

Verw/Ref: FP/0320/981

09 September 2021 :Date/Datum

**KENNISGEWING VAN GRONDONTWIKKELINGSAANSOEK
IN DIE STELLENBOSCH MUNISIPALE AREA**

AANSOEK VIR PERMANENTE AFWYKINGS: ERF 741 FRANSCHHOEK

Adres van eiendom: Akademiestraat 20, Franschhoek

Aansoeker: First Plan Stads- en Streekbeplanners, info@firstplan.co.za, +27 (0) 21 930 7183

Eienaar: Nederduitse Gereformeerde Kerk Franschhoek

Aansoek Verwysing: LU/12040

Beskrywing van grondontwikkelingsaansoek:

Die volgende aansoeke in terme van die Stellenbosch Munisipaliteit: rondgebruikverordening, 2015

- Om die suid-oostelike gemeenskaplike boulyn lyn A-B (aanliggend aan Erwe 1538 en 1539) te verslap vanaf 4.5 m tot 2.5 m.
- Om die suid-westelike gemeenskaplike boulyn B-C (aanliggend aan Erf 1631) te verslap vanaf 4.5 m tot 3.0 m.
- Om die straatboulyn (aanliggend aan Akademiestraat) te verslap vanaf 4.5 m tot 3.0 m.
- 'n Vloerarea van 80 % in plaas van 75 %.
- 'n Afwyking van die vereistes rakende op-terrein parking vereistes vir 'n blok woonstelle om 7 parkeerplekke in plaas van 20 parkeerplekke te voorsien.

Die volgende afwykings van die voorskrifte van die Franshoek Stedelike Bewaringsarea

- Die gebruik van aluminium vensters of 'n vooraangesig sigbaar vanaf 'n openbare pad.
- 'n Grensmuur met 'n hoogte van 1.8 m in plaas van 1 m.

Kennis word hiermee gegee in terme van die genoemde Verordeninge dat bovermelde aansoek by die Stellenbosch Munisipaliteit ingedien is vir oorweging. Die aansoek is beskikbaar vir insae op die Beplannings Portaal van die Stellenbosch Munisipaliteit se Webtuiste vir die tydsduur van die publieke deelname proses by die volgende adres: <https://www.stellenbosch.gov.za/planning/documents/planning-notices/land-use-applications-advertisements>. Indien die webtuiste of tersaaklike dokumente nie toeganklik is nie, kan die Aansoeker versoek word om 'n elektroniese kopie beskikbaar te stel.

Skryflike kommentaar, wat besonderhede ten opsigte van die verwysings nommer van die aansoek, die name, fisiese adres en kontak besonderhede van die persoon wat die kommentaar lewer, die redes vir die kommentaar, en die belang van die persoon wat die kommentaar lewer in die aansoek, kan ingedien word in terme van Artikel 50 van genoemde Verordeninge aan die Aansoeker by wyse van elektroniese pos as volg: **Christine Havenga** at **christine.havenga@firstplan.co.za**. Deur 'n beswaar, kommentaar of verhoë te rig, erken die persoon wat dit doen dat inligting aan die publiek en aan die aansoeker beskikbaar gestel kan word.

Die kommentaar moet binne 30 dae vanaf die datum van hierdie kennisgewing gestuur word en moet ontvang word voor of op die laaste dag van die sluitings datum van **11 Oktober 2021**

Indien daar enige navrae op die aansoek of bovermelde vereistes vir die lewer van kommentaar is, of indien dit nie moontlik is om geskrewe kommentaar te lewer of die kommentaar op die wyse te lewer soos voorsiening gemaak is nie, kan die Aansoeker geskakel word vir bystand by die vermelde elektroniese pos adres of telefonies by (073 1951 040 of 021 930 7183) gedurende normale kantoor ure.



Verw/Ref: FP/0320/981

9th September 2021 :Date/Datum

**NOTICE OF LAND DEVELOPMENT APPLICATION
IN THE STELLENBOSCH MUNICIPAL AREA**

APPLICATION FOR SOME PERMANENT DEPARTURES: ERF 741 FRANSCHHOEK

Application Address: 20 Akademie Street, Franschhoek

Applicant: First Plan Town and Regional Planners, info@firstplan.co.za, +27 (0) 21 930 7183

Owner: Dutch Reformed Church Franschhoek

Application Reference: LU/12040

Description of land development application:

The following applications in terms of the Stellenbosch Municipality: Land Use Planning Bylaw, 2015

The following **permanent departures**:

- To relax the south-eastern common boundary line A-B (adjacent to Erven 1538 and 1539) from 4.5 m to 2.5 m.
- To relax the south-western common boundary line B-C (adjacent to Erf 1631) from 4.5 m to 3.0 m.
- To relax the street building line (adjacent to Akademie Street) from 4.5 m to 3.0 m.
- A Floor Area of 80 % in lieu of 75 %
- A permanent departure from the requirements with regard to off-street parking requirements for a block of flats to allow for 7 Parking Bays in lieu of 20.

The following **departures from the provisions** applying to the **Franschhoek Urban Conservation Area**

- The use of aluminium windows on an elevation visible from a public road.
- The boundary wall to be 1.8 m in lieu of 1 m.

Notice is hereby given in terms of the said Bylaw that the above-mentioned application has been submitted to the Stellenbosch Municipality for consideration. The application is available for inspection on the Planning Portal of the Stellenbosch Municipal Website for the duration of the public participation process at the following address: <https://www.stellenbosch.gov.za/planning/documents/planning-notices/land-use-applications-advertisements>. If the website or documents cannot be accessed, an electronic copy of the application can be requested from the Applicant.

Written comments, which must include the reference to the application, the name, contact details and physical address of the person to submit the comments, the reasons for the comments, and the interest of the person in the application, may be submitted in terms of Section 50 of the said Bylaw to the Applicant by electronic mail as follows: **Christine Havenga** at **christine.havenga@firstplan.co.za**. By lodging an objection, comment or representation, the person doing so acknowledges that information may be made available to the public and to the applicant.

The comments must be submitted within 30 days from the date of this notice to be received on or before the closing date of **11th October 2021**

For any enquiries on the Application or the above requirements, or if you are unable to write and /or submit your comments as provided for, you may contact the Applicant for assistance at the e-mail address provided or telephonically at (073 1951 040 or 021 930 7183) during normal office hours.

erf 1613
private residence



ground floor and site plan
scale 1:100

Huis Fredach Apartments, NG Gemeente,
Erf 741, Akademie Street, Franschhoek
SK001 rev 3

KRUGER THERON
ARCHITECTS

unit 12, Geyron Park Central, Somerset West, 7130
T 021 851 8727 / C 021 922 3567
e-mail: kruger@krugertheron.co.za
SACAP: PR Arch: 7740

REV 3 12/05/2020 NEW DESIGN

erf 1613
private residence

erf 1538
public parking

hospice premises
erf 1539

erf 741
new parking area below

erf 570
retirement facility

akademie street

first floor plan
scale 1:100

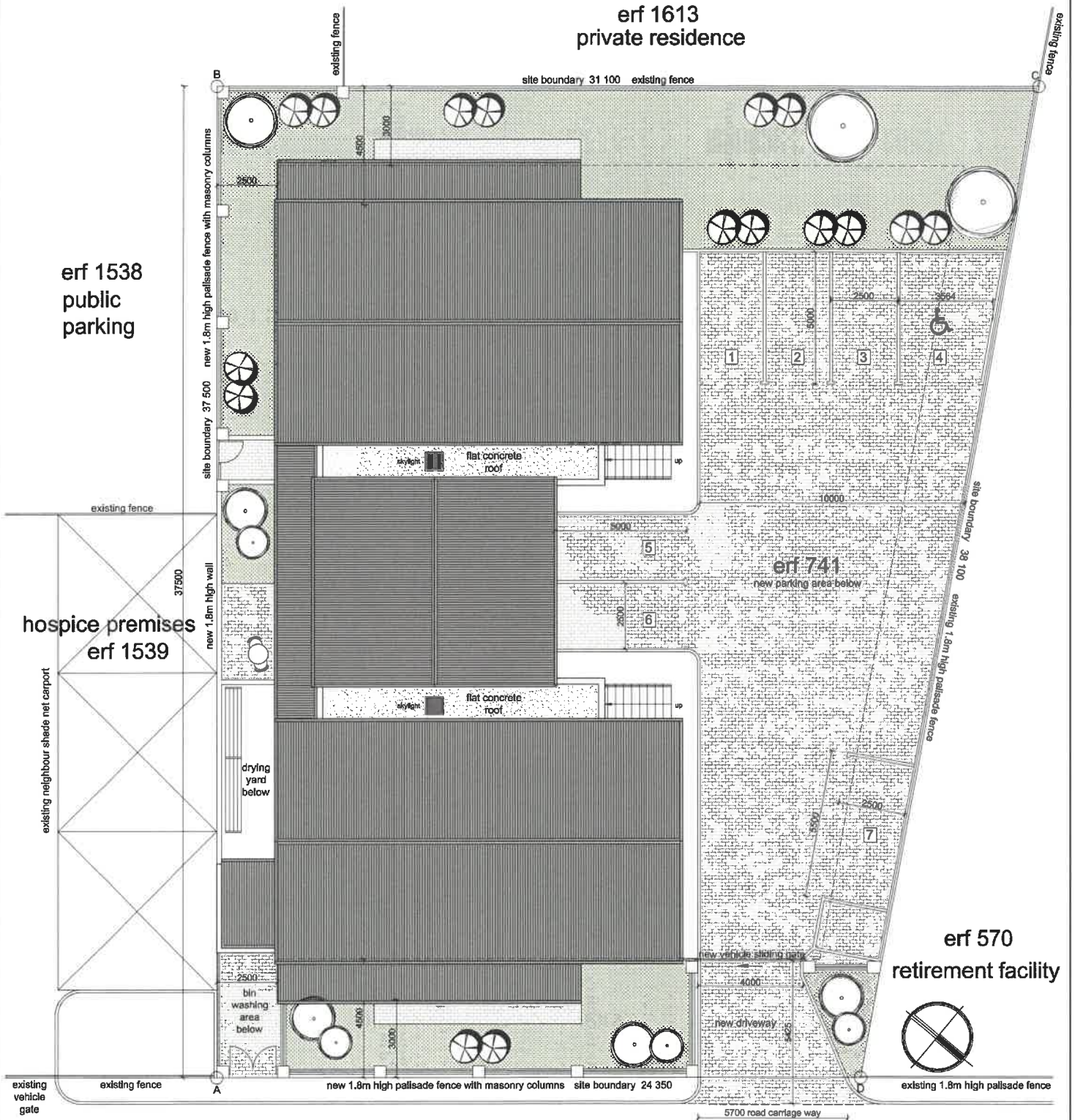
Huis Fredach Apartments, NG Gemeente,
Erf 741, Akademie Street, Franschhoek
SK002 rev 3

KRUGER THERON
ARCHITECTS

url: 12, Gey van Pettus Center, Somerset West, 7130
T 021 851 8727 / C 082 922 3567
e-mail: kruger@krugertaron.co.za
SACAP: PR Arch 7740



erf 1613
private residence



akademie street

roof and site plan
scale 1:100

Huis Fredach Apartments, NG Gemeente,
Erf 741, Akademie Street, Franschhoek
SK003 rev 3

REV 3 12/05/2020 NEW DESIGN

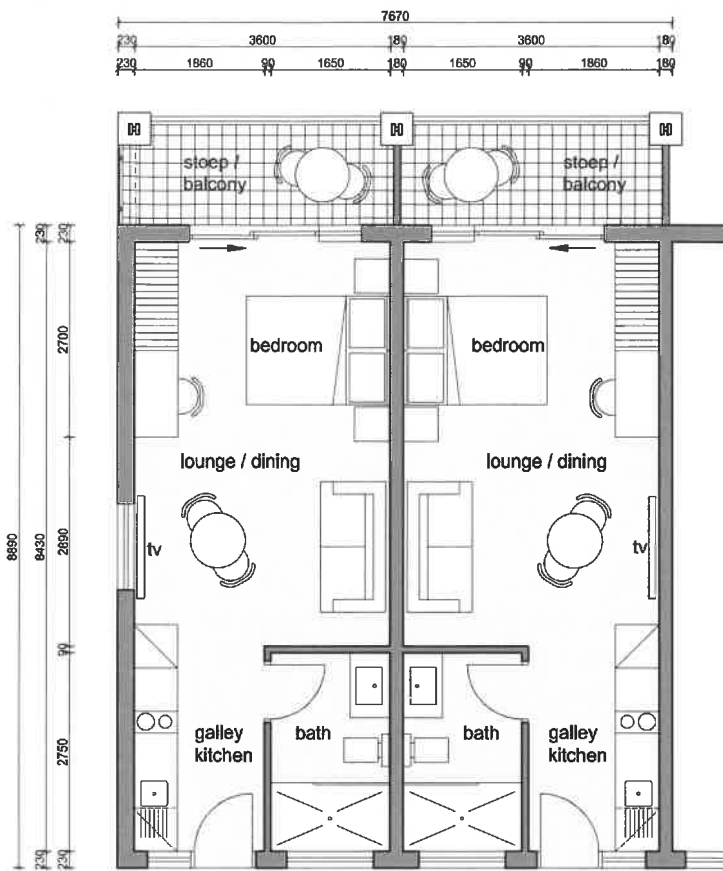
KRUGER THERON
ARCHITECTS

untl 12, Gey von Pothius Center, Somerset West, 7130

T 021 851 8727 / C 082 922 3367

e-mail: kruger@krugertaron.co.za

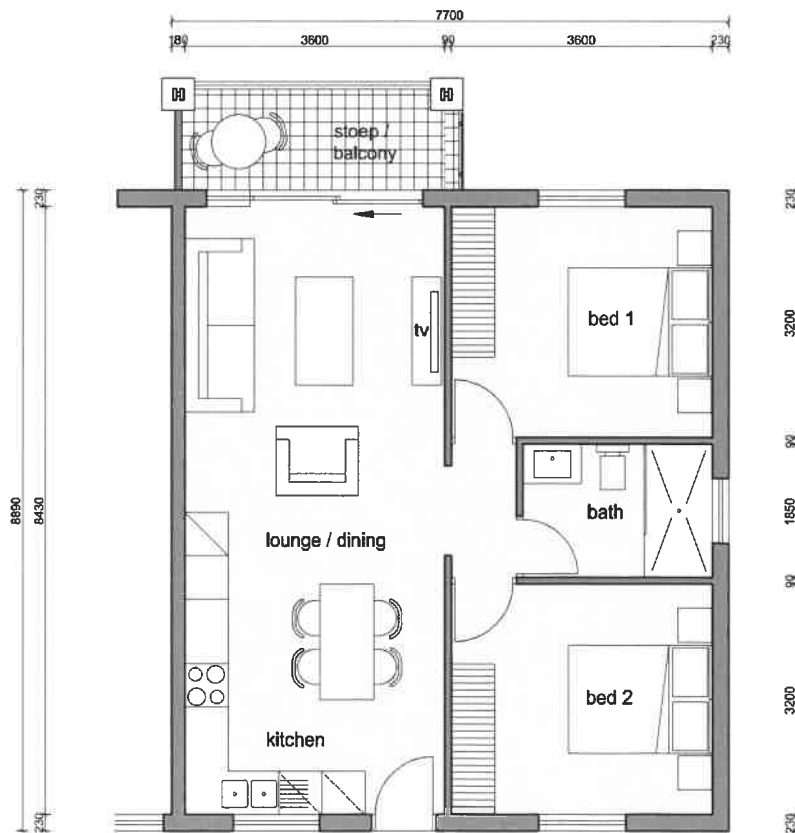
SACAP: PR Arch 7740



1 bed unit floor plan

scale 1:50

floor area = 33.10m²
stoep / balcony = 5.60m²



2 bed unit floor plan

scale 1:50

floor area = 66.40m²
stoep / balcony = 5.60m²

Huis Fredach Apartments, NG Gemeente,
Erf 741, Akademie Street, Franschhoek
SK004 rev 3

REV 3 12/05/2020 NEW DESIGN

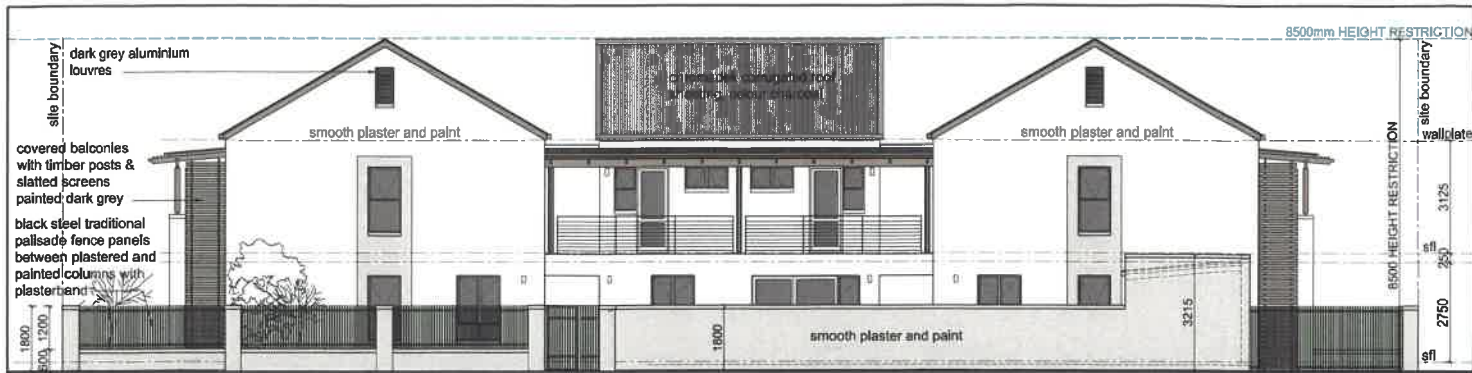
KRUGER THERON
ARCHITECTS

unit 12, Gey van Pettus Corner, Somerset West, 7130

T 021 851 8727 / C 082 922 3557

e-mail: kruger@krugertheron.co.za

SACAP: PR Arch 7740



south east elevation

scale 1:100



south west elevation

scale 1:100



north west elevation

scale 1:100

Natural ground to be cut in at Akademie Rd side of site approximately 500mm and filled at rear of site approximately 500mm. Height restriction of 8500mm taken from mean site level.



north east elevation (street)

scale 1:100

**Huis Fredach Apartments, NG Gemeente,
Erf 741, Akademie Street, Franschhoek
SK005 rev 3**

REV 3 12/05/2020 NEW DESIGN

KRUGER THERON
ARCHITECTS

Unit 12, Gey van Palluis Center, Somerset West, 7130

T 021 851 8727 / C 082 922 3567

e-mail: kruger@krugertheron.co.za

SACAP: PR Arch 7740



Akademie Street View

Proposed Apartments for the Dutch Reformed Church
Erf 741, Akademie Street, Franschhoek

KRUGER THERON

ARCHITECTS
1000 BLOEMFONTEIN
TEL: 011 462 4624
WWW.KRUGERTHERON.CO.ZA



View from Hospice (neighbouring property)

Proposed Apartments for the Dutch Reformed Church
Erf 741, Akademie Street, Franschoek

KRUGER THERON
ARCHITECTS

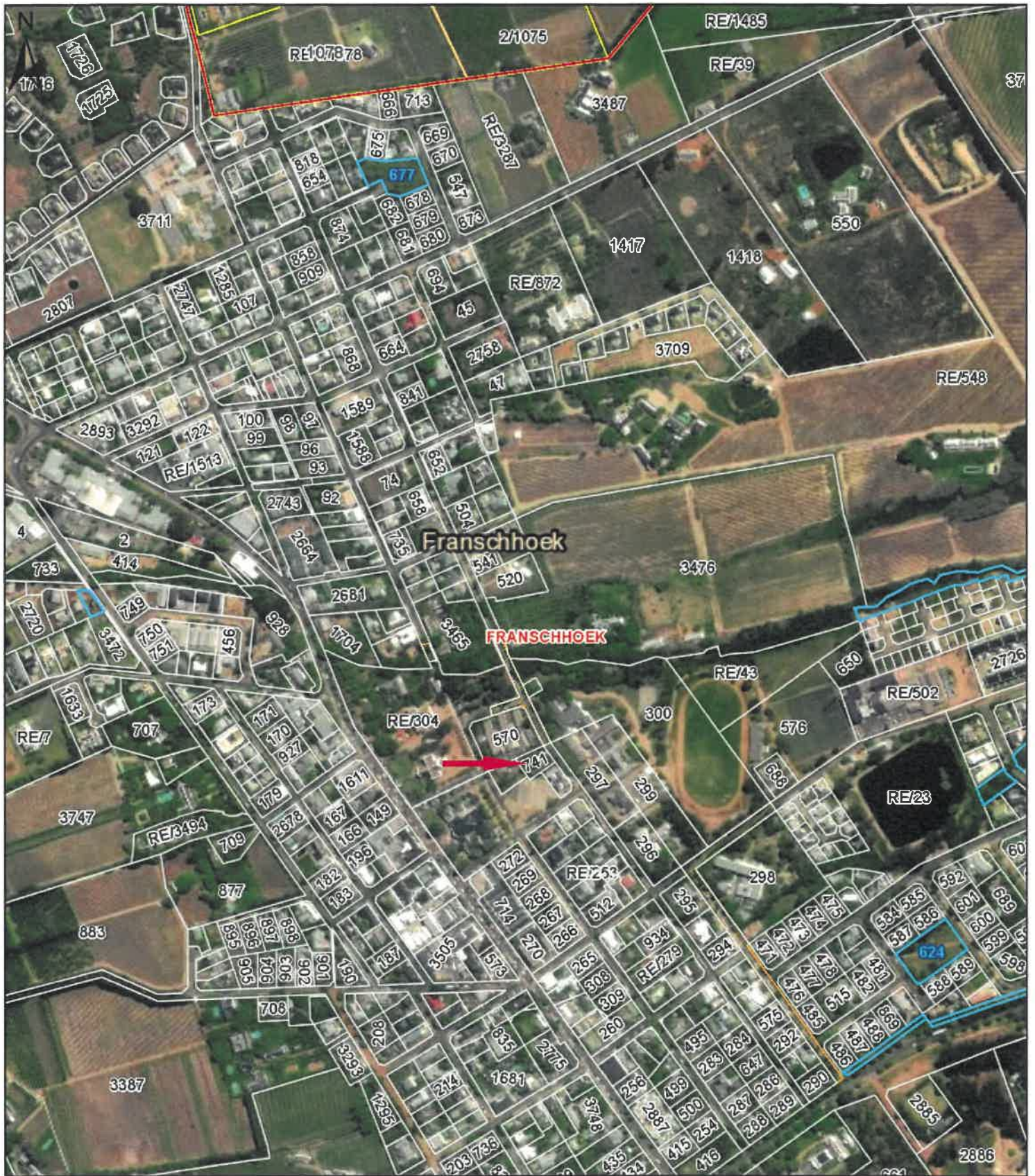


View from Public Parking Area

Proposed Apartments for the Dutch Reformed Church
Erf 741, Akademie Street, Franschoek

KPUGEP THERON



ARCHITECTS



LOCALITY PLAN

Erf 741 Franschhoek

 SITE: Erf 741, 20 Akademie Street, Franschhoek

| | | | | | | |
|--------|--|---------|-------------|---|--|---|
| DATE | September 2020 | FILE NR | FP/0315/779 |  Not to Scale | FIRST PLAN TOWN AND REGIONAL PLANNERS 8 Essenhout Crescent, Plattekloof, 7500 PO Box 15865, Panorama, 7506 E-mail: projects@firstplan.co.za |  |
| CLIENT | Nederduitse Gereformeerde Kerk Franschhoek | ANNEX | 4 | | | |

SUMMARY OF DEVELOPMENT APPLICATION

The intention of the land owner, the Dutch Reformed Church of Franschhoek, is to develop a small block of flats to allow for affordable housing for elderly people and young people from Franschhoek. There is currently a dire need for this type of affordable housing for local residents of the town.



Figure 1: Locality Plan

The proposed block of flats is located within the historical area of Franschhoek and has been designed in such a way that it mostly complies with the provisions of the Franschhoek Conservation Overlay Zone and also respects the character of the surrounding area, which although residential in nature, also includes a variety of other land uses such as the Franschhoek High School opposite the site and the retirement village (Fleur de Lis Retirement Village), a public parking area and the Franschhoek Hospice Building.

It will be a modest double-storey block of flats with five, 2-bedroom unit on the ground floor with their own private outside areas intended as retirement units and two 2-bedroom units and 6 bachelor units on the first floor. See attached Site Development Plan, Building Plans and renders.



Figure 2: Proposed new block of flats on Erf 741 Franschoek

The site is zoned for Multi-Unit Residential Zoning purposes which allows for flats as a primary land use. Application is made for some departures from the common and street building lines and the floor area area. A parking departure is also required. There would be on site parking for 7 vehicles and the remainder parking bays would be provided on the parking area of the church by means of a notarial agreement.



TAX INVOICE
STELLENBOSCH
STELLENBOSCH • PNIEL • FRANSCHHOEK
MUNICIPALITY • UMASIPALA • MUNISIPALITEIT

PO BOX 17, STELLENBOSCH, 7599
PLANNING & ECONOMIC DEVELOPMENT: PLANNING

| | | | |
|----------------------|--|---------------------------|--|
| DATE: | 2020-10-15 | DOCUMENT NO.: | 695531 |
| ERF/FARM NO: | 741 | CREATED BY: | Nicole Katts |
| LOCALITY: | 20 Akademie Street, FRANSCHHOEK | APPLICATION NO.: | LU/12040 |
| OWNER'S NAME: | Nederduitse Gerofermeerde Kerk Franschhoek | APPLICANT VAT NO.: | 0 |
| ADDRESS: | PO Box 15865 Panorama 7506 | VAT NO.: | 4700102181 |
| | | APPLICANT: | First Plan Town and Regional Planners C Havenga |
| | | TEL NO.: | 0219307183 |

| FEE DESCRIPTION | AMOUNT PER UNIT (R) | NUMBER OF UNITS | VOTE NUMBER | AMOUNT (R) |
|--|----------------------------|------------------------|--------------------|-------------------|
| PERMANENT DEPARTURE - Departure and applications for second dwelling units, Erven which are 251m ² and larger | R 2,500.00 | 1 | 20180711011484 | R 2,500.00 |
| PERMANENT DEPARTURE - Departure and applications for second dwelling units, Erven which are 251m ² and larger | R 2,500.00 | 1 | 20180711011484 | R 2,500.00 |
| PERMANENT DEPARTURE - Departure and applications for second dwelling units, Erven which are 251m ² and larger | R 2,500.00 | 1 | 20180711011484 | R 2,500.00 |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| TOTAL AMOUNT PAYABLE | | | | R 7,500.00 |
| VAT included @ 15% | | | | R 978.26 |

| | |
|------------------|--------|
| FILE NR: | |
| SCAN NR: | |
| COLLABORATOR NR: | 697358 |

All Tariffs include 15% VAT
FROM 1 JULY 2020 TO 30 JUNE 2021

CALCULATED BY:
NAME: Nicole Katts
SIGNATURE:

VERIFIED BY:
NAME:
SIGNATURE:

N Katts

DATE: 15.10.2020.

DATE:

PAYMENT MUST BE MADE AT THE APPLICABLE DISTRICT OFFICE
CHEQUES TO BE MADE PAYABLE TO STELLENBOSCH MUNICIPALITY
Applicant to return this form to the Advice Centre for
DIRECTOR: PLANNING & ECONOMIC DEVELOPMENT

BANKING DETAILS FOR EFT PAYMENT:
ACCOUNT HOLDER: Stellenbosch Municipality
BANK: Nedbank
ACCOUNT NUMBER: 1152271679
BRANCH CODE: 198765
REF: LU/____ and ERF/FARM____
Please use both the Land Use Application number and the Erf/Farm number indicated on this invoice as a reference when making EFT payment.



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

AMPTELIKE KWITANSIE / OFFICIAL RECEIPT

✉ 17, STELLENBOSCH 7599
☎ 021 808-8578 / 8547 / 8546
🖨 021 886 7318

DUPLICATE RECEIPT

Receipt M/c: DIRI Duplicate Rec.No: 169040 Date: 16/10/2020

Local Authority: Stellenbosch Municipality

1 STB

N

7500.00

12200103520000

Electronic Xfer

DIRECT 200103520000

LU/12040ERF741FHKNEDERDUITSEGE

X100 Key: STB -005-20201016-00000012

X10 Key : STB D000016904000001

SLEGS MASJIENGEDRUKTE KWITANSIES GELDIG/ONLY MACHINE PRINTED RECEIPTS VALID • ONTVANG SONDER BENADELING VAN REGTE/RECEIVED WITHOUT PREJUDICE TO RIGHTS

Nicole Katts

From: Nicole Katts
Sent: Thursday, 15 October 2020 10:58
To: 'Christine.havenga@firstplan.co.za'
Subject: APPLICATION: ERF 741 FRANSCHHOEK
Attachments: INV - ERF 741 FH.pdf

Dear Christine

Please find attached invoice for payment. Once payment is made please forward me the proof of payment.

Thanking you in advance.



Kind regards / Vriendelike Groete

Nicole Katts

Administrative Officer

Land Use Management

Planning & Economic Development

T: +27 21 808 8318

43 Andringa Str, Eikestad Mall, 3rd
Floor

www.stellenbosch.gov.za



Disclaimer and confidentiality note: The legal status of this communication is governed by the terms and conditions published at the following link:
<http://www.stellenbosch.gov.za/2020/09/01/pages/disclaimerpage.htm>

Nicole Katts

From: Robert Fooy
Sent: Thursday, 15 October 2020 08:34
To: Nicole Katts
Subject: FW: [EX] Erf 741 Franschhoek: Submission of Town Planning Application
Attachments: Annexure 3 Erf 741 Franschhoek Pre-application Consultation Minutes.pdf

Hi Nicole

I did have a meeting with the applicant regarding this application and thus a pre consultation meeting is not required.

Please forward it to Chrizelle to assign it to a planner.



Kind regards,

Robert Fooy

Senior Town Planner: Land Use Management
Department: Planning & Economic Development

T: +27 21 808 8680

Email: robert.fooy@stellenbosch.gov.za

3rd Floor, Stellenbosch Mall
Aandringa Street, Stellenbosch, 7600
www.stellenbosch.gov.za



www.facebook.com/stellenboschmunicipality
twitter.com/StellMun

From: Christine.havenga@firstplan.co.za <christine.havenga@firstplan.co.za>
Sent: Wednesday, 14 October 2020 14:56
To: Robert Fooy <Robert.Fooy@stellenbosch.gov.za>; Nicole Katts <Nicole.Katts@stellenbosch.gov.za>
Subject: RE: [EX] Erf 741 Franschhoek: Submission of Town Planning Application

Hi Robert and Nicole

Trust that you are doing well. I just want to make sure here – I think here is a misunderstanding.

I electronically submitted the town planning application formally on Monday. But I now see in Nicole's response underneath (highlighted in green) that she thought that it was a request for a pre-application submission?

We already met about this application earlier this year – 18 March 2020 (see attached record of meeting). I thus formally submitted the application on Monday and I thought Nicole requested the request for such a meeting as part of the Pre-application consultation record therefore I sent it to her again.

From: Landuse Enquiries [<mailto:Landuse.Enquiries@stellenbosch.gov.za>]
Sent: 12 October 2020 03:14 PM

To: 'Christine.havenga@firstplan.co.za'; Landuse Enquiries
Cc: Gideon. Roos@Firstplan. Co. Za; 'Karlo Hendriksz'; Ulrich Vonmolendorff; Bulelwa Mdoda
Subject: RE: [EX] Erf 741 Franschhoek: Submission of Town Planning Application

Dear Christine

I trust that you are well.

I hereby acknowledge receipt of your pre-application submission for Erf 741 Franschhoek.

Please also complete the attached form and e-mail back to us.

I downloaded the following documents, kindly confirm is this is all the necessary documents.

| Name | Date modified |
|---|---------------------|
| <input type="checkbox"/> Annexure 1 Erf 741 Franschhoek Power of... | 2017/10/27 10:05:00 |
| <input type="checkbox"/> Annexure 2 Erf 741 Franschhoek Land Us... | 2017/10/27 10:05:00 |
| <input type="checkbox"/> Annexure 3 Erf 741 Franschhoek Pre-appl... | 2017/10/27 10:05:00 |
| <input type="checkbox"/> Annexure 4 Erf 741 Franschhoek Locality ... | 2017/10/27 10:05:00 |
| <input type="checkbox"/> Annexure 5 Erf 741 Zoning Plan | 2017/10/27 10:05:00 |
| <input type="checkbox"/> Annexure 6 Erf 741 Franschhoek Land Us... | 2017/10/27 10:05:00 |
| <input type="checkbox"/> Annexure 7 Diagram | 2017/10/27 10:05:00 |
| <input type="checkbox"/> Annexure 8 Erf 741 Franschhoek Title Deed | 2017/10/27 10:05:00 |
| <input type="checkbox"/> Annexure 9 Erf 741 Franschhoek Conveya... | 2017/10/27 10:05:00 |
| <input type="checkbox"/> Annexure 10 Site Plan Floor Plans and Ele... | 2017/10/27 10:05:00 |
| <input type="checkbox"/> Annexure 11 Erf 741 Franschhoek Landsc... | 2017/10/27 10:05:00 |
| <input type="checkbox"/> Annexure 12 Erf 741 Franschhoek Engine... | 2017/10/27 10:05:00 |
| <input type="checkbox"/> ERF 741 FRANSCHOEK TOWN PLANNIN... | 2017/10/27 10:05:00 |
| <input type="checkbox"/> Motivation Report for Erf 741 Franschhoe... | 2017/10/27 10:05:00 |

Nicole, if you can then please upload it as the formal town planning application and just confirm with me in this regard I would really appreciate it.

Kind regards

Christine



Christine Havenga
FIRST PLAN Stads- en Streekbeplanners - Town and Regional Planners
Posbus P.O. Box 15865 Panorama 7506 Suid-Afrika South Africa
Tel: 027 (0)21 930-7183 Sel/Mobile: 073 195 1040
E-pos/E-mail: christine.havenga@firstplan.co.za



GREEN WEER
WEEER

This email and any files transmitted with it are solely intended for the use of the addressee(s) and may contain information that is confidential and privileged. If you receive this email in error, please advise us by return email immediately. Please also disregard the contents of the email, delete it and destroy any copies immediately. First Plan does not accept liability for the views expressed in the email or for the consequences of any computer viruses that may be transmitted with this email. This email is also subject to copyright. No part of it should be reproduced, adapted or transmitted without the written consent of the copyright owner.

From: Robert Fooy [<mailto:Robert.Fooy@stellenbosch.gov.za>]
Sent: 14 October 2020 02:35 PM
To: Christine.havenga@firstplan.co.za (christine.havenga@firstplan.co.za)
Subject: FW: [EX] Erf 741 Franschoek: Submission of Town Planning Application

Hi Christine

You need to provide a detailed explanation of what is proposed please.



Kind regards,

Robert Fooy

Senior Town Planner: Land Use Management
Department: Planning & Economic Development

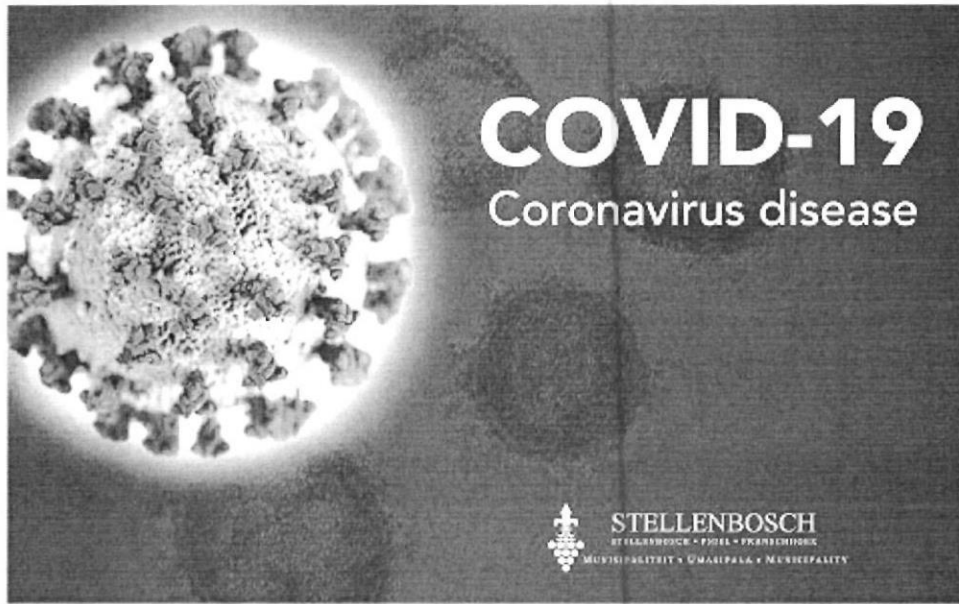
T: +27 21 808 8680

Email: robert.fooy@stellenbosch.gov.za

3rd Floor, Stellenbosch Mall
Aandringa Street, Stellenbosch, 7600
www.stellenbosch.gov.za



www.facebook.com/stellenboschmunicipality
twitter.com/StellMun



Visit the dedicated COVID-19 page on our municipal website for information on this disease:
<https://www.stellenbosch.gov.za/documents/general>

For official COVID-19 advice, updates and queries:

- National Hotline 0800 029 999
- Provincial Hotline 021 9284102
- WhatsApp 0600 123 456

Stay alert, stay updated and stay safe.



Stellenbosch Municipality
STELLENBOSCH • GEMEENTE • MUNICIPIO



About Stellenbosch Municipality

Our mission is to deliver cost-effective services that will provide the most enabling environment for civil and corporate citizens.

www.stellenbosch.gov.za

robert.fooy@stellenbosch.gov.za
christine.havenga@firstplan.co.za

christine.havenga@firstplan.co.za

IOCO

From: Chrizelle Kriel <Chrizelle.Kriel@stellenbosch.gov.za>
Sent: Wednesday, 14 October 2020 07:53
To: Robert Fooy <Robert.Fooy@stellenbosch.gov.za>
Cc: Bulelwa Mdoda <Bulelwa.Mdoda@stellenbosch.gov.za>
Subject: FW: [EX] Erf 741 Franschoek: Submission of Town Planning Application

Dear Robert

Please scrutinise this pre-application for discussion and feedback to the applicant. Thank you

Groete,
Chrizelle

From: Landuse Enquiries
Sent: Monday, 12 October 2020 15:51
To: Chrizelle Kriel <Chrizelle.Kriel@stellenbosch.gov.za>

Cc: Bulelwa Mdoda <Bulelwa.Mdoda@stellenbosch.gov.za>

Subject: FW: [EX] Erf 741 Franschhoek: Submission of Town Planning Application

Hi Chrizelle

The abovementioned application can be allocated to a planner for scrutiny the rest of the documentation can be found on the z-drive.

Thanking you in advance.



Kind regards / Vriendelike Groete

Nicole Katts

Administrative Officer

Land Use Management

Planning & Economic Development

T: +27 21 808 8318

43 Andringa Str, Eikestad Mall, 3rd
Floor

www.stellenbosch.gov.za



Disclaimer and confidentiality note: The legal status of this communication is governed by the terms and conditions published at the following link: http://www.stellenbosch.gov.za/main_pages/disclaimerpage.htm

From: Christine.havenga@firstplan.co.za [mailto:christine.havenga@firstplan.co.za]

Sent: Monday, 12 October 2020 15:25

To: Landuse Enquiries

Cc: 'Gideon. Roos@Firstplan. Co. Za'; 'Karlo Hendriksz'; Ulrich Vonmolendorff; Bulelwa Mdoda

Subject: RE: [EX] Erf 741 Franschhoek: Submission of Town Planning Application

Hi Nicole

Thank you very much for coming back so quickly!

Yes it is all the documents.

Attached is the form which I completed for the pre-application meeting before I met with Robert and Bernabie. I trust that it is order as such.

Kind regards

Christine



Christine Havenga

FIRST PLAN Stads- en Streekoeplanners Town and Regional Planners

Posbus P O Box 15865 Panorama 7506 Suid-Afrika South Africa

Tel: 027 (0)21 930-7183 Sel/Mobile: 073 195 1040

E-pos/E-mail: christine.havenga@firstplan.co.za



GREEN www.greenweer.co.za
WEER www.greenweer.co.za

This email and any files transmitted with it are solely intended for the use of the addressee(s) and may contain information that is confidential and privileged. If you receive this email in error, please advise us by return email immediately. Please also disregard the contents of the email, delete it and destroy any copies immediately. First Plan does not accept liability for the views expressed in the email or for the consequences of any computer viruses that may be transmitted with this email. This email is also subject to copyright. No part of it should be reproduced, adapted or transmitted without the written consent of the copyright owner.

From: Landuse Enquiries [mailto:Landuse.Enquiries@ Stellenbosch.gov.za]
Sent: 12 October 2020 03:14 PM
To: 'Christine.havenga@firstplan.co.za'; Landuse Enquiries
Cc: Gideon. Roos@Firstplan. Co. Za; 'Karlo Hendriksz'; Ulrich Vonmolendorff; Bulelwa Mdoda
Subject: RE: [EX] Erf 741 Franschoek: Submission of Town Planning Application

Dear Christine

I trust that you are well.

I hereby acknowledge receipt of your pre-application submission for Erf 741 Franschoek.

Please also complete the attached form and e-mail back to us.

I downloaded the following documents, kindly confirm is this is all the necessary documents.

| Name | Date modified |
|--|---------------------|
| [A] Annexure 1 Erf 741 Franschoek Power of... | 2020-10-12 10:11:11 |
| [A] Annexure 2 Erf 741 Franschoek Land Us... | 2020-10-12 10:11:11 |
| [A] Annexure 3 Erf 741 Franschoek Pre-appl... | 2020-10-12 10:11:11 |
| [A] Annexure 4 Erf 741 Franschoek Locality ... | 2020-10-12 10:11:11 |
| [A] Annexure 5 Erf 741 Zoning Plan | 2020-10-12 10:11:11 |
| [A] Annexure 6 Erf 741 Franschoek Land Us... | 2020-10-12 10:11:11 |
| [A] Annexure 7 Diagram | 2020-10-12 10:11:11 |
| [A] Annexure 8 Erf 741 Franschoek Title Deed | 2020-10-12 10:11:11 |
| [A] Annexure 9 Erf 741 Franschoek Conveya... | 2020-10-12 10:11:11 |
| [A] Annexure 10 Site Plan Floor Plans and Ele... | 2020-10-12 10:11:11 |
| [A] Annexure 11 Erf 741 Franschoek Landsc... | 2020-10-12 10:11:11 |
| [A] Annexure 12 Erf 741 Franschoek Engine... | 2020-10-12 10:11:11 |
| [A] ERF 741 FRANSCHOEK TOWN PLANNIN... | 2020-10-12 10:11:11 |
| [A] Motivation Report for Erf 741 Franschoe... | 2020-10-12 10:11:11 |



Kind regards / Vriendelike Groete

Nicole Katts

Administrative Officer

Land Use Management

Planning & Economic Development

T: +27 21 808 8318

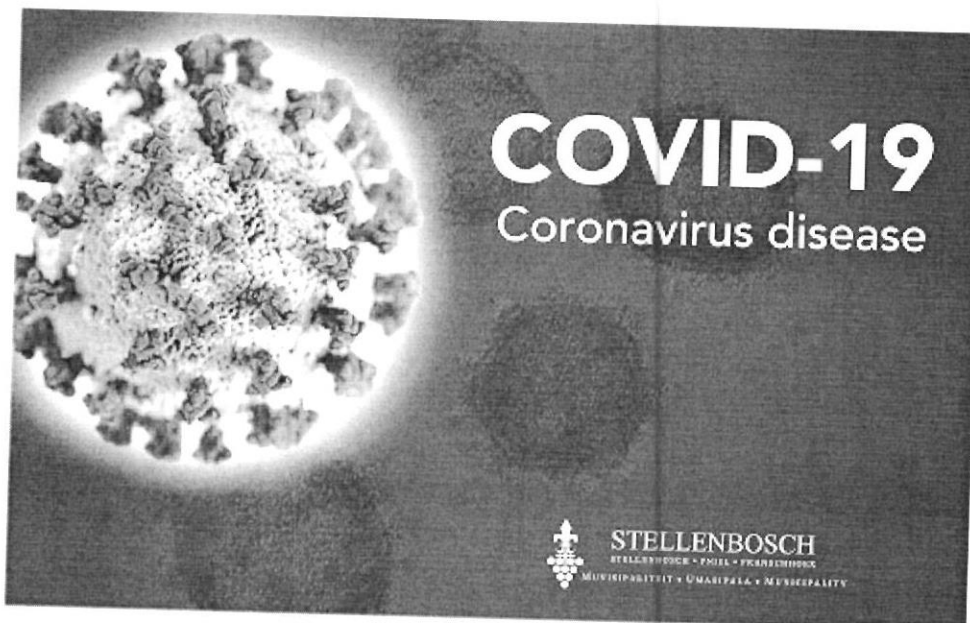
43 Andringa Str, Eikestad Mall, 3rd

Floor

www.stellenbosch.gov.za



Disclaimer and confidentiality note: The legal status of this communication is governed by the terms and conditions published at the following link:
http://www.stellenbosch.gov.za/main_pages/misdamerpage.htm



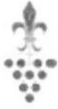
Visit the dedicated COVID-19 page on our official website for information on this disease:
<https://www.stellenbosch.gov.za/documents/general>

For official COVID-19 advice, updates and queries:

- National Hotline 0800 029 999
- Provincial Hotline 021 9284102

- WhatsApp 0600 123 456

Stay alert, stay updated and stay safe.



Stellenbosch Municipality
Stads- en Streekbeplanners



About Stellenbosch Municipality

Our mission is to deliver cost-effective services that will provide the most enabling environment for rural and corporate citizens.

www.stellenbosch.gov.za

landuse.enquiries@stellenbosch.gov.za

christine.havenga@firstplan.co.za

christine.havenga@firstplan.co.za

IOCO

From: Christine.havenga@firstplan.co.za [<mailto:christine.havenga@firstplan.co.za>]

Sent: Monday, 12 October 2020 14:49

To: Landuse Enquiries

Cc: Gideon. Roos@Firstplan. Co. Za; 'Karlo Hendriksz'; Ulrich Vonmolendorff

Subject: [EX] Erf 741 Franschoek: Submission of Town Planning Application

Dear Sir/Madam

Please see the underneath WeTransfer Link for the following submission documentation with regard to a town planning application with regard to Erf 741 Franschoek:

- Town Planning Report with all Annexures
- Town Planning Report without Annexures
- All the Annexures individually

<https://we.tl/t-3maIUcVrhh>

Would you please be so kind to acknowledge receiving this application.

Kind regards

Christine



Christine Havenga
FIRST PLAN Stads- en Streekbeplanners - Town and Regional Planners
Posbus/P.O. Box 15865 Panorama 7506 Suid-Afrika South Africa
Tel: 027 (0)21 930-7183 Sel Mobile: 073 195 1040
E-pos/E-mail: christine.havenga@firstplan.co.za



GREEN WEER

This email and any files transmitted with it are solely intended for the use of the addressee(s) and may contain information that is confidential and privileged. If you receive this email in error, please advise us by return email immediately. Please also disregard the contents of the email, delete it and destroy any copies immediately. First Plan does not accept liability for the views expressed in the email or for the consequences of any computer viruses that may be transmitted with this email. This email is also subject to copyright. No part of it should be reproduced, adapted or transmitted without the written consent of the copyright owner.

LETTER OF APPOINTMENT

PROPERTY DESCRIPTION

Erf 741 FRANSCHHOEK

Erf number/s

NEDERDUITSE GEREFORMEERDE KERK FRANSCHHOEK

Name of client (developer)

HEREBY CERTIFY THAT

FIRST PLAN TOWN AND REGIONAL PLANNERS

Name of Consultant / Capacity

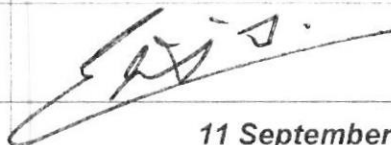
HAS BEEN APPOINTED AS A CONSULTANT TO THE PROJECT TEAM, TO APPLY FOR A REMOVAL OF RESTRICTIONS/ REZONING/ DEPARTURE/ CONSENT USE/ CONDITIONAL USE/ SUBDIVISION IN RESPECT OF THE ABOVE-MENTIONED PROPERTY(IES) AND TO OBTAIN ALL THE NECESSARY INFORMATION FROM THE RELEVANT AUTHORITIES TO ENABLE THE PROPERTY(IES) TO BE UTILISED FOR THE DEVELOPMENT OF RESIDENTIAL UNITS IN TERMS OF THE PROVINCIAL HOUSING BOARD'S SUBSIDY PROVISIONS

THE UNDERSIGNED THEREFORE NOMINATES, CONSTITUTES AND APPOINTS THE ABOVE-MENTIONED WITH POWER OF SUBSTITUTION TO BE THEIR LEGAL REPRESENTATIVE/AGENT AND TO ACT ON THEIR BEHALF IN THE ABOVE REGARD. POWER OF ATTORNEY IS ACCORDINGLY HEREBY GRANTED TO THE APPLICANT TO SIGN ALL CORRESPONDENCE IN RESPECT OF MATTER REFERRED TO ABOVE.

CLIENT/DEVELOPER'S NAME

Eugene du Toit for NG Kerk Franschoek

CLIENT/DEVELOPER'S
SIGNATURE



DATE

11 September 2020



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

LAND USE PLANNING APPLICATION FORM 2017

(Section 15 of the Stellenbosch Municipal Land Use Planning By-Law (2015) and other relevant legislation)

KINDLY NOTE: Please complete this form using BLOCK letters and ticking the appropriate boxes.

PART A: APPLICANT DETAILS

| | | | | | |
|---------------------------------|---------------------------------------|-----|--------------|------|-------------|
| First name(s) | Christine | | | | |
| Surname | Havenga | | | | |
| Company name (if applicable) | First Plan Town and Regional Planners | | | | |
| Postal Address | P.O. Box 15865, Panorama | | | | Postal Code |
| | | | | | 7506 |
| Email | christine.havenga@firstplan.co.za | | | | |
| Tel | 021 930 7183 | Fax | 021 930 7210 | Cell | 073 1951040 |

PART B: REGISTERED OWNER(S) DETAILS (if different from applicant)

| | | | | | |
|---------------------|--|-----|---|------|-------------|
| Registered owner(s) | Nederduitse Gereformeerde Kerk Franschhoek | | | | |
| Physical address | 29 Hugenote Road | | | | Postal code |
| | Franschhoek | | | | 7690 |
| E-mail | edutoit@outlook.com | | | | |
| Tel | 0824505241 | Fax | — | Cell | 0824505241 |

PART C: PROPERTY DETAILS (in accordance with title deed)

| | | | | | |
|-----------------------------------|------------------------|--------------------|-------------------------------------|-------------------------------|-------------------------------------|
| Erf / Erven / Farm No. | 741 | Portion(s) if Farm | | Allotment area | Franschhoek |
| Physical Address | 20 Akademie Street | | | | |
| | Franschhoek | | | | |
| Current Zoning | Multi-Unit Residential | Extent | 1055 m ² / ha | Are there existing buildings? | <input checked="" type="checkbox"/> |

| | | | | | |
|--|--|--|--|---|-------------------------------------|
| Applicable Zoning Scheme | Stellenbosch Municipality Zoning Scheme ⁽²⁰¹⁹⁾ By-Law | | | | |
| Current Land Use | Residential dwelling | | | | |
| Title Deed number and date | T | 65842/99 | | | |
| Attached Conveyance's Certificate | <input checked="" type="checkbox"/> | Any Restrictions into the Attached Conveyance's Certificate? If yes, please list condition(s) as per certificate | | | |
| Are the restrictive conditions in favour of a third party(ies)? | <input checked="" type="checkbox"/> | If Yes, list the party(ies): | | | |
| Is the property encumbered by a bond? | <input checked="" type="checkbox"/> | If Yes, list the bondholder(s): | | | |
| Is the property owned by Council? | <input checked="" type="checkbox"/> | If Yes, kindly <u>attach a power of attorney</u> from the Manager Property Management | | | |
| Is the building located within the historical core? | <input checked="" type="checkbox"/> | Is the building older than 60 years? | <input checked="" type="checkbox"/> | Is the application triggered by the National Heritage Resources Act, 1999 (Act 25 of 1999)? | <input checked="" type="checkbox"/> |
| Any existing unauthorized buildings and/or land use on the subject property(ies)? | | <input checked="" type="checkbox"/> | If yes, is this application to legalize the building / land use?? | | |
| Are there any pending court case(s) / order(s) relating to the subject property(ies)? | | <input checked="" type="checkbox"/> | Are there any land claim(s) registered on the subject property(ies)? | | |
| PART D: PRE-APPLICATION CONSULTATION | | | | | |
| Has there been any pre-application consultation? | | <input checked="" type="checkbox"/> | If Yes, please attach the minutes of the pre-application consultation. | | |
| PART E: LAND USE PLANNING APPLICATIONS AND APPLICATION FEES PAYABLE | | | | | |
| APPLICATIONS IN TERMS OF SECTION 15 OF THE STELLENBOSCH MUNICIPAL LAND USE PLANNING BY-LAW (2015) | | | | | |
| Tick | Type of application: Cost are obtainable from the Council Approved tariffs ³ | | | | |
| | 15(2)(a) Rezoning of Land | | | | |
| <input checked="" type="checkbox"/> | 15(2)(b) a permanent departure from the development parameters of the zoning scheme | | | | |
| | 15(2)(c) a departure granted on a temporary basis to utilise land for a purpose not permitted in terms of the primary rights of the zoning applicable to the land; | | | | |
| | 15(2)(d) a subdivision of land that is not exempted in terms of section 24, including the registration of a servitude or lease agreement; | | | | |
| | 15(2)(e) a consolidation of land that is not exempted in terms of section 24; | | | | |

Section 34: Awaiting demolition permit

¹ All applications triggered by section 38(1)(a)-(e) in terms of the National Heritage Resources Act, 1999 (Act 25 of 1999) may not be processed without a permit issued by the relevant department
² No application may be submitted to legalize unauthorised building work and or land use on the property if a notice have been served in terms of Section 87(2)(a), and until such time a Section 91 Compliance Certificate have been issued in terms of the Stellenbosch Land Use Planning By-law (2015)
³ <http://www.stellenbosch.gov.za/documents/idp-budget/2017-2/4873-appendix-3-tariff-book-2017-2018/file>

| | | | |
|---|---|---|-------------|
| 15(2)(f) a removal, suspension or amendment of restrictive conditions in respect of a land unit; | | | |
| 15(2)(g) a permission required in terms of the zoning scheme; | | | |
| 15(2)(h) an amendment, deletion or imposition of conditions in respect of an existing approval; | | | |
| 15(2)(i) an extension of the validity period of an approval | | | |
| 15(2)(j) an approval of an overlay zone as contemplated in the zoning scheme; | | | |
| 15(2)(k) an amendment or cancellation of an approved subdivision plan or part thereof, including a general plan or diagram ; | | | |
| 15(2)(l) a permission required in terms of a condition of approval; | | | |
| 15(2)(m) a determination of a zoning; | | | |
| 15(2)(n) a closure of a public place or part thereof; | | | |
| 15(2)(o) a consent use contemplated in the zoning scheme; | | | |
| 15(2)(p) an occasional use of land; | | | |
| 15(2)(q) to disestablish a home owner's association | | | |
| 15(2)(r) to rectify a failure by a home owner's association to meet its obligations in respect of the control over or maintenance of services; | | | |
| 15(2)(s) a permission required for the reconstruction of an existing building that constitutes a non-conforming use that is destroyed or damaged to the extent that it is necessary to demolish a substantial part of the building. | | | |
| 15(2)(6) When the Municipality on its own initiative intends to conduct land development or an activity | | | |
| 15(2)(l) Amendment of Site Development Plan | | | |
| 15(2)(l) Compilation / Establishment of a Home Owners Association Constitution / Design Guidelines | | | |
| OTHER APPLICATIONS <i>Approval of a SDP + departures from Franschhoek</i> | | | |
| Deviation from Council Policies/By-laws; <i>Urban Conservation Area provisions</i> | R | | |
| Other (specify) : _____ | R | | |
| TOTAL A: | R | | |
| PRESCRIBED NOTICE AND FEES** (for completion and use by official) | | | |
| Tick | Notification of application in media | Type of application | Cost |
| | SERVING OF NOTICES | Delivering by hand; registered post; data messages | R |
| | PUBLICATION OF NOTICES | Local Newspaper(s); <i>Provincial Gazette</i> ; site notice; Municipality's website | R |
| | ADDITIONAL PUBLICATION OF NOTICES | Site notice, public meeting, local radio station, Municipality's website, letters of consent or objection | R |
| | NOTICE OF DECISION | <i>Provincial Gazette</i> | R |
| | INTEGRATED PROCEDURES | T.B.C | R |
| TOTAL B: | | | R |
| TOTAL APPLICATION FEES* (TOTAL A + B) | | | R |
| * Application fees that are paid to the Municipality are non-refundable and proof of payment of the application fees must accompany an application. | | | |
| ** The applicant is liable for the cost of publishing and serving notice of an application. Additional fees may become applicable and the applicant will be informed accordingly. | | | |
| BANKING DETAILS | | | |
| Name: | Stellenbosch Municipality | | |
| Bank: | NEDBANK | | |
| Branch no.: | 198765 | | |
| Account no.: | 1152271679 | | |
| SWIFT | NEDSAJJ | | |
| Payment reference: (Erf/Farm number) | _____ | | |

PART G: ATTACHMENTS AND SUPPORTING INFORMATION AND DOCUMENTATION FOR LAND USE PLANNING APPLICATION

Complete the following checklist and attach all the information and documentation relevant to the proposal. Failure to submit all information and documentation required will result in the application being deemed incomplete.

| | | | | | | | |
|---|--|--|---|---|--|--|---|
| | | | | | | | |
| X | | | Power of attorney / Owner's consent if applicant is not owner | | | | Bondholder's consent (if applicable) |
| | | | Resolution or other proof that applicant is authorised to act on behalf of a juristic person | | | | Proof of any other relevant right held in the land concerned |
| X | | | Written motivation pertaining to the need and desirability of the proposal | X | | | S.G. diagram / General plan extract (A4 or A3 only) |
| X | | | Locality plan (A4 or A3 only) to scale | X | | | Site development plan or conceptual layout plan (A4 or A3 only) to scale |
| | | | Proposed subdivision plan (A4 or A3 only) to scale | | | | Proof of agreement or permission for required servitude |
| | | | Proof of payment of application fees | X | | | Proof of registered ownership (Full copy of the title deed) |
| X | | | Conveyancer's certificate | X | | | Minutes of pre-application consultation meeting (if applicable) |
| | | | Consolidation plan (A4 or A3 only) to scale | | | | |
| | | | Street name and numbering plan (A4 or A3 only) to scale | X | | | Land use plan / Zoning plan (A4 or A3 only) to scale |
| X | | | Landscaping / Tree plan (A4 or A3 only) to scale | | | | 1 : 50 / 1:100 Flood line determination (plan / report) (A4 or A3 only) to scale |
| | | | Abutting owner's consent | | | | Home Owners' Association consent |
| | | | Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD) | X | | | Services Report or indication of all municipal services / registered servitudes |
| | | | Copy of original approval and conditions of approval | | | | Proof of failure of Home owner's association |
| | | | Proof of lawful use right | | | | Any additional documents or information required as listed in the pre-application consultation form / minutes |
| | | | Required number of documentation copies | | | | Other (specify) |

| DETAILS FOR INVOICE | |
|--|-------------------------------|
| Name & Surname/Company name (details of party responsible for payment) | NG Gemeente Franschoek |
| Postal Address | Posbus 80 Franschoek, 7690 |
| Vat Number (where applicable) | n.a. |

PART F: DETAILS OF PROPOSAL

| | | | | | | | | | |
|---|----------------|-----------------|---|------|-----|-----|----|-----|-----|
| Building line encroachment | Street | Academic Street | From | m | 4.5 | To | m | 3.0 | |
| | Street | | From | m | | To | m | | |
| | Side | EF 1538 AB | South | From | m | 4.5 | To | m | 2.5 |
| | Side | EF 1631 BC | Eastern | From | m | 4.5 | To | m | 3.0 |
| | Aggregate side | | South West | From | m | | To | m | |
| | Rear | | From | m | | To | m | | |
| Exceeding permissible site coverage | | | From | % | | To | % | | |
| Exceeding maximum permitted bulk / floor factor / no of habitable rooms | | | From | | 75% | To | | 80% | |
| Exceeding height restriction | | | From | m | | To | m | | |
| Exceeding maximum storey height | | | From | m | | To | m | | |
| Consent/Conditional Use/Special Development | | | | | | | | | |
| To permit..... | | | | | | | | | |
| in terms of Section.....of the.....Zoning Scheme Regulations | | | | | | | | | |
| Other (please specify) | | | <ul style="list-style-type: none"> A departure from off-street parking requirements for block of flats 7 bays in lieu of 20. Some departures from the provisions of the Franschoek Urban Conservation Area. | | | | | | |

Brief description of proposed development / intent of application:

It is intention of the Franschoek NG Church to develop a small block of flats to allow for affordable housing for elderly people and young people from Franschoek.

It will allow for 5 two-bedroom units on the ground floor intended as retirement units and a two-bedroom units and 6 bachelor units on the first floor.

PART H: AUTHORISATION(S) SUBJECT TO OR BEING CONSIDERED IN TERMS OF OTHER LEGISLATION

| | | | |
|---|--|--|--|
| X | | If required, has application for EIA / HIA / TIA / TIS / MHIA approval been made? If yes, attach documents / plans / proof of submission etc. Section 34 permit for demolition - awaiting it | Specific Environmental Management Act(s) (SEMA) (e.g. Environmental Conservation Act, 1989 (Act 73 of 1989)) |
| | | | National Environmental Management: Air Quality Act, 2004 (Act 39 of 2004) |
| | | Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970) | National Environmental Management: Waste Act, 2008 (Act 59 of 2008) |
| | | Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013)(SPLUMA) | National Water Act, 1998 (Act 36 of 1998) |
| | | Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations | Other (specify) |
| | Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA) | | |
| | Do you want to follow an integrated application procedure in terms of section 44(1) of the Stellenbosch Municipality Land Use Planning By-Law? If yes, please attach motivation. | | |

SECTION I: DECLARATION

I hereby wish to confirm the following :

1. That the information contained in this application form and accompanying documentation is complete and correct.
2. I'm aware that it is an offense in terms of section 86(1)(e) to supply particulars, information or answers knowing the particulars, information or answers to be false, incorrect or misleading or not believing them to be correct.
3. I am properly authorized to make this application on behalf of the owner and that a copy of the relevant power of attorney or consent is attached hereto.
4. Where an agent is appointed to submit this application on the owner's behalf, it is accepted that correspondence from and notifications by the Municipality in terms of the by-law will be sent only to the agent and that the owner will regularly consult with the agent in this regard.
5. I confirm that the relevant title deed(s) have been read and that there are no restrictive title deed restrictions, which impact on this application, or alternatively an application for removal/suspension or amendment forms part of this submission.
6. I confirm that I have made known all information relating to possible Land / Restitution Claims against the application property.
7. It is the owner's responsibility to ensure that approval is not sought for a building or land use which will be in conflict with any applicable law.
8. The Municipality assesses an application on the information submitted and declarations made by the owner or on his behalf on the basis that it accepts the information so submitted and declarations so made to be correct, true and accurate.
9. Approval granted by the Municipality on information or declarations that are incorrect, false or misleading may be liable to be declared invalid and set aside which may render any building or development pursuant thereto illegal.
10. The Municipality will not be liable to the owner for any economic loss suffered in consequence of approval granted on incorrect, false or misleading information or declarations being set aside.
11. Information and declarations include any information submitted or declarations made on behalf of the owner by a Competent Person/professional person including such information submitted or

declarations made as to his or her qualification as a Competent person and/or registration as a professional.

- 12. A person who provides any information or certificate required in terms of Regulation A19 of the National Building Regulations and Building Standards Act No 103 of 1977 which he or she knows to be incomplete or false shall be guilty of an offence and shall be prosecuted accordingly.
- 13. A person who supplies particulars, information or answers in a land use application in terms of the Stellenbosch Municipality Land Use Planning By-law knowing it to be incorrect, false or misleading or not believing them to be correct shall be guilty of an offence and shall be prosecuted accordingly.
- 14. The Municipality will refer a complaint to the professional council or similar body with whom a Competent Person/professional person is registered in the event that it has reason to believe that information submitted or declaration/s made by such Competent Person/professional person is incorrect, false or misleading.

Applicant's signature:

CHavenga

Date:

11 October 2020

Full name:

Christine Havenga

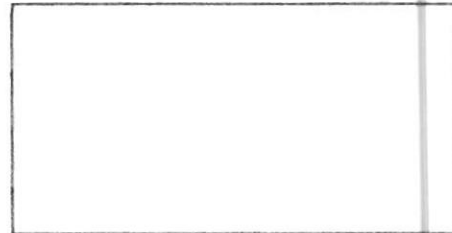
Professional capacity:

Professional Town Planner (A 945 / 1997)

FOR OFFICE USE ONLY

Date received: _____

Received By: _____



MINUTES
PRE-APPLICATION CONSULTATION
ERF 741 FRANSCHHOEK
WEDNESDAY 18 MARCH 2020 at 10:00
STELLENBOSCH TOWN PLANNING / 3RD FLOOR / EIKESTAD MALL,
STELLENBOSCH

1. ATTENDANCE

1.1. Invited and in attendance:

| NAME | ORGANIZATION |
|-------------------|--|
| Christine Havenga | First Plan Town Planners |
| Robert Fooy | Stellenbosch Municipality – Town Planning |
| Bernabe de la Bat | Stellenbosch Municipality – Spatial Planning |

1.2. Invited and not present

| NAME | ORGANIZATION |
|----------------|-----------------------|
| Eugene du Toit | NG Church Franschhoek |

2. INTRODUCTION

2.1. Purpose of the Meeting

The development background and concept for Erf 147 Franschoek was presented by Christine Havenga of First Plan Town and Regional Planners. The design of the proposed small scale block of flats is based on the provisions of the Franschoek Urban Conservation Overlay Zone and it was designed in such a manner to generally comply with the provisions of this zone.

Some departures from the Zoning Scheme are required, e.g. building line departures and departures from the parking requirements. Robert Fooy indicated that they would consider the departure from the parking requirements as it assists to ensure a more attractive streetscape in Akademie Street in accordance with the HPOZ provisions.

3. STATUS QUO

3.1. Existing Activities

An application in terms of Section 34 will be submitted to Heritage Western Cape for the demolition of the existing structures on the site and detail with regard to the replacement building would be provided to them.

3.2. Applicable Policy

The site is located within the urban edge. The site was not identified as a heritage resource in the Stellenbosch Municipality Heritage Inventory and Management Plan. It was agreed that the design and scale of the proposed low intensity block of flats is considered to be in line with the provisions of the HPOZ and the SDF which promotes this type of development to allow for affordable housing for local residents of Franschoek as there is a dire need for this type of housing opportunities.

4. APPLICATIONS TO BE LODGED

The site is already zoned for Multi-Unit Residential zone purposes. Applications for departures from the provisions of this zone would be required. It is not clear if the application should include an application for departures from the provisions of the Franschhoek Urban Conservation Overlay Zone.



5. CLOSE



LOCALITY PLAN

Erf 741 Franschhoek

➔ SITE: Erf 741, 20 Akademie Street, Franschhoek

| | | | | | | |
|--------|--|---------|-------------|---|--|---|
| DATE | September 2020 | FILE NR | FP/0315/779 |  Not to Scale | FIRST PLAN TOWN AND REGIONAL PLANNERS 8 Essenhout Crescent, Platteklouf, 7500 PO Box 15865, Panorama, 7506 E-mail: projects@firstplan.co.za |  |
| CLIENT | Nederduitse Gereformeerde Kerk Franschhoek | ANNEX | 4 | | | |



ZONING PLAN OF SURROUNDING AREA

Erf 741 Franschoek

| | | | | |
|-----------------------------|-------------------------------|----------------------------|------------------|-----------------------|
| Multi-Unit Residential Zone | Conventional Residential Zone | Agriculture and Rural Zone | Community Zone | Utility Services Zone |
| Mixed Use Zone | Public Open Space Zone | Education Zone | Limited Use Zone | |



| | | | | | | |
|--------|---|---------|-------------|--------------|--|--|
| DATE | September 2020 | FILE NR | FP/0315/779 | Not to Scale | FIRST PLAN TOWN AND REGIONAL PLANNERS 8 Essenhout Crescent, Platteklouf, 7500 PO Box 15865, Panorama, 7506 E-mail: projects@firstplan.co.za | |
| CLIENT | Nederduitse Gereformeerde Kerk Franschoek | ANNEX | 5 | | | |



LAND USE PLAN OF SURROUNDING AREA

Erf 741 Franschoek

- | | | | | | |
|--------------|-----------------------|-------------------|----------|----------------|----------------------|
| Guest Houses | Residential Dwellings | Farm/Agricultural | Churches | Hospice | Municipal Properties |
| Businesses | Parks | School and Hostel | Cemetry | Public Parking | Old Age Home |

| | | | | | | |
|--------|---|---------|-------------|---|--|---|
| DATE | September 2020 | FILE NR | FP/0315/779 |  Not to Scale | FIRST PLAN TOWN AND REGIONAL PLANNERS 8 Essenhout Crescent, Plattekloof, 7500 PO Box 15865, Panorama, 7506 E-mail: projects@firstplan.co.za |  |
| CLIENT | Nederduitse Gereformeerde Kerk Franschoek | ANNEX | 6 | | | |

VAN DER MERWE, DE KROON & DUNN
Landmeter

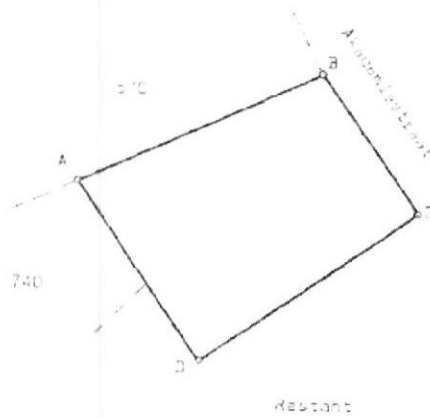
Kaap die Gogehoop

| SYE Meter | RIJTINGS HOEKE | KOORDINATE | |
|--------------|-------------------|-------------------|-------------------|
| | | Y | X |
| | 5,00 x 3 | 700 | 100,00 |
| AB | 100,00 | A = 700,00, 50,00 | B = 700,00, 50,00 |
| BC | 100,00 | B = 700,00, 50,00 | C = 700,00, 50,00 |
| CD | 100,00 | C = 700,00, 50,00 | D = 700,00, 50,00 |
| DA | 100,00 | D = 700,00, 50,00 | A = 700,00, 50,00 |

LG No.
8588/71

Goedgekeur
[Handwritten Signature]
Landmeter-generaal
23/11/71

A B C D : Eens waterpens



Skaal 1/750

Die figuur A B C D

stel voor 1055 vierkante meter grond, synde

ERF 742 (gedeelte van erf 453) FRANSCHHOEK

geleë in die Munisipaliteit van Franschoek

Administratiewe Distrik

Reunis

Provinsie Kaap die Gogehoop

Opgeneem in September 1971

deur my

[Handwritten Signature]
Landmeter

Hierdie kaart is geheg aan

Die oorspronklike kaart is L&R No 5/7042

No 7042/71

M.S. No 3.2218/71

gedateer

No 1767/1997 geheg aan Komp BI-70A / 400

te v

Transport/Grondbrei

No 111, F. 2 - 20

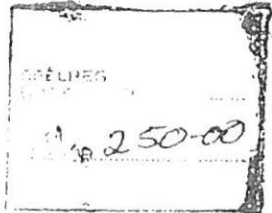
Registateur van Aktes

| | |
|-----------------------|----------------|
| Gegees tot Registreer | Voltooiende |
| Art. 9, D. 13, 13.3 | Mot. / Besluit |
| Art. 106 D. 1, 106.2 | |
| Art. 1 & 2, Artik. 1 | |
| Verspreking | |
| Magnetiese | |
| Gedateer | |

[Handwritten Signatures]

S
B C

151



Opgestel deur my,

TRANSPORTBESORGER
HOFMEYR, N.J

Van en Voorletters

Reg 68(W) 8

VEREENVOORTSAAC
R400 000-00
B 34609 99
Cauh

BC 024906/11
BEKANSELLEER
CANCELLED
REGISTRATEUR/REGISTRAR
2011-06-03

Vir verdere endossemente sien bl 4

TRANSPORTAKTE

T 65842199

HIERBY WORD BEKENDGEMAAK

DAT ~~WOLFGANG JOHANNES HOFMEYR~~ BAREND FREDERIK BOOYSEN

voor my, Registrateur van Aktes verskyn het te KAAPSTAD

hy, die genoemde Komparant synde behoorlik daartoe gemagtig deur 'n Volmag aan hom verleen deur

KARL HEINRICH KEMPKEN
Identiteitsnommer 280117 5016 10 3

en
JULIANA KEMPKEN
Identiteitsnommer 510518 0190 10 2

GETROUD BINNE GEMEENSKAP VAN GOED MET MEKAAR

gedateer die 13de dag van JULIE 1999, en geteken te PAARL

2/EN

| OPSTELTER/OPSTELLER | REGISTRAR | REGISTRATEUR |
|---------------------|-----------|--------------|
| | 26/8 | BH |
| | 3/10 | |

EN genoemde Komparant het verklaar dat sy **voorsegde Prinsipale** waarlik en wettiglik verkoop het op **9 NOVEMBER 1998**

en dat hy in sy voornoemde hoedanigheid hierby in volkome en vrye eiendom sedeer en transporteer aan en ten gunste van

die **NEDERDUITSE GEREFORMEERDE KERK FRANSCHHOEK**

of dié se Regverkrygendes

ERF 741 FRANSCHHOEK

Geleë in die Munisipaliteit vir die gebied van **FRANSCHHOEK**

Afdeling PAARL

PROVINSIE WES-KAAP

GROOT: 1055 (EENDUISEND EN VYF EN VYFTIG) vierkante meter

EERSTE GETRANSPORTEER kragtens Transportakte Nr. T7931/1973 met Kaart Nr. 8588/71 wat daarop betrekking het.

EN GEHOU kragtens Transportakte Nr. T50620/91

- A. **ONDERHEWIG** aan die volgende voorwaarde vervat in **Akte van Toekenning Nr. 10** gedateer **30 Desember 1897 (Paarl Eiendomsbriewe Boekdeel 1 Nr. 2)**:-

"To all such duties and regulations as are either already or shall in future be established with regard to such land."

WESHALWE die Komparant afstand doen van al die regte en titel wat die Transportgewers voorheen op genoemde eiendom gehad het en gevolglik ook erken dat transportgewer(s) geheel en al van die besit daarvan onthef en nie meer daartoe geregtig is nie en dat, kragtens hierdie Akte, bogenoemde Transportnemer

of dié se Regverkrygendes tans en voortaan daartoe geregtig is, ooreenkomstig plaaslike gebruik, behoudens die regte van die Staat en ten slotte erken hy dat die hele Koopsom ten bedrae van R385 000,00 (DRIEHONDERD VYF EN TAGTIGDUISEND RAND) behoorlik betaal of Verseker is.

TEN BEWYSE waarvan ek, genoemde Registrateur van Aktes tesame met die Komparant hierdie Akte onderteken en dit met die ampseël bekragtig het.

ALDUS GEDOEN EN VERLY op die kantoor van die Registrateur van Aktes

te KAAPSTAD

op 19 Augustus

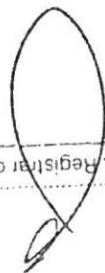
1999

In my teenwoordigheid,


Registrateur van Aktes.


q.q.

Certified a true copy of the duplicate
original filed of record in this Registry.
issued to serve in place of the original
thereof under the provisions of Deeds
Regulation No. 68
Deeds Registry
Cape Town
03 JUN 2011
Asst. Registrar of Deeds



VA 003425/111

S

165842/111

Kragtens Notariële akte No. K 286/2003/S
gedatêr 12/03/2003 mag binnegemelde
erendom Groot: 1055 m² gebruik word
slegs vir kerklike doeleindes en mag nie
gebruik word vir begrafnisdoeleindes nie.

Soos meer volledig sal blyk uit gesegde
Notariële Akte.

Aktekantoor
Kaapstad


Reg. v. Aktes.

2003-04-10

See page 5



CONVEYANCER CERTIFICATE

I/We ANTON LUTHER POSTHUMUS

(conveyancer's name and surname)

Practising at:

ANTON POSTHUMUS ATTORNEYS
14 A ALBIE DE WAAL STREET,
BRACKENFEL.

(firm and place of practice)

In respect of:

ERF 741 FRANSCHHOEK
SITUATE IN THE MUNICIPALITY OF STELLENBOSCH
DIVISION PAARL, PROVINCE OF THE WESTERN CAPE

(full property description (erf / farm) as it appear in title deed of same)

Hereby certify that a search was conducted in the Deeds Registry, regarding the said property (ies) (including both current and earlier title deeds/piyot deeds/deeds of transfer):

1. SEE certificate attached.

2.

3.

4.

5.

6.

7.

8.

For example Deed of Transfer T12345/2000 or Certificate of Registered Sectional Title S1234/2000 (description of title deed number and date)



A. IDENTIFY RESTRICTIVE TITLE CONDITIONS (if any)

| Categories | | Are there deed restrictions (indicate below) | | Title Deed and Clause number if restrictive conditions are found |
|------------|---|--|------------------------------------|--|
| 1. | Use of land | <input checked="" type="radio"/> Y | <input type="radio"/> N | K-286/2003 S. |
| 2. | Building lines | <input type="radio"/> Y | <input checked="" type="radio"/> N | |
| 3. | Height | <input type="radio"/> Y | <input checked="" type="radio"/> N | |
| 4. | Number of Dwellings | <input type="radio"/> Y | <input checked="" type="radio"/> N | |
| 5. | Bulk floor area | <input type="radio"/> Y | <input checked="" type="radio"/> N | |
| 6. | Coverage/built upon area | <input type="radio"/> Y | <input checked="" type="radio"/> N | |
| 7. | Subdivision | <input type="radio"/> Y | <input checked="" type="radio"/> N | |
| 8. | Servitudes that may be registered over or in favour of the property | <input type="radio"/> Y | <input checked="" type="radio"/> N | |
| 9. | Other Restrictive Conditions | <input type="radio"/> Y | <input checked="" type="radio"/> N | |



B. INDICATE AFFECTED PARTIES AS PER TITLE DEED (if any)

In respect of which it was found that there are/are no restrictive conditions with reference to Section 13(1) (a, b or c) of the Land Use Planning By-law (2015) registered against such property (ies) prohibiting it from being utilized/developed for the following purposes (as elaborated in the accompanying application):

| | | |
|----|---|--|
| a. | Organ(s) of State that might have an interest in the restrictive condition | |
| b. | A person whose rights or legitimate expectations will be affected by the removal/suspension/amendment of a restriction condition. | |
| c. | All persons mentioned in the deed for whose benefit the restrictive condition applies | |

C. PROCESS BY WHICH RELEVANT CONDITIONS WILL BE ADDRESSED

(please tick appropriate box)

| Application in terms of Section 15 of the Stellenbosch Municipal Land Use Planning By-Law (2015) | Notarial Deed of Cancellation (Submit Copy of Signed Agreement) | Action by way of court order (Submit Copy of the Court Order) | If Other, Please Specify |
|--|---|---|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Signed at Beauregard (Place) on this 7 (Day) October (Month) of 2020.

Full names and Surname: Anton Posthumus

Signature: [Handwritten Signature]

ANTON POSTHUMUS ATTORNEYS
 18 Wenning Street
 Sonstraal, Durbanville
 PO Box 4788, Tygervalley, 7536

ANTON POSTHUMUS ATTORNEYS
 18 Wenning Street
 Sonstraal, Durbanville
 PO Box 4788, Tygervalley, 7536

Tel: 021 3000802

Email: anton@antonposthumus.co.za

Cell: 0833035066

CONVEYANCER'S CERTIFICATE

I, the undersigned,

ANTON LUTHER POSTHUMUS

a duly admitted conveyancer of the Supreme Court of South Africa (Division Cape) and practicing as such at 14A Albie De Waal street, Brackenfell, CAPE TOWN confirm that I have conducted a search of the records of the Registrar of Deeds Cape Town and the pivot deeds available at the time and perused the Title Deed conditions of the below property:

ERF 741 FRANSCHHOEK

SITUATE IN THE MUNICIPALITY OF STELLENBOSCH

DIVISION OF PAARL

PROVINCE OF THE WESTERN CAPE

IN EXTENT 1055 (ONE THOUSAND AND FIFTY FIVE) Square metres

HELD by Deed of Transfer NO. T65842/1999 and Diagram NO. 8588/1971 relating thereto.

Registered in the name of:

DIE NEDERDUITSE GEREFORMEERDE KERK FRANSCHHOEK

I have searched the following Deeds:

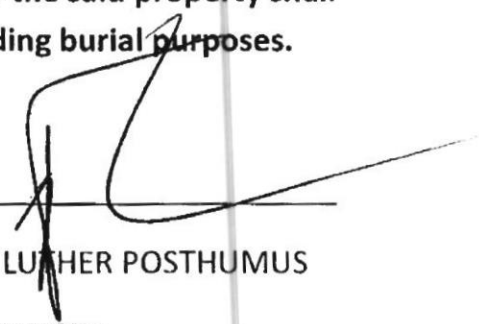
- T65842/1999
- T7931/1973
- Deed of Grant No. 10 dated 30 December 1897 (Paarl Eiendomsbriewe Boekdeel Nr. 2)
- Notarial Deed No. K286/2003S dated 12/03/2003



I certify that regarding the above property there are no restrictive title conditions or servitudes that will preclude the zoning of the abovementioned property in the said Title Deed prohibiting the property building of a small block of flats for the housing of old and young members of the Congregation that is destitute.

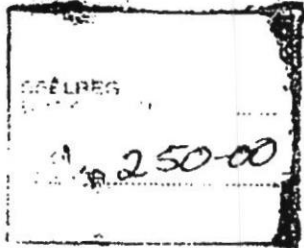
Please note that in terms of the Notarial Deed K286/2003 the said property shall only be used for Churchlike activities and purposes excluding burial purposes.

Signed at DURBANVILLE on 7 October 2020.



ANTON LUTHER POSTHUMUS
CONVEYANCER

151



Opgestel deur my,

TRANSPORTBESORGER
HOFMEYR, N.J.

Van en Voorletters'

Condition of use
- see pg 4 herein

Reg 68(W) (8)

VERENIGDE REPUBLIEK VAN SUID-AFRIKA

R400 000-00

B 34609 99

10 02 99

Caul

BC 024906/11

BEKANSELLEER
CANCELLED

REGISTRATEUR/REGISTRAR

2011-06-03

1204

Vir verdere endossemente sien bl 4

TRANSPORTAKTE

T 65842199

HIERBY WORD BEKENDGEMAAK

| OPPOSISIE/RECHT | OPERATEUR/OPERATOR |
|-----------------|--------------------|
| OPPOSISIE/RECHT | OPERATEUR/OPERATOR |
| OPPOSISIE/RECHT | OPERATEUR/OPERATOR |

DAT ~~WILHELMUS JOHANNES HOFMEYR~~

BAREND FREDERIK BOOYSEN

voor my, Registrateur van Aktes verskyn het te **KAAPSTAD**

hy, die genoemde **Komparant** synde behoorlik daartoe gemagtig deur 'n **Volmag** aan hom verleen deur

KARL HEINRICH KEMPKEN
Identiteitsnommer 280117 5016 10 3
en

JULIANA KEMPKEN
Identiteitsnommer 510518 0190 10 2

GETROUD BINNE GEMEENSAP VAN GOED MET MEKAAR

gedateer die 13de dag van **JULIE** 1999, en geteken te **PAARL**

2/EN

EN genoemde Komparant het verklaar dat sy **voorsegde Prinsipale** waarlik en wettiglik verkoop het op **9 NOVEMBER 1998**

en dat hy in sy voornoemde hoedanigheid hierby in volkome en vrye eiendom sedeer en transporteer aan en ten gunste van

die NEDERDUITSE GEREFORMEERDE KERK FRANSCHHOEK

of dié se Regverkrygendes

ERF 741 FRANSCHHOEK

Geleë in die Munisipaliteit vir die gebied van FRANSCHHOEK

Afdeling PAARL

PROVINSIE WES-KAAP

GROOT: 1055 (EENDUISEND EN VYF EN VYFTIG) vierkante meter

EERSTE GETRANSPORTEER kragtens Transportakte Nr. T7931/1973 met Kaart Nr. 8588/71 wat daarop betrekking het.

EN GEHOU kragtens Transportakte Nr. T50620/91

- A. ONDERHEWIG** aan die volgende voorwaarde vervat in **Akte van Toekenning Nr. 10** gedateer **30 Desember 1897 (Paarl Eiendomsbriewe Boekdeel 1 Nr. 2):-**

"To all such duties and regulations as are either already or shall in future be established with regard to such land."

3/WESHALWE

Kragtens Notariële akte No. K 286/2003/S
gedateer 12/03/2003 mag binnegemelde
eiendom Groot: 1055 m² gebruik word
slegs vir kerklike doeleindes en mag nie
gebruik word vir begrafnisdoeleindes nie.

Soos meer volledig sal blyk uit gesegde
Notariële Akte.

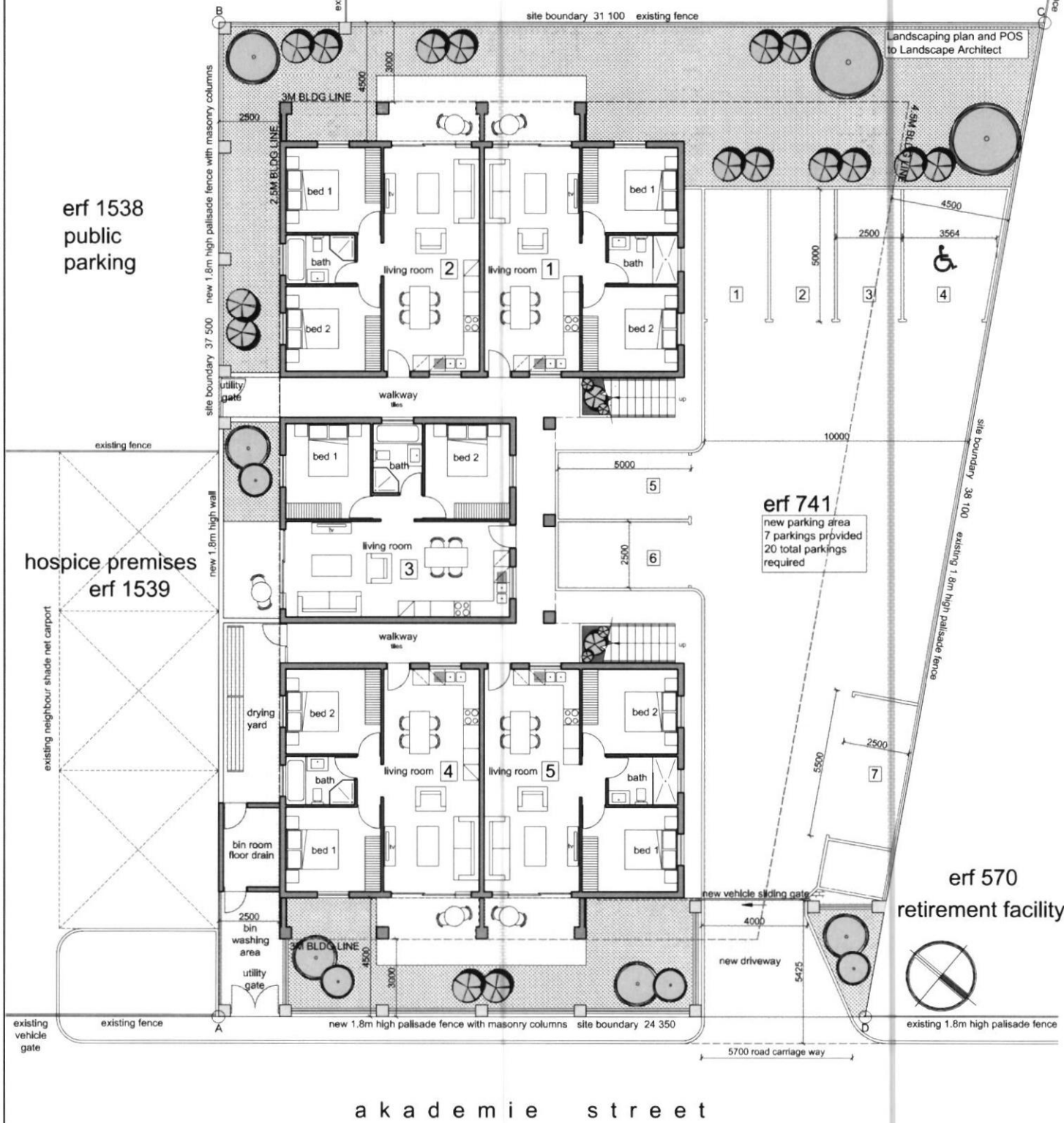
Aktekantoor
Kaapstad


Reg. v. Aktes.

2003-04-10

See page 5

erf 1613
private residence



ground floor and site plan
scale 1:100

Huis Fredach Apartments, NG Gemeente,
Erf 741, Akademie Street, Franschhoek
SK001 rev 3

KRUGER THERON
ARCHITECTS

Unit 12, Gey-von-Pelle's Centre, Somerset West 7130
T 021 851 8727 / C 082 922 3567
e-mail: kruger@krugertaron.co.za
SACAP PR Arch 7740

REV 3 12/05/2020 NEW DESIGN

erf 1613
private residence

erf 1538
public
parking

hospice premises
erf 1539

erf 741
new parking area below

erf 570
retirement facility

akademie street

first floor plan
scale 1:100



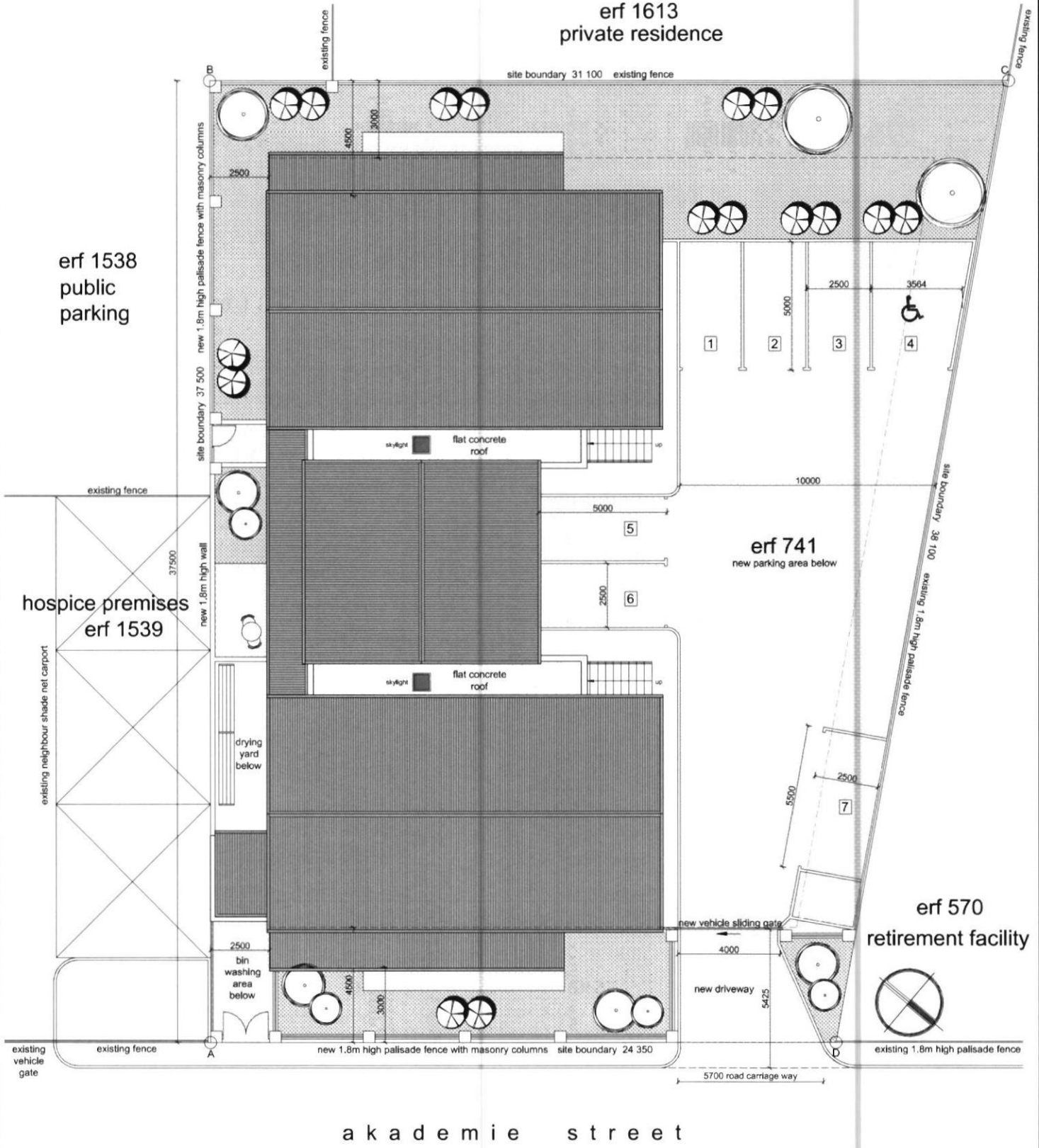
Huis Fredach Apartments, NG Gemeente,
Erf 741, Akademie Street, Franschhoek
SK002 rev 3

KRUGER THERON
ARCHITECTS

Unit 12, Gey van Perrus, Central, Somerset West, 7130
T: 021 851 8727 | C: 082 922 3567
e-mail: kruger@krugertaron.co.za
SACAP: FR Arch 7740

REV 3 12/05/2020 NEW DESIGN

erf 1613
private residence



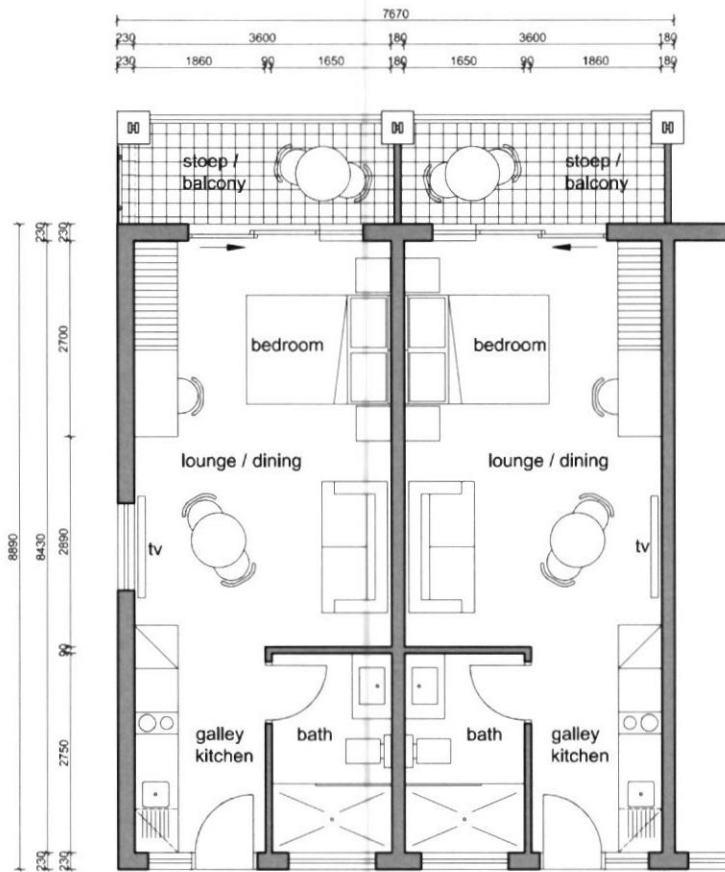
roof and site plan
scale 1:100

Huis Fredach Apartments, NG Gemeente,
Erf 741, Akademie Street, Franschhoek
SK003 rev 3

REV 3 12/05/2020 NEW DESIGN

KRUGER THERON
ARCHITECTS

Unit 12, Gev. von Peltz, Corner, Somerset West, 7130
T: 021 851 8727 / C: 082 922 3567
e-mail: kruger@krugerarchitects.co.za
SACAP: PR Arch 7740



1 bed unit floor plan

scale 1:50

floor area = 33.10m²
steep / balcony = 5.60m²



2 bed unit floor plan

scale 1:50

floor area = 66.40m²
steep / balcony = 5.60m²

Huis Fredach Apartments, NG Gemeente,
Erf 741, Akademie Street, Franschhoek
SK004 rev 3

REV 3 12/05/2020 NEW DESIGN

KRUGER THERON
ARCHITECTS

Unit 12, Gey van Hartus Centre, Somerset West, 7130
T 021 851 8727 / C 021 922 3367
e-mail: kruger@krugertheron.co.za
SACAP, PR Arch 7740



south east elevation

scale 1:100



south west elevation

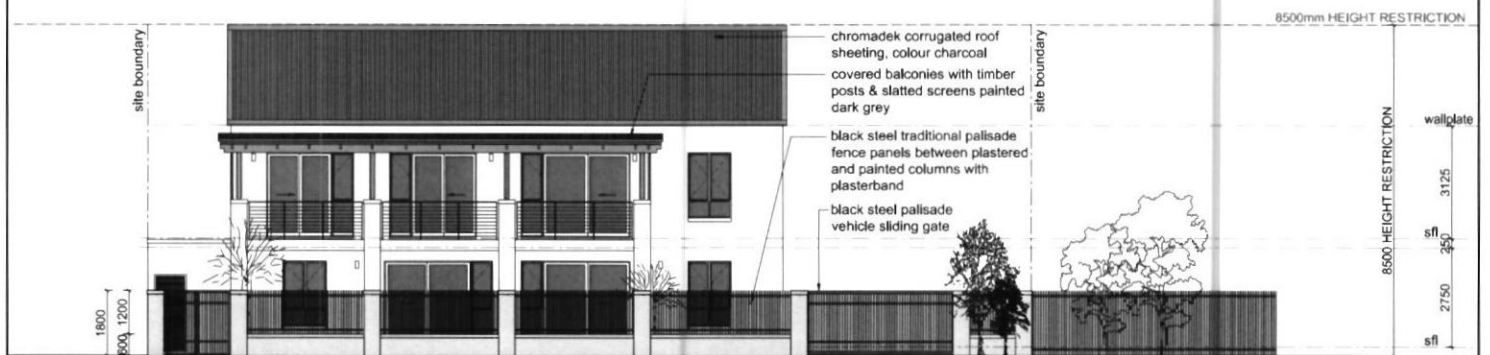
scale 1:100



north west elevation

scale 1:100

Natural ground to be cut in at Akademie Rd side of site approximately 500mm and filled at rear of site approximately 500mm. Height restriction of 8500mm taken from mean site level.



north east elevation (street)

scale 1:100

**Huis Fredach Apartments, NG Gemeente,
Erf 741, Akademie Street, Franschhoek
SK005 rev 3**

REV 3 12/05/2020 NEW DESIGN

KRUGER THERON
ARCHITECTS

Unit 12 Gey van Hecke Centre, Somerset West 7130

T 021 851 8727 / C 082 922 3567

e-mail: kruger@krugertheron.co.za

SACAP: PR Arch 7740

Copyright is vested in this document and no use or reproduction or duplication thereof may occur without the written consent of the author.

1. General
 - 1.1 Contractor to check and verify sufficiency of information, levels and dimensions on drawing before commencing work.
 - 1.2 Report any omissions, discrepancies or errors immediately to the landscape architect.
 - 1.3 Do not scale dimensions from drawing.
 - 1.4 Should the contractor proceed without the approval, he does so entirely at his own risk.

2. Planting
 - 2.1 All images are of mature established plants. All planting to be planted as per specifications in bills of quantities. Client to ask for plant samples if unsure about plant sizes specified.
 - 2.2 All photos are shown as inspirational concept images and as such do not indicate the final products.
 - 2.3 All 100 trees should have a canopy of at least 1.5m and a stem circumference of 80mm, measured 1m from the ground level when planted. All 20 and 40 trees are to be well rooted in their containers prior to procurement.
 - 2.4 Approved Landscape Plan shall be implemented by and at the cost of the developer, in accordance with the approved landscape plan, to the satisfaction of the Head Environment and Heritage Management: Northern District, prior to the issuing of the occupancy certificate. An onsite meeting must be arranged with the Environmental and Heritage Management Branch on completion of such landscaping.

3. Irrigation:
 - 3.1 Fully automatic irrigation to be installed throughout, that will ensure that the water be administered sparingly across the whole landscape. The irrigation need to take seasonal changes, especially the rainy season, into consideration and will be designed to a use the alternative source of water, rainwater and grey water, that could possibly be harvested on site.

4. Shaping:
 - 4.1 Soil to be shaped to assist storm water draining.

5. Maintenance:
 - 5.1 A monthly maintenance package need to be in place to ensure the upkeep of the landscape. All weeds to be removed.
 - 5.2 Maintenance and irrigation of all landscaped areas to remain the responsibility of the developer for a minimum of 12 months and the property owners thereafter.

6. Boundary wall
 - 6.1 The boundary fence as per notes on the plan

P.O.Box 12047
 Woodlands
 Sandton
 7613
 Tel: 042 5040 485
 Fax: 042 5040 485
 Registration no: 2005/01590/027

CLIENT
 M. Greenberg

PROJECT
 Apartments
 Erf 741, Akademie Street, Franschhoek

DESCRIPTION
 Landscape Site Development plan - Planting plan

DATE
 2020-08-23

DRAWN
 1:100 (A0)

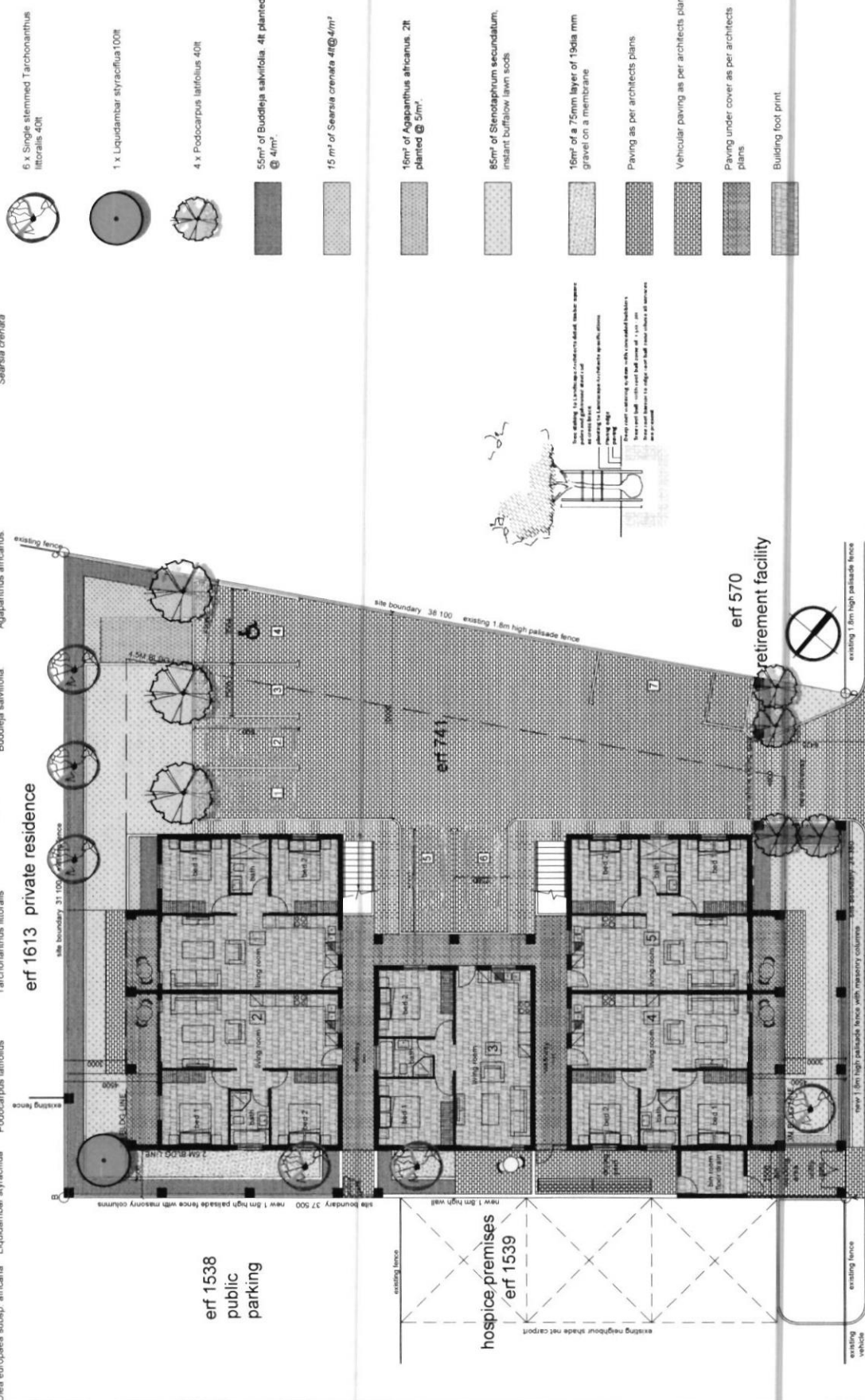
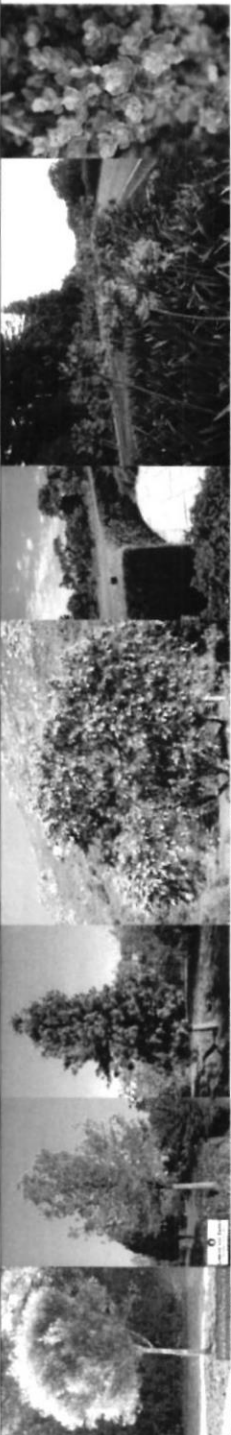
CHECKED
 P.M.

DRAWING NUMBER
 MFA-080-211E-

REVISION
 001

DATE
 2020-08-23

DESCRIPTION
 For approval



LANDSCAPE SITE DEVELOPMENT PLAN - PLANTING PLAN



**Engineering Bulk Services Report for the Dutch
Reformed Church**

Erf 741, Akademie Street, Franschoek

Dutch Reformed Church, Franschoek
29 Huguenot Road
Franschoek
7690

Compiled: Mari Kirsten (Pr Eng – 20070213)

PROJECT DETAILS

PROJECT : Services Report - Proposed Apartments Dutch Reformed Church
LOCATION : Fransshoek
CONTENTS : Civil Engineering Bulk Services Report
REPORT STATUS : Rev 0
DATE : August 2020

CONTRACTING AUTHORITY: Principal Technician: Development Infrastructure Services
Plein Street,
Stellenbosch,
7600

Tel: +27 21 808 8205

REPRESENTED BY : *Mr. Colin Taylor*

CONSULTANT : Mari Kirsten

1305 La Vue
Val de Vie Lifestyle Estate
Paarl

Tel: +27 82 341 1420

Report Compiled by:


.....
Mari Kirsten
Engineer

30 July 2020
.....
Date

| CONTENTS | PAGE |
|---------------------------------|-------------|
| 1. INTRODUCTION | 2 |
| 2. BACKGROUND INFORMATION | 2 |
| 3. SITE ANALYSIS..... | 3 |
| 4. EXISTING SERVICES..... | 4 |
| 5. DESIGN CRITERIA | 6 |
| 6. BULK SERVICES..... | 6 |
| 7. CONCLUSIONS | 12 |

1. INTRODUCTION

Mari Kirsten (Pr Eng) was requested by the Dutch Reformed Church of Franschoek to conduct a preliminary assessment of the potential to provide Services to new proposed departments on Erf 741, Akademie Street, Franschoek.

The purpose of the civil engineering services assessment is to determine the availability and capacity of existing bulk services with a view to servicing the proposed development. This report presents the findings of a preliminary desktop investigation relating to bulk services, and further sets out the criteria and standards for the internal services.

The civil engineering services addressed in this report are the following:

- Potable water
- Foul sewage
- Stormwater management
- Roads
- Solid waste

2. BACKGROUND INFORMATION

2.1 Location and Description of the Site

The land consists of Erf 741 that is situated between Akademie Street to the East, Erf 570 to the North, Erf 1613 to the West, Erf 1539 to the South East and Erf RE/253 to the South, as indicated on the Locality Plan, Figure 3-1. The property is owned by the Dutch Reformed Church of Franschoek.



Figure 3-1: Locality plan

Geographic coordinates of site: Latitude -33.909418(S); Longitude 19.120619(E).

2.2 Zoning of Proposed Development

The proposed development will consist of 13 no Single- and Double-bedroom apartments. According to the Zoning Scheme 2018 of Franschhoek the Site is zoned as Multi-unit Residential Zone. The current zoning right is for 50units/hectare.

There are no servitudes crossing the property.

3. SITE ANALYSIS

3.1 Topography

The area of the site is approximately 0,1 hectares (1055m²).

The site slope in a North Western direction with an average slope percentage of 3%. (Fairly flat)

The site is roughly at level 278.4msl

3.2 Climate and Existing Landscaping

The climate in Franschhoek is warm and temperate. In winter, the rainfall is higher. The Köppen-Geiger climate classification is CSB. The average temperature in Franschhoek is 16.4 °C. The rainfall here is average around 912 mm per year with the low in January of approximately 24mm and highest in June at 141 mm

The acquirer type and yield in this area is classified as: Fractured 0.1 - 0.5 l/s

The groundwater depth is shallow at approx. 5m deep.

The site currently has an existing dwelling. Coverage of existing dwellings and other structures is approximately 45% with hardened surface of approximately 20%. The rest of the site is covered by trees and sparse landscaping

3.3 Geotechnical information

The soils of the site are residual soils developed on underlying schist, greywacke and phyllite of the Moorreesburg Formation, Malmesbury Group. The expected soil types are silty sand (topsoil), All soils grade into partially weathered under lying rock with depth.

A geotechnical investigation has not been undertaken (Only desktop study and on-site investigation).

4. EXISTING SERVICES

4.1 Water

The existing site is serviced by a 100mm diameter municipal water connection on the Eastern side of the site. The existing water connection is currently only a single residential water connection that will need to be upgraded to a bulk meter to allow sufficient supply.



4.2 Sewer

The existing site is serviced by a 160 mm diameter A/C municipal owned sewer pipeline with a sufficient sized connection on the North Eastern side of the site. The pipeline has sufficient capacity for the increase in the development.



4.3 Stormwater

The natural surface water flow is accumulated within the Site and road north west from the erf. It discharges into the Northern erf's (Fleur De Lis Ouetehuis) driveway.

The main collector is the stream to the north of the site as per Figure 4-1. The surface water collects in Dirkie Uys Street, West of the site and flows in a North western direction towards the local stream. The stream flows to the South and discharge into the Franschhoek River



Figure 4-1: Surface drainage layout

The site has no existing stormwater infrastructure.

4.4 Roads

The access to the site is gained from Akademie Street that is functioning as a Class 4b Collector Street. However, can only be classified as a Class 5b based on the road reserve size. The road is currently an asphalt surfaced 5m roadway with a double lane single way in a Southern direction.

The additional vehicular traffic will not require a further traffic impact assessment and provides enough access to the site.

4.5 Electricity

The electricity is supplied by the Stellenbosch Municipality. A 11kV Mini Substation is located to the North East of the site and currently supplies sufficient capacity to the site, No upgrade foreseen.

5. DESIGN CRITERIA

The following guidelines and references were used as the basis for the assessment of roads, stormwater, water, foul sewage and solid waste services for the development:

- The "Guidelines for Human Settlement Planning and Design" (CSIR Building and Construction Technology, Boutek), commonly known as "The Red Book".
- SANRAL drainage Manual, 5th Edition (October 2007).

6. BULK SERVICES

6.1 Bulk Water Supply

6.1.1 Estimated Water Demand

The surrounding erven in the area is mainly Dwelling houses with erven varying from 1000m² to larger than 2000m². The proposed site will be changing from a classification (as per Red Book standards) of a Dwelling house with erf size 1055m² and therefore according to Figure 6-1 the Average Annual Daily Demand was around 1560l/d (excluding fire demand). With Peak factor of 0,63 the flow required was 0,63l/s with a house connection size of 28mm. No additional fire flow was required

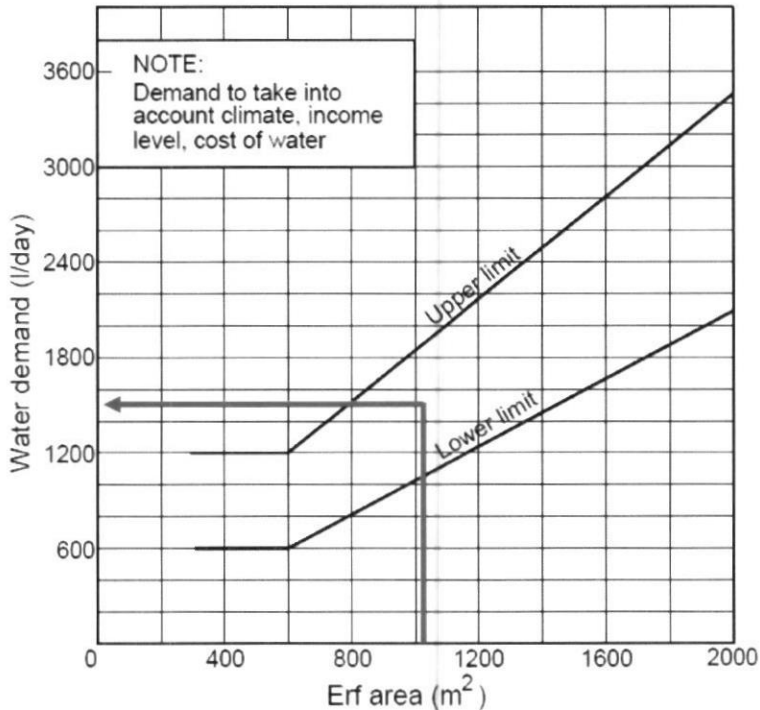


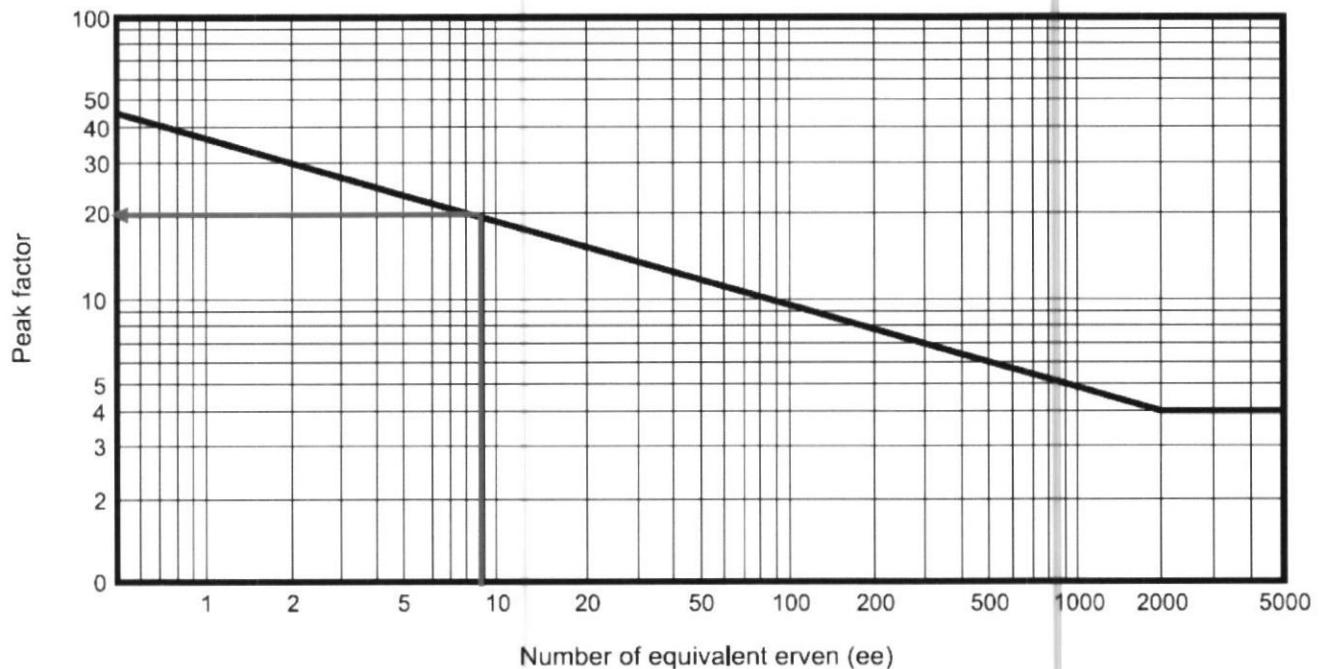
Figure 6-1: Annual average daily water demand for erven in developed areas

The new proposed development will fall within the classification of a High-rise multiple-dwelling (Residential zone IV) as per the Red Book description and therefore the proposed Average Annual Daily Demand will be to the upper limit at 700l/d per dwelling.

The Peak factor has been derived from the table below and therefore a Summer Peak Factor of 1,5 and a daily Peak Factor of 2,4 should be allowed in the design.

| Table 9.15: Peak factors for developing areas | | | | |
|--|--------------------|-------------------|----------------------|----------------|
| PEAK FACTORS: DEVELOPING AREAS – UNRESTRICTED FLOW SYSTEMS # | | | | |
| TYPE OF DOMESTIC SUPPLY | SUMMER PEAK FACTOR | DAILY PEAK FACTOR | INSTANTANEOUS PEAK # | |
| | | | Low density** | High density** |
| House connection | 1,5 | 2,4 | 3,6 - 4,0 | 4,0 minimum* |
| Yard connection | 1,35 | 2,6 | 3,5 - 4,0 | 4,0 minimum* |
| Street tap / standpipe | 1,2 | 3,0 | 3 - 3,6 | 4,0 minimum* |
| Yard tanks | - | - | see note | see note |

The Instantaneous Peak factor is derived from the Figure 6-2 and is 19 Based on the number of equivalent erven (9.1ee)



The total Average daily demand is **0,11l/s** with an instantaneous peak demand of 2,0l/s. Connection for domestic water supply should be minimum 50mm. The minimum head required should be 24m and the maximum 90m. (Currently the Head is sufficient)

6.1.2 Fire Fighting

According to the Red Book guidelines for fire flow, the Residential Zone (IV) fall within High-risk area and therefore Fire Hydrants need to be spaced 120m maximum apart. Currently the closest hydrant is on the 100mm diameter pipeline @ 52m distance to the South East and approx. 60m to the north. No additional Fire Flow Demand need to be supplied other than the internal Fire requirements as per SANS10400-W1

Since the total building size is less than 1000m² no Fire hydrant will be required on the erf. Since a firehose reel can only extend to 30m distance there will be 1 hose reel required per floor with a total additional fire flow allowance in the domestic water supply of 1l/s

6.1.3 Upgrades required for proposed development

The summarized demand requirements are:

| Description | # of | Unit | AADD | PF | Instantaneous peak demand (l/s) | Average daily flow (l/s) |
|---|------|-------|------|------|---------------------------------|--------------------------|
| Multiple-dwelling Unit Cat 4 (high limit) | 13 | units | 700 | 19.0 | 2.00 l/s | 0.11 l/s |
| Fireflow Hose reels @ 30l/min | 2 | reels | | | 1.00 l/s | 1.00 l/s |
| Total peak flow + fire | | | | | 3.00 l/s | 1.11 l/s |

| | | |
|---|------------|------------------|
| Recommended pipe diameter domestic @ | 1.00 m/s = | 50 mm ~ say 50mm |
| Recommended pipe diameter domestic + fire @ | 1.20 m/s = | 56 mm ~ say 75mm |

The proposal is to upgrade the bulk connection to a 75mm connection.

6.2 Bulk Sewage

6.2.1 Estimated Sewage Flow

Description of each Catchment

The Franschhoek catchment area is (±) 2000 Ha and consists mainly of farms (mainly wine related effluent), a few schools, restaurants (business zones) and residentials.

Even though a portion of the effluent used to discharge into the Old Franschhoek Water Treatment Works, the plant was in dire need of upgrade and have therefore been used as a transfer through a pump station and newly upgraded bulk line to the Wemmershoek Waste Water Treatment works that has an overall current capacity of 3MLD and is supposed to be upgraded to accommodate 5MLD.

This plant have sufficient capacity for the current zoning requirements that include the increase in capacity of the proposed apartments.

New Development

The new development consists of 13 units (120units/ha Density). The current sewer is 0.0618l/s that includes a Peak Wet weather Factor of 1.15 and a Peak Factor of 3.5

A summary of the design parameters are:

| | |
|-----------------------------|---|
| Description | Multiple-dwelling Unit Cat 4 (high limit) |
| # of erven | 13 |
| Water AADD | 700 |
| Wastewater % of AADD | 85% |
| ADWF (l/unit/day) | 595.00 |
| ADWF (kl/day) | 7.7 |
| ADWF (l/s) | 0.09 |
| Persons / unit | 3 |
| Population | 39 |
| Peak Factor | 3.50 |
| PDWF (l/s) | 0.313 |
| Extraneous Flow % | 15% |
| PWWF (l/s) | 0.3603 |

Recommended pipe diameter domestic @ 0.70 m/s = 26 mm ~ say 100mm

The existing house connection will suffice and do not require upgrade.

6.2.2 Pipe Diameters, Velocities and Gradients

- Full flow design at peak design flow (self cleaning).
- Depth to invert level of municipal sewer: 0,85m
- Depth to invert level of erf connection: 0,70m
- Flow velocity (min) : 0,7m/s
- Flow velocity (max) : 2.2m/s
- Cover over municipal sewers in servitude: 0,60m
- Cover over municipal sewers in sidewalks: 0,80m below kerb level
- Cover over municipal sewers in roads: 1,0m below final level
- Angle between intersecting sewers: not greater than 90°

Notwithstanding that the full bore minimum velocity of 0.7m/s can be achieved in uPVC pipes, the actual inflow into the pipes in some sections is so minimal that flow within the pipes will not reach 0.7m/s. This is typical at the heads of sewers where erf connections are made. To address the above a minimum grade of at least 1:80 has been adopted for the first 80m at the head of sewers.

Based on this requirement the current house connection will not require upgrade if it is deeper than 1,6m to allow a fall from the lowest portion of the erf to the house connection.

6.3 Stormwater management

The guiding principle underlying the stormwater management strategy is that, where possible, the peak runoff from the post-developed site should not exceed that of the pre-developed site for the full range of storm return periods (1:2 to 1:50). Where possible, measures should be incorporated into the site development plan to attenuate the post-development flows to pre-development rates.

The stormwater network will be designed to accommodate the minor storm event (1:2 year) in pipes or open channels. The major storm (1:50 year) will be managed through controlled overland flows and above-ground attenuation storage.

Stormwater concentration will be avoided at all costs.

6.3.1 Minor system

The minor system provides for the convenience of the community by rapidly removing runoff caused by storms of relatively short return period from the drainage area, mainly via an underground pipe network. The system also includes kerb inlets, catchpits, manholes, road edge channels, and opens channels and is intended to convey stormwater from streets and paved areas into the major system as quickly and economically as possible.

The minor system design storm return period will be taken at a 2 year return interval. The table below indicates the preferred return period for the development types.

| Design Storm Return period per Development Type | |
|---|------------------------------------|
| Development | Design storm return period (years) |
| Residential | 2 |
| General Commercial and Industrial | 5 |
| Public Buildings | 5 |
| High Value CBD | 5 to 10 |

6.3.2 Major system

The major system is the trunk system that receives stormwater discharge from the minor system. It also functions as the emergency system that operates during overflow from, or failure of the minor system. The system includes watercourses, large conduits, roads, stormwater attenuation facilities and servitudes.

The major system fulfils a flood control function only during major, infrequent storm events. During such events, temporary disruption of many normal activities within the catchment will occur, owing to the intensity and magnitude of the event.

6.3.3 Physical Design Criteria

The physical criteria and requirements for the various stormwater design elements are set out in the sections below.

a) Stormwater pipes and box culverts

| Stormwater pipe design criteria | |
|------------------------------------|--|
| Minimum diameter | 450mm (nominal dia) |
| Pipe Class | 50D – 100D |
| Joint type | Interlocking Joint |
| Bedding type | Class C (SABS 1200LB) |
| Position in road reserve | As indicated on the typical road section |
| Maximum 80% full flow velocity | 0.9m/s |
| Maximum velocity | 3.0m/s |
| Minimum cover (road intersections) | 600mm |
| Minimum cover (general) | 750mm |
| Minimum pipe slope | 1:150 |

- Where possible, road edge channels are to be used in place of smaller pipes to reduce occurrence of blockages.
- Stormwater pipes generally to be situated shallower than sewers.
- Stormwater pipes must not mask sewer connections.
- Free flowing connections (i.e. 450 connections) should be promoted where possible and 900 connections avoided.

b) Catchpits, Grid inlets and kerb inlets

- Number of kerb inlets and catchpits to be kept to a minimum. Maximum flow capacity of road cross-section to be used to determine position of catchpits and kerb inlets.
- Catchpits to be spaced at low areas within the parking area if required.
- Benching to be constructed to allow shovel cleaning.

c) Subsoil drains

- Subsoil drains must be provided in all areas where ground conditions require.
- Subsoil drains to be constructed on upstream side of road reserve directly behind kerb line. Should services need to cross the subsoil system they may be constructed through the subsoil drain.

| Sub-soil drain design criteria | |
|---------------------------------------|---|
| Manhole internal manhole dimension | 520mm |
| Maximum manhole spacing | 60mm |
| Drainage medium | 7mm stone complying with SABS 1083 |
| Minimum drainage pipe diameter | 100mm |
| Pipe Type | uPVC to SABS 1601, 'Corflo' or similiar |

6.3.4 Pre and Post Developed Areas

The pre-development peak flows for various return periods were calculated to be:

- 1:2 years – 1,00 l/s
- 1:5 years – 1,47 l/s
- 1:10 years – 1,78 l/s
- 1:20 years – 2,32 l/s
- 1:50 years – 3,09 l/s
- 1:100 years – 3,86 l/s

The post-development peak flows for various return periods were calculated to be:

- 1:2 years – 1,80 l/s
- 1:5 years – 2,78 l/s
- 1:10 years – 3,27 l/s
- 1:20 years – 4,25 l/s
- 1:50 years – 5,39 l/s
- 1:100 years – 6,54 l/s

A comparison between the peak flows for pre and post development shows a 35% increase in peak stormwater flow.

Based on the difference between the pre and post flows the Site will need to accommodate 3m³ through the various infrastructure. Since the site slopes towards an adjacent erf it is a requirement for the proposed development to manage this volume of accumulated water on site and only allow the original overland flow to be discharged on the surrounding road.

The proposed solution is to install a subsoil drain to the lower sections of the erf draining towards the north western corner of the erf. It will also be advisable to install a grid inlet in the parking area to accumulate the run-off. Both these systems need to combine into a 200mm diameter pipeline that needs to be installed within the building line of Erf 570 and slope into a western direction to be connected into the stormwater system within Akademie street.

7. CONCLUSIONS

The findings and conclusions in this report are based on consultation with the Stellersboch Municipality and a preliminary desktop study.

Water for the proposed development can be provided by connecting to the existing municipal network. An upgrade in the bulk water meter connections are required.

Sewage flow from the proposed development can be accommodated in the existing network. No dedicated bulk sewer outfall connections are required.

Stormwater: The stormwater generated by the development will be managed within the site and where possible, the runoff rates for the full spectrum of design storms should not exceed the runoff rates from the pre-developed site. The minor storms will be managed within the formal stormwater system comprising inlets, channels and pipes. The major storms will be conveyed and managed overland

Roads and Access: Access to the site is through Akademie Street and do not require any upgrade.

Electrical supply to the site is sufficient and do not require upgrade.



LAND USE PRE-APPLICATION CONSULTATION FORM

KINDLY NOTE:

1. This Pre-Application form must be submitted prior to the submission of any Land Use and Land Development application in terms of Section 15(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015. (SLUPB)
 (<https://www.stellenbosch.gov.za/documents/planning-and-building-plans/planning-portal/legislation/3116-stellenbosch-municipality-land-use-planning-by-law-2015/file>)
2. The applicant will be notified if a pre-consultation meeting will be required in terms of Section 37 of the said Bylaw on receipt and scrutiny of this Pre-Application form.

PART A: APPLICANT & PROPERTY PARTICULARS

NAME: Christine Havenga

E-MAIL: christine.havenga@firstplan.co.za

TEL/CELL: 0731951040

Registered Erf Number(s) / Farm & Portion Number(s): Erf 741 Franschoek

Physical Address: 20 Akademie Street

Suburb & Town: Franschoek

Registered Owner: Nederduitse Gereformeerde Kerk

Current Zoning: Multi-Unit Residential

Current land use: Single Residential

| | | |
|---|---|--|
| Are there existing buildings on the subject property(ies)? | Yes <input checked="" type="checkbox"/> | No <input type="checkbox"/> |
| Are there any existing unauthorized buildings and/or land use on the subject property(ies)? | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> |
| If yes, is this application to legalize the building/ land use? | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> |
| Are there any pending court case(s)/ order(s) relating to the subject property(ies)? | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> |
| Is the property located in a heritage area or contains any heritage significant buildings? | Yes <input checked="" type="checkbox"/> | No <input type="checkbox"/> |
| Does the property fall inside the urban edge ? | Yes <input checked="" type="checkbox"/> | No <input type="checkbox"/> |

| DOES THE PROPOSAL REQUIRE THE FOLLOWING ADDITIONAL INFRASTRUCTURE / SERVICES? E.g. Electricity; Water; Sewerage; Road network; other? | YES | NO |
|--|-------------|----|
| Details: Electricity Water Sewerage | ✓ ✓ ✓ | |

PART C: COPIES OF PLANS / DOCUMENTS TO BE SUBMITTED AS PART OF PRE-APPLICATION FORM

The following minimum documentation **must** be attached to this pre-application form:

1. **Locality plan**
2. **Layout Plan of proposal** (eg copy of existing building plan, indicating proposal on site plan, etc.)
3. **Full copy of the title deed or Conveyance Certificate**

Please Note:

- The Municipality may request any other information deemed necessary for the purpose of this pre-application.
- Incomplete pre-applications forms or if required minimum supporting documents is not submitted the pre-application form will not be accepted by the Municipality.

DECLARATION: I hereby confirm that the information contained in this pre-application form and accompanying documentation is complete and accurate.

Applicant's signature: *L Hawonga* Date: 27-2-2020

FOR OFFICE USE:

| | |
|---------------------------------------|-----------------|
| Received by: _____ Date: _____ | Municipal Stamp |
|---------------------------------------|-----------------|

DETERMINATION BY AUTHORISED OFFICIAL

| | | |
|------------------------|------------------------------|-------------------|
| Additional Information | Pre-Application Consultation | Application Ready |
| Sign: | Date: | |

APPLICANT INFORMED BY RESPONSIBLE OFFICIAL

| | |
|-------|-------|
| Sign: | Date: |
|-------|-------|

ANNEXURE 1

POWER OF ATTORNEY

LETTER OF APPOINTMENT

PROPERTY DESCRIPTION

Erf 741 FRANSCHHOEK

Erf number/s

NEDERDUITSE GEREFORMEERDE KERK FRANSCHHOEK

Name of client (developer)

HEREBY CERTIFY THAT

FIRST PLAN TOWN AND REGIONAL PLANNERS

Name of Consultant / Capacity

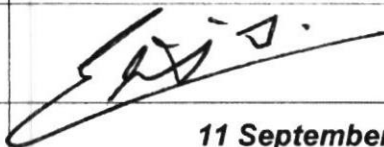
HAS BEEN APPOINTED AS A CONSULTANT TO THE PROJECT TEAM, TO APPLY FOR A REMOVAL OF RESTRICTIONS/ REZONING/ DEPARTURE/ CONSENT USE/ CONDITIONAL USE/ SUBDIVISION IN RESPECT OF THE ABOVE-MENTIONED PROPERTY(IES) AND TO OBTAIN ALL THE NECESSARY INFORMATION FROM THE RELEVANT AUTHORITIES TO ENABLE THE PROPERTY(IES) TO BE UTILISED FOR THE DEVELOPMENT OF RESIDENTIAL UNITS IN TERMS OF THE PROVINCIAL HOUSING BOARD'S SUBSIDY PROVISIONS

THE UNDERSIGNED THEREFORE NOMINATES, CONSTITUTES AND APPOINTS THE ABOVE-MENTIONED WITH POWER OF SUBSTITUTION TO BE THEIR LEGAL REPRESENTATIVE/AGENT AND TO ACT ON THEIR BEHALF IN THE ABOVE REGARD. POWER OF ATTORNEY IS ACCORDINGLY HEREBY GRANTED TO THE APPLICANT TO SIGN ALL CORRESPONDENCE IN RESPECT OF MATTER REFERRED TO ABOVE.

CLIENT/DEVELOPER'S NAME

Eugene du Toit for NG Kerk Fanschoek

CLIENT/DEVELOPER'S
SIGNATURE



DATE

11 September 2020

ANNEXURE 2

APPLICATION FORM



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

LAND USE PLANNING APPLICATION FORM 2017

(Section 15 of the Stellenbosch Municipal Land Use Planning By-Law (2015) and other relevant legislation)

KINDLY NOTE: Please complete this form using BLOCK letters and ticking the appropriate boxes.

PART A: APPLICANT DETAILS

| | | | | | |
|---------------------------------|---------------------------------------|-----|--------------|------|-------------|
| First name(s) | Christine | | | | |
| Surname | Havenga | | | | |
| Company name (if applicable) | First Plan Town and Regional Planners | | | | |
| Postal Address | P.O. Box 15865, Panorama | | | | Postal Code |
| | | | | | 7506 |
| Email | christine.havenga@firstplan.co.za | | | | |
| Tel | 021 930 7183 | Fax | 021 930 7210 | Cell | 073 1951040 |

PART B: REGISTERED OWNER(S) DETAILS (If different from applicant)

| | | | | | |
|---------------------|--|-----|---|------|-------------|
| Registered owner(s) | Nederduitse Gereformeerde Kerk Franschhoek | | | | |
| Physical address | 29 Hugenote Road | | | | Postal code |
| | Franschhoek | | | | 7690 |
| E-mail | edytoit@outbok.com | | | | |
| Tel | 0824505241 | Fax | — | Cell | 0824505241 |

PART C: PROPERTY DETAILS (in accordance with title deed)

| | | | | | |
|-----------------------------------|------------------------|--------------------|-------------------------------------|-------------------------------|-------------------------------------|
| Erf / Erven / Farm No. | 741 | Portion(s) if Farm | | Allotment area | Franschhoek |
| Physical Address | 20 Akademie Street | | | | |
| | Franschhoek | | | | |
| Current Zoning | Multi-Unit Residential | Extent | 1055 m ² / ha | Are there existing buildings? | <input checked="" type="checkbox"/> |

| | | | | | |
|--|--|--|---|---|-------------------------------------|
| Applicable Zoning Scheme | Stellenbosch Municipality Zoning Scheme ⁽²⁰¹⁹⁾ By-Law | | | | |
| Current Land Use | Residential dwelling | | | | |
| Title Deed number and date | T | 65842/99 | | | |
| Attached Conveyance's Certificate | <input checked="" type="checkbox"/> | Any Restrictions into the Attached Conveyance's Certificate? If yes, please list condition(s) as per certificate | | | |
| Are the restrictive conditions in favour of a third party(ies)? | <input checked="" type="checkbox"/> | If Yes, list the party(ies): | | | |
| Is the property encumbered by a bond? | <input checked="" type="checkbox"/> | If Yes, list the bondholder(s): | | | |
| Is the property owned by Council? | <input checked="" type="checkbox"/> | If Yes, kindly <u>attach a power of attorney</u> from the Manager Property Management | | | |
| Is the building located within the historical core? | <input checked="" type="checkbox"/> | Is the building older than 60 years? | <input checked="" type="checkbox"/> | Is the application triggered by the National Heritage Resources Act, 1999 (Act 25 of 1999) ¹ | <input checked="" type="checkbox"/> |
| Any existing unauthorized buildings and/or land use on the subject property(ies)? | | <input checked="" type="checkbox"/> | If yes, is this application to legalize the building / land use? ² | | |
| Are there any pending court case(s) / order(s) relating to the subject property(ies)? | | <input checked="" type="checkbox"/> | Are there any land claim(s) registered on the subject property(ies)? | | |
| PART D: PRE-APPLICATION CONSULTATION | | | | | |
| Has there been any pre-application consultation? | | <input checked="" type="checkbox"/> | If Yes, please attach the minutes of the pre-application consultation. | | |
| PART E: LAND USE PLANNING APPLICATIONS AND APPLICATION FEES PAYABLE | | | | | |
| APPLICATIONS IN TERMS OF SECTION 15 OF THE STELLENBOSCH MUNICIPAL LAND USE PLANNING BY-LAW (2015) | | | | | |
| Tick | Type of application: <i>Cost are obtainable from the Council Approved tariffs</i> ³ | | | | |
| | 15(2)(a) Rezoning of Land | | | | |
| <input checked="" type="checkbox"/> | 15(2)(b) a permanent departure from the development parameters of the zoning scheme | | | | |
| | 15(2)(c) a departure granted on a temporary basis to utilise land for a purpose not permitted in terms of the primary rights of the zoning applicable to the land; | | | | |
| | 15(2)(d) a subdivision of land that is not exempted in terms of section 24, including the registration of a servitude or lease agreement; | | | | |
| | 15(2)(e) a consolidation of land that is not exempted in terms of section 24; | | | | |

Section 34: Awaiting demolition permit

¹ All applications triggered by section 38(1)(a)-(e) in terms of the National Heritage Resources Act, 1999 (Act 25 of 1999) may not be processed without a permit issued by the relevant department
² No application may be submitted to legalize unauthorised building work and or land use on the property if a notice have been served in terms of Section 87(2)(a), and until such time a Section 91 Compliance Certificate have been issued in terms of the Stellenbosch Land Use Planning By-law (2015)
³ <http://www.stellenbosch.gov.za/documents/idp-budget/2017-2/4873-appendix-3-tariff-book-2017-2018/file>

| | |
|----------|--|
| 15(2)(f) | a removal, suspension or amendment of restrictive conditions in respect of a land unit; |
| 15(2)(g) | a permission required in terms of the zoning scheme; |
| 15(2)(h) | an amendment, deletion or imposition of conditions in respect of an existing approval; |
| 15(2)(i) | an extension of the validity period of an approval |
| 15(2)(j) | an approval of an overlay zone as contemplated in the zoning scheme; |
| 15(2)(k) | an amendment or cancellation of an approved subdivision plan or part thereof, including a general plan or diagram ; |
| 15(2)(l) | a permission required in terms of a condition of approval; |
| 15(2)(m) | a determination of a zoning; |
| 15(2)(n) | a closure of a public place or part thereof; |
| 15(2)(o) | a consent use contemplated in the zoning scheme; |
| 15(2)(p) | an occasional use of land; |
| 15(2)(q) | to disestablish a home owner's association |
| 15(2)(r) | to rectify a failure by a home owner's association to meet its obligations in respect of the control over or maintenance of services; |
| 15(2)(s) | a permission required for the reconstruction of an existing building that constitutes a non-conforming use that is destroyed or damaged to the extent that it is necessary to demolish a substantial part of the building. |
| 15(2)(6) | When the Municipality on its own initiative intends to conduct land development or an activity |
| 15(2)(l) | Amendment of Site Development Plan |
| 15(2)(l) | Compilation / Establishment of a Home Owners Association Constitution / Design Guidelines |

OTHER APPLICATIONS *Approval of a SDP + departures From Franschhoek*

| | |
|--|----------|
| Deviation from Council Policies/By-laws; <i>Urban conservation Area provisions</i> | R |
| Other (specify) : _____ | R |
| TOTAL A: | R |

PRESCRIBