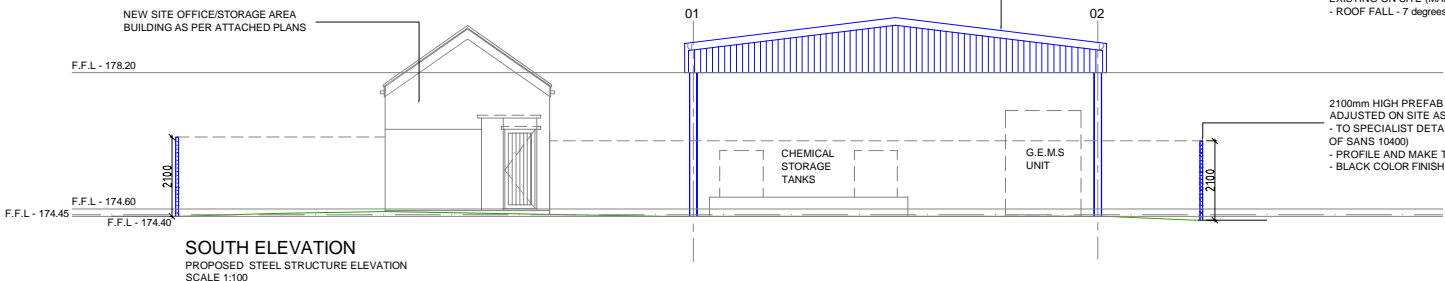
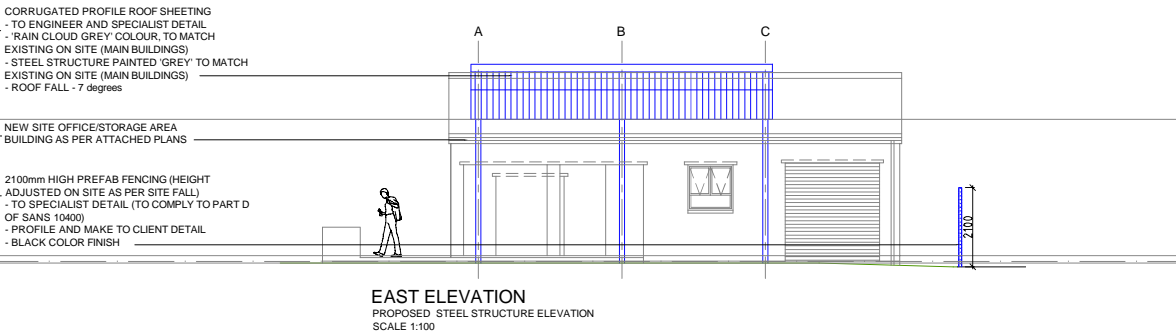
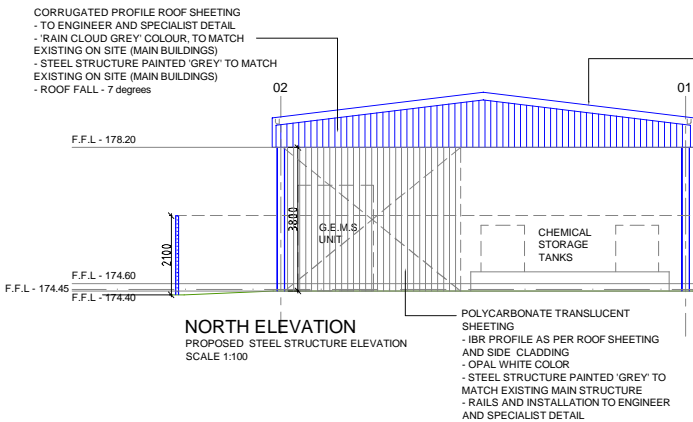
ENERGY CONSUMPTION
5kW/a x 30.50sqm = 152.50kWh/a
THIS if a light is on 5 hours per day
THIS 52 weeks x 7 days in a week x 5 hours per day = 1820h/a
THIS light bulbs consumption
= 0.077kW x 1820h/a = 140.14kWh/a
THIS 140.14kWh/a is less then 152.50kWh/a

- THIS, ENERGY USAGE AND CONSUMPTION COMPLIES TO THE REQUIREMENTS OF SANS 10400 - PART XA (ENERGY EFFICIENCY) AND SANS 204

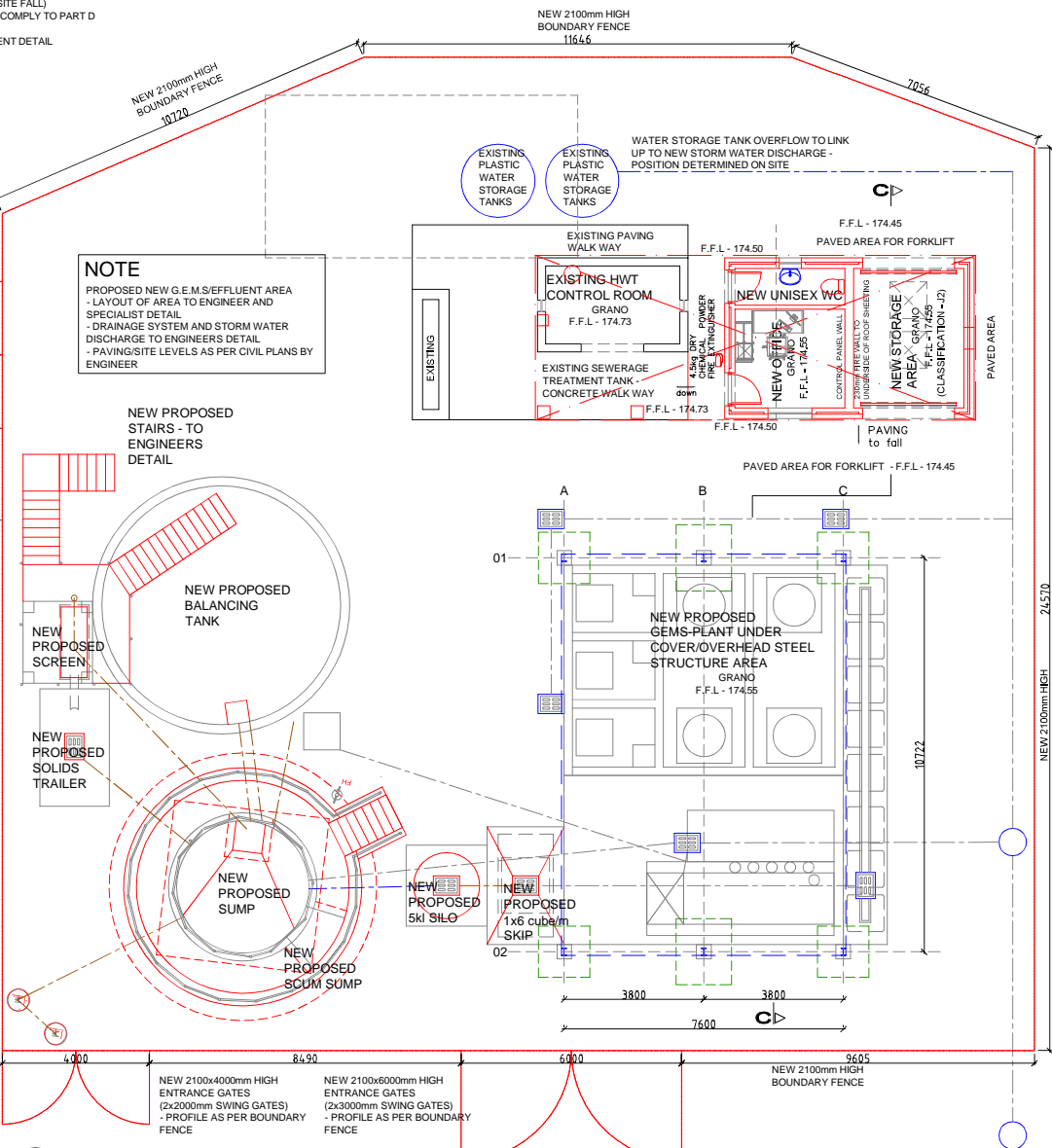
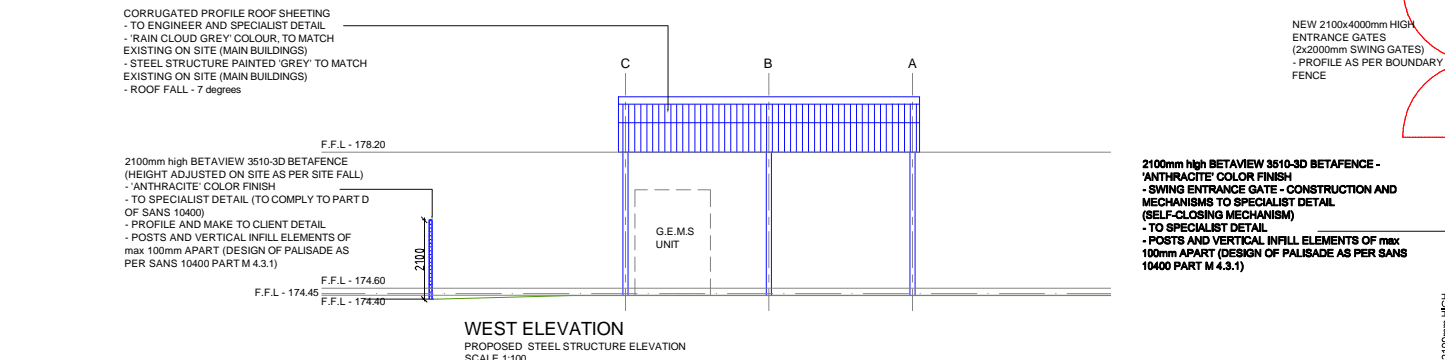
GENERAL NOTES

- ALL THE MEASUREMENTS AND LEVELS MUST BE CHECKED ON SITE BEFORE BUILDINGWORK STARTS
- ANY DIFFERENCES MUST BE DISCUSSED WITH THE DRAFTSMAN AND ADJUSTED AS DISCUSSED
- ALL MATERIALS USED DURING BUILDINGWORK MUST BE SANS APPROVED AND CERTIFIED
- DCP TESTS TO BE CARRIED OUT BEFORE BUILDINGWORK STARTS AND COMPACTION DONE ACCORDINGLY
- WALL TIES MUST BE DISTRIBUTED AND INSTALLED EVENLY IN A PATTERN IN A CAVITY WALL IN AN AMOUNT OF 2.5 TIES PER SQUARE METRE FROM THE OUTSIDE SKIN WHERE THE CAVITY DOES NOT EXCEED 75mm AND IN AN AMOUNT OF 3 TIES PER SQUARE METRE WHERE THE CAVITY EXCEEDS 75mm - AS PER PART K OF SANS 10400
- WEEPHOLES MUST BE ALLOWED FOR IN THE OUTSIDE SKIN OF ALL CAVITY WALLS AT SPACINGS OF MAXIMUM 1m IN THE BRICK LAYER DIRECTLY ABOVE THE DPC
- NO BUILDINGWORK MAY EXCEED THE ERF BOUNDARY
- ALL FOUNDATIONS ON SOLID SOIL - AS PER PART B/H OF SANS 10400
- STORMWATER LAYOUT AND DISCHARGE ON ERF AS PER PART R OF SANS 10400 AND BS (ACT 103/1977)
- PRECAST CONCRETE LINTOLS OVER ALL INTERNAL OR EXTERNAL OPENINGS EXCEEDING 600mm - AS PER PART K OF SANS 10400
- FIRE EQUIPMENT - INSTALLATION AS PER SANS 1910 AND UPKEEP AS PER SANS 1475-1 AND SANS 10105-1
- SAFETY SIGNAGE AS PER FIRE ENGINEERS DETAILS

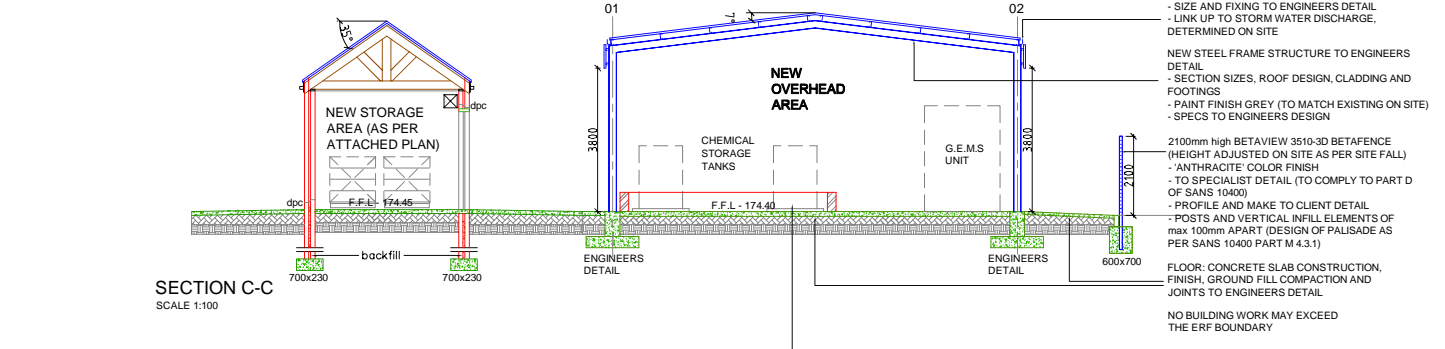
ROOF NOTE
 - COC TO BE SUBMITTED BY MANUFACTURER AND CONTRACTOR AFTER INSTALLATION/COMPLETION
 - ALL INSTALLATIONS/ASSEMBLY AS PER MANUFACTURERS DETAIL AND SANS SPECIFICATIONS



NOTE - ENCLOSED FENCED AREA
 PUBLIC SAFETY OF THE PROPOSED NEW G.E.M.S.-PLANT/EFFLUENT AREA TO COMPLY TO PART D OF SANS 10400
 - GATE TO OPEN OUTWARD (AWAY FROM PROPOSED NEW TANKS) WITH SELF-CLOSING MECHANISM
 - TO BE INSTALLED TO SPECIALIST DETAIL
 - TOTAL LENGTHS OF FENCING TO BE ADJUSTED ON SITE AFTER CONSTRUCTION, IF NEEDED



FLOOR PLAN
 PROPOSED LAYOUT
 SCALE 1:100



2100mm high BETAVIEW 3510-3D BETAFENCE - 'ANTHRACITE' COLOR FINISH
 - SWING ENTRANCE GATE - CONSTRUCTION AND MECHANISMS TO SPECIALIST DETAIL (SELF-CLOSING MECHANISM)
 - TO SPECIALIST DETAIL
 - POSTS AND VERTICAL INFILL ELEMENTS OF max 100mm APART (DESIGN OF PALISADE AS PER SANS 10400 PART M 4.3.1)

NEW GUTTERS AND DOWN PIPES TO ENGINEERS DETAIL
 - GALVANIZED SQUARE DOWN PIPES
 - COLOR TO MATCH CLADDING
 - SIZE AND FIXING TO ENGINEERS DETAIL
 - LINK UP TO STORM WATER DISCHARGE, DETERMINED ON SITE

NEW STEEL FRAME STRUCTURE TO ENGINEERS DETAIL
 - SECTION SIZES, ROOF DESIGN, CLADDING AND FOOTINGS
 - PAINT FINISH GREY (TO MATCH EXISTING ON SITE)
 - SPECS TO ENGINEERS DESIGN

2100mm high BETAVIEW 3510-3D BETAFENCE (HEIGHT ADJUSTED ON SITE AS PER SITE FALL)
 - 'ANTHRACITE' COLOR FINISH
 - TO SPECIALIST DETAIL (TO COMPLY TO PART D OF SANS 10400)
 - PROFILE AND MAKE TO CLIENT DETAIL
 - POSTS AND VERTICAL INFILL ELEMENTS OF max 100mm APART (DESIGN OF PALISADE AS PER SANS 10400 PART M 4.3.1)

FLOOR: CONCRETE SLAB CONSTRUCTION, FINISH, GROUND FILL COMPACTION AND JOINTS TO ENGINEERS DETAIL

NO BUILDING WORK MAY EXCEED THE ERF BOUNDARY

BUND WALL AREAS AND FINISHES AS PER ENGINEERS PLANS

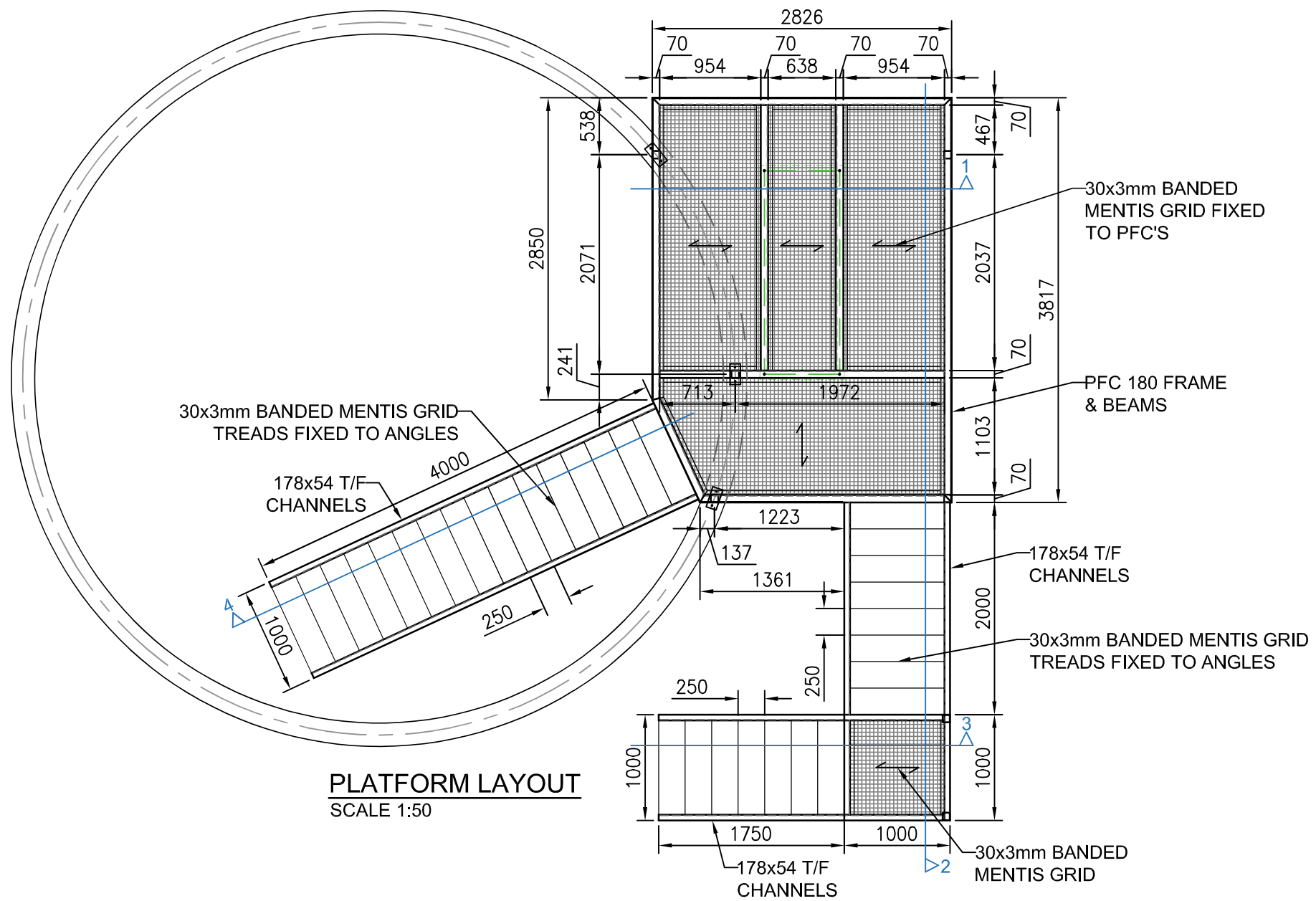
REVISION/HERSIENING
 REV-01 - NO AMENDMENTS (ONLY CONTROL ROOM PLANS)
 REV-02 - ADDITIONAL SIDE CLADDING TO STEEL STRUCTURE

CLIENT: *Rose*
 POA

ROSSOUW

I-DESIGN
 ARCHITECTURAL DESIGN
ILZE-MERCE ROSSOUW
 ARCHITECTURAL DESIGNER/ARCHITECT
 (SACAP REGISTRATION NUMBER)
 (SAGAT SAFT/11/1/0898)
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JOB/PROJEK PLANS FOR PROPOSED NEW CONTROL ROOM/STORAGE AREA AND OVERHEAD STEEL FRAME AT NEW GEMS PLANT, ON ERF 1631-04, PANIEL ROAD, GROOT DRAKENSTEN FOR RHODES FOOD GROUP	
DESCRIPTION/BESKRYWING OVERHEAD STEEL FRAME ROOF STRUCTURE - FLOOR PLANS/ ELEVATIONS/SECTIONS	SCALE/ SKAAL 1:100
DATE/DATUM 15-06-2021	DRAWING NOTEK NO 0547-MS03 (MUNICIPAL SUBMISSION)
DRAWN BY/GETEKEN DEUR I ROSSOUW	REVISION/HERSIENING REV-02



PLATFORM LAYOUT
SCALE 1:50

REV	DATE	DESCRIPTION
0	28.09.21	FOR CONSTRUCTION
A	24.06.21	FOR INFORMATION

PROJECT:
**RFG - GEMS FAT TRAP
BALANCING TANK PLATFORM**

DRAWING:
PLATFORM LAYOUT

DRAWN: JD	SCALE: 1:50	ENG: ML
DATE: 2021.06.24	APPROVED:	



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JOB No: **C 2 1 0 0 2**

DRG No: **2 2 5 - 0 1** REV. **0**

MOTIVATION REPORT

PROPOSED REZONING TO INDUSTRIAL ZONE

FARM 1631/4 PAARL

Prepared by



RFG2

September 2023

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1. REFERENCE

The report is in support of an application for the rezoning of 0,97 ha of Portion 4 of Farm 1631 Paarl Division (Farm 1631/4 Paarl) from Agriculture and Rural Zone to Industrial Zone.

Legislative Reference

Section 15(2) of the Stellenbosch Municipal Planning By-Law 2023, read with Section 41(1) of the Spatial Planning and Land Use Management Act, No. 16 of 2013 and Section 35(1) of the Western Cape Land Use Planning Act, No. 3 of 2014.

2. PROPERTY OWNER / APPLICANT

Rhodes Fruit Group Pty Ltd

3. DEVELOPMENT PROPOSAL

Proposed Land Use	The rezoning of an area of 0,97 ha (i.e. the subject site) to Industrial Zone to extend the existing Industrial Zone of 14,9 ha as indicated on the Plan of Rezoning, Site Development Plan, Bin Yard Plan and WWTW Plan included with the application for purposes of regularising an industrial storage yard and a waste water treatment works for the existing food cannery on the subject property
Proposed Services	Water provision: No additional water usage is generated
	Sewage and industrial effluent disposal: The purpose of the application is inter-alia to regularise the facility for sewage and industrial effluent disposal for the existing cannery
	Stormwater disposal: On site, as indicated on the Bin Yard and WWTW Plans
	Refuse removal: No additional refuse is generated
	Electricity: Obtained from existing electricity supply to the subject property
Proposed Access	From the existing property access on Helshoogte Road (Main Road 172)

4. PROPERTY INFORMATION

Description	Portion 4 of Farm 1631 Paarl Division (i.e. the subject property)
Location	Helshoogte Road, Groot Drakenstein
Municipality	Stellenbosch Municipality
Municipal Ward	3
Zoning Scheme	Stellenbosch Zoning Scheme Bylaw 2019
Existing Zoning	Industrial Zone (14,9 ha) and Agriculture and Rural Zone (14,5 ha)
Existing Primary Use	Industry
Additional Uses	None

Existing Utilisation	Food cannery
Extent	30,3951 ha
Existing Access	From Helshoogte Road (Main Road 172)
S-G Diagram	3179/2000
Deed of Transfer	T7807/2013
Title Deed Conditions	All title deed conditions are described in full in T7807/2013. No undescribed references are made to historical title deeds. The relevant title deed conditions are: <ul style="list-style-type: none"> a) The subject property is subject to electrical power line and water pipe line servitudes, but these do not affect the site of rezoning b) The property is notarially linked with Farm 1631/1 Paarl c) No buildings shall be erected without the approval of the Controlling Authority i.t.o Act 21 of 1940
Servitudes	Electrical line and water pipe line servitudes
Bond Holder	Nedbank Ltd

5. BACKGROUND

- a) The cannery on Farm 1631/4 was first established in 1905 on land owned by the Crown at the time. The land was surveyed in 1934 as Farm 989 Paarl (41ha) and in the 1936 granted to Rhodes Fruit Farms Ltd to serve as a fruit canning facility for the Anglo-American Ltd farms being operated on seven land units in the surrounding area.
- b) With the implementation of the first zoning scheme for the area in 1986 (i.e. the so-called Section 8 Zoning Scheme), the property was deemed to be zoned in accordance with its utilisation. The former Winelands District Council in April 2000 confirmed the zoning of the property to be Industrial Zone 1 (applicable to a demarcated area of 15 ha covered by the canning factory) and Agricultural Zone 1 (the remaining property).
- c) Approval was at the same time granted for the remodelling of the Anglo-American Ltd farms' boundaries, resulting in the cannery now being located on Farm 1631/4 (30,3951ha) with an area of 14,9 ha zoned as Industrial Zone 1. The property was transferred to the (new) Rhodes Fruit Group Pty Ltd in 2013 along with Farms 1631/1 and 1632/1.
- d) With the farm boundary remodelling, servitude areas were also created over existing dams on Farm 1631/1 to accept waste water from Farm 1631/4 as irrigation water for the farm, as was the practice previously.
- e) In 2018 a small waste water treatment facility was erected to replace the septic tanks and soakaways on the subject property also used previously for the disposal of factory waste water. The storage yard for the cannery was also established in the same year outside the demarcated Industrial Zone 1 area. In 2021 the waste water treatment facility was extended to its current size.
- f) The Section 8 Zoning Scheme was repealed and replaced by the Stellenbosch Zoning Scheme Bylaw in 2019, resulting in the subject property now being zoned the Industrial Zone 1 (14,9 ha) and the remaining property, including the waste water treatment works and storage yard, zoned Agricultural and Rural Zone.¹

¹ Stellenbosch Municipality Zoning Certificate dd. 26 April 2023

6. OTHER RELEVANT LAWS

Section 65 of the Stellenbosch Municipal Land Use Planning By-Law 2023 determines that the municipality must have regard to investigations i.t.o. other relevant laws when considering a land use application.

6.1 National Heritage Resources Act 1999 (NHRA)

As the area to be rezoned changed the character of an area of more than 5000m², a Notice of Intent to Develop is to be submitted to Heritage Western Cape (HWC) in accordance with Section 38(2) of the NHRA.

6.2 National Environmental Management Act 1998 (NEMA)

NEMA is not applicable to the proposed rezoning as the processing capacity of the waste water treatment works is less than 2000 m³ per day (currently about 70 m³ per day²) and the area to be rezoned is less than 1 ha in extent.³

6.3 National Environment Management: Waste Act 2008

Approval is only required in terms of the Act for the disposal of the treated waste water and not the treatment works itself.⁴ A water use license application is currently underway for the increased usage of the disposal dams on Farm 1631/1.⁵

6.4 Advertising on Roads and Ribbon Development Act 1940

The subject site is more than 95 metres from the centre lines of Main Roads 172 and 191 and therefore not subject to the Advertising on Roads and Ribbon Development Act 1940 (Act 21 of 1940). However, i.t.o. Clause C.2 of the subject property's title deed, no building may be erected on the property without the approval of the Controlling Authority as defined in Act 21 of 1940. The application is therefore to be referred to the Western Cape Department of Infrastructure for approval of the buildings associated with the WWTW.

7. ENGINEERING SERVICES PROVISION AND ACCESS

In terms of Section 65 of the Stellenbosch Municipal Land Use Planning Bylaw 2023 and Section 42(1) of the Spatial Planning and Land Use Management Act 2013, read with Section 35(4), the municipality must have regard to the impact of the application on the provision of municipal engineering services.

Water Provision	No additional water usage is generated by the WWTW itself.
Effluent and Sewage Disposal	The purpose of the application is inter-alia to regularise the facility for sewage and industrial effluent disposal for the existing cannery. The treated waste water is disposed of in irrigation dams on Farm 1361/1 Paarl, which is notarially linked with the subject property and may not be alienated independently from Farm 1631/4 Paarl.
Storm Water	Disposed on site.
Refuse Removal	No additional refuse is generated.
Electricity Provision	Electricity is obtained from the existing electricity supply to the subject property.

² Buks Schutte; email dd. 14/2/2023

³ Listings 25 and 28 of NEMA Listing Notice 1 of 2014 (as amended)

⁴ EADP Circular 0002/2014, dd. 29/1/2014

⁵ Buks Schutte; email dd. 14/2/2023

Road Access

Access to the subject site is taken from the subject property's existing controlled access gate on Helshoogte Road (Main Road 172). The fully paved access is designed to accommodate two-way movement of large articulated trucks and has a 60 m staging space in front of the gate. No additional traffic is generated by the waste water treatment works and bin storage yard. The existing access will therefore continue to operate at its normal level of service.

8. SITE EVALUATION

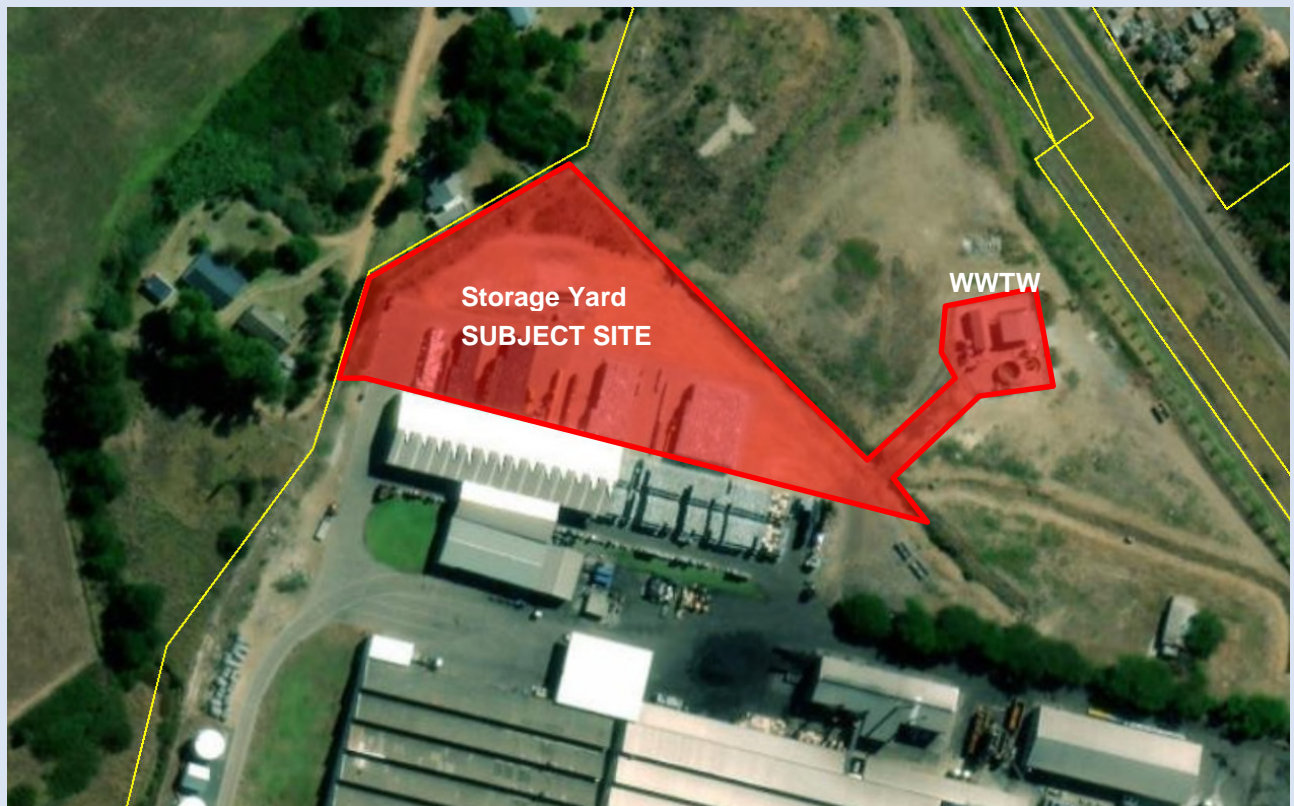
8.1 Surrounding Area

The subject property is located at the intersection of Helshoogte Road (Main Road 172) with the Paarl/Ou Tol Road (Main Road 191) and forms part of the Groot-Drakenstein service node. The node consists of the Rhodes Fruit Farms cannery and offices, a police station, health clinic, former train station, other industrial buildings and two residential complexes.

8.2 Site

About 50% of the subject property is currently under industrial utilisation, with the remaining land being vacant under the Agricultural and Rural Zone.

The land has a flat topography with no unique or note-worthy topographical features or vegetation.





WWTW



Storage yard seen from the paved section of the yard



Storage yard seen from the WWTW



Storage yard seen from Main Road 191

8.3 Access

Access is taken from Helshoogte Road (Main Road 172). The fully paved access is designed to accommodate two-way movement of large articulated trucks and has a 60 m staging space in front of the gate.



9. STELLENBOSCH MUNICIPALITY ZONING SCHEME BYLAW 2019

In terms of Section 65 of the Stellenbosch Municipal Land Use Planning Bylaw 2023, the municipality must have regard to the applicable provisions of the Stellenbosch Municipality Zoning Scheme Bylaw 2019 in evaluating the application.

Proposed Zoning	<p>The Industrial Zone permits industries as a primary land use, which include any activity which is ancillary and subservient to such industrial usage and accordingly also provided for a waste water treatment works and storage yard associated with the cannery on the subject property.</p> <div style="border: 1px solid black; padding: 5px; margin-top: 10px;"> <p>“industry” (nywerheid) means a place, which in the Municipality’s opinion, is used for a factory and in which a product and/or article, or part thereof is made, manufactured, produced, built, assembled, compiled, printed, ornamented, processed, treated, adapted, repaired, renovated, rebuilt, altered, painted, spray-painted, polished, finished, cleaned, dyed, washed, broken up, disassembled, sorted, packed, bottled, chilled, brewed, distilled, fermented, frozen and/or stored, and includes any activity which is ancillary and subservient to the aforementioned activities mentioned for example an office, employee housing, point of sale, but does not include a noxious industry;</p> </div>
Zoning Specific Land Use Parameters	<p>All the zoning specific land use parameters of the Industrial Zone can be complied with and no deviations from the parameters are required to accommodate the waste water treatment works and storage yard.</p>
General Land Use Parameters	<p>The storage yard and waste water treatment works are screened from view from the Paarl/Ou Tol Road (Main Road 191) by trees that were planted on the northeastern property boundary 3years ago (Section 41(1) of the Bylaw). None of the other general land use parameters set out in Bylaw are applicable to the waste water treatment works and storage yard. Regarding Section 26(3) of the Zoning Scheme Bylaw it is to be noted that the waste water treatment works is not an in-line facility and a private service for use by the cannery on the subject property only. The opinion is therefore held that Section 26(3), read with the definition of an industry as set above, is not applicable to the waste water treatment works. As the storage yard is used for the storage and loading of canned produce, Section 31 of the Zoning Scheme Bylaw is also not applicable.</p>

10. SPATIAL FRAMEWORKS

In terms of Section 65 of the Stellenbosch Municipal Land Use Planning Bylaw 2023, Section 49 of the Western Cape Land Use Planning Act 2014 and Section 42(1) of the Spatial Planning and Land Use Management Act 2013 the municipality must have regard to applicable municipal, district, regional and provincial IDP’s, SDP’s or structure plans when considering a land use application and may not make a decision which is inconsistent with norms, standards and measures designed to protect and promote the sustainable use of agricultural land, national and provincial government policies and the municipal spatial development framework.

In terms of Section 22 of the of the Spatial Planning and Land Use Management Act 2013 a Municipal Planning Tribunal (MPT) or any other authority mandated to make a decision i.t.o. the Act or any other law relating to land development, may not make a decision which is inconsistent with a municipal spatial development framework (MSDF), provided that such a MPT or other authority may depart from the provisions of a MSDF if site-specific circumstances justify such departure and provided that Section 42 of the Act is being complied

with. Consistent is understood to mean that although the MSDF may not specifically provide for the utilisation of the land as proposed, the proposal is neither in conflict with the MSDF.

10.1 Provincial Spatial Development Framework & Structure Plan 2014 (PSDF)

The proposed rezoning is consistent with the objectives of the PSDF for the following reasons:

- a) No critical biodiversity vegetation and ecosystems will be affected by the proposed rezoning.
- b) Although the application is for the rezoning of agriculturally zoned land, the land does not form part of a farming enterprise and has not been farmed for the past 10 years.
- c) Waste water from the cannery is recycled as irrigation water.
- d) Although the subject property is of some historical significance, being one of the earliest industries in the area and due to its association with historical figure Cecil John Rhodes and the local fruit industry, the property now houses a large and modern industrial complex and the waste water treatment works and storage yard associated with the complex do not therefore detract from the visual quality, heritage resources and sense of place of the larger area.
- e) The local agricultural economy is indirectly strengthened by the improvement of the cannery facilities.

Reference: Objective R1, pg. 41; Objective R3, pg. 47; Objective R4, pg. 52; Objective R5, pg. 55; Objective E2, pg. 66; Objective S1, pg. 78

10.2 Municipal Spatial Development Framework (MSDF)

The MSDF identifies the subject property and surrounding area for development of a structured mixed-use village node. The expansion of the existing Industrial Zone will therefore be compatible with the MSDF.

As spatial development frameworks are the spatial implementation tool of integrated development plans and municipal development plans are to be aligned with provincial development plans⁶, the municipal spatial development framework is regarded as the most applicable planning policy to guide decision making in respect of this application.

11. DEVELOPMENT PRINCIPLES

In terms of Section 42(1) of the Spatial Planning and Land Use Management Act of 2013, Section 58 of the Western Cape Land Use Planning Act of 2014 and Section 65 of the Stellenbosch Municipal Land Use Planning Bylaw 2023, a decision maker must in considering and deciding any application that impacts on the utilisation and development of land, be guided by the development principles set out in respectively Chapter 2 and Section 59 of the Acts.

a) Spatial Justice

The proposed rezoning will accommodate the improvement of existing activities on the subject property and is therefore considered to be a spatially fair and just proposal.

⁶ Section 10(3) of the Western Cape Land Use Planning Act of 2014

b) Spatial Sustainability

No prime, unique or high potential agricultural land will be lost due to the proposed rezoning, as the subject site does not form part of a farming enterprise and has not been farmed for the past 10 years

The infrastructure associated with the application is privately owned and maintained and there will be no cost to the public to maintain the infrastructure.

The area of rezoning is contained to the urban edge of the Groot Drakenstein urban node identified in the MSDF and the rezoning will therefore not result in urban sprawl.

No critical biodiversity vegetation and ecosystems will be affected by the proposed rezoning.

The waste water treatment works and storage/loading yard being the subject of the proposed rezoning do not detract from the visual quality, heritage resources and sense of place of the larger area as it is directly associated with a large and modern industrial complex on the subject property.

c) Efficiency

The very purpose of the waste water treatment works and storage yard being the subject of the proposed rezoning is to enable the existing industrial buildings on the subject property to be utilised more efficiently and in an environmentally friendly manner.

d) Good Administration

The applicability of other laws relevant to this application are being addressed in the application.

The requirements for the assessment of a land use application as set out in SPLUMA, LUPA and the Stellenbosch Municipal Land Use Planning Bylaw are addressed in this report.

e) Spatial Resilience

The proposed rezoning is not industry specific and the storage yard and waste water treatment works can also serve a different industry type, should the existing cannery and the subject property be replaced by a different industry type.

12. DESIRABILITY

In terms of Section 55 of the Western Cape Land Use Planning Act 2014 and Section 65 of the Stellenbosch Municipal Land Use Planning Bylaw 2023, a municipality must have regard to the desirability of a proposed land use and any guidelines issued by the Provincial Minister regarding the desirability of the proposed land use when considering a land use application.

a) Land Usage

The existing cannery on the subject property is a well-established industrial activity and a landmark building complex. The proposed limited extension of the Industrial Zone applicable to the cannery will therefore not result in a noticeable impact on the land usage of the property and the surrounding area.

The proposed rezoning will also be contained to the urban edge of the Groot Drakenstein urban node identified in the MSDF.

The existing Agricultural and Rural Zone, which is the subject of the rezoning application, applies to two portions of unutilised outfall land of respectively 4 ha and 11,5 ha. Not only are the two portions of land not of an agricultural viable size, but the land portions are also separated by the cannery and can therefore not be farmed as a unit. Rezoning of the land will therefore have no impact on the conservation of productive or usable agricultural land.

b) Physical Site Conditions

The subject site has a flat topography with no unique or note-worthy topographical features or vegetation and is accordingly deemed suitable for industrial utilisation.

c) Access and Traffic Conditions

Access to the subject site is taken from the subject property's existing controlled access gate on Helshoogte Road (Main Road 172). The fully paved access is designed to accommodate two-way movement of large articulated trucks and has a 60 m staging space in front of the gate. No additional traffic is generated by the waste water treatment works and storage yard. The existing access will therefore continue to operate at its normal level of service.

d) Cultural and Heritage Resources

Although the subject property is of some historical significance, being one of the earliest industries in the area and due to its association with historical figure Cecil John Rhodes and the local fruit industry, the property now houses a large and modern industrial complex and the waste water treatment works and storage/loading yard form a visual unit with the complex. It does not therefore detract from the visual quality, heritage resources and sense of place of the larger area.

e) Safety and Welfare of the Community

Due to the limited size of the waste water treatment works (i.e. treatment capacity of 70 m³/day), the works and location thereof are exempt from environmental or waste management authorisation. i.e. it is deemed to be able to operate without any negative environmental impact.⁷ Being also located 130 metres from the nearest abutting residential dwelling and 370 metres from the Meerlust residential village, the works are deemed to be of a nature and sufficiently isolated not to discomfort the surrounding community or cause a nuisance to any person.

The treated waste water is not disposed of on the subject property, but on Farm 1361/1 Paarl. A water use license application in terms of the National Environmental Management: Waste Act is currently underway for the increased usage of the disposal dams on the property, which will ensure that the disposal of the treated water is undertaken in lawful and safe manner.⁸

13. CONCLUSION

The proposed rezoning of an area of 0,97 ha on Farm 1361/4 Paarl to Industrial Zone to extend the existing Industrial Zone of 14,9 ha for purposes of regularising an industrial storage yard and a waste water treatment works for the existing food cannery on the property:

- a) Also requires approval in terms of the National Heritage Resources Act 1999 and, in terms of title deed conditions, from the Controlling Authority in terms of Act 21 of 1940, which are being applied for;

⁷ EADP Circular 0002/2014, dd. 29/1/2014 and Listings 25 and 28 of NEMA Listing Notice 1 of 2014 (as amended)

⁸ Buks Schutte; email dd. 14/2/2023

- b) Does not require any new or additional engineering services provision;
- c) Complies with the parameters of the Stellenbosch Zoning Scheme Bylaw 2019;
- d) Is compliant with the PSDF and the Stellenbosch SDF;
- e) Is compliant with development principles set out in SPLUMA and LUPA as:
 - The proposal is spatially fair and just
 - Will be spatially sustainable
 - Will utilise existing infrastructure more efficiently
 - Good administrative practices are being followed
 - The infrastructure is not use specific; and
- f) Is a desirable land use as:
 - It will not result in any noticeable change in land usage
 - Physical site conditions are suitable for the development
 - There will be no impact on transportation and traffic conditions
 - Cultural and heritage resources are not affected
 - Safety and welfare of community will not be compromised.

**WJ STEYN**

Tch. PIn (B/8074/1998)

Date: 12/9/2023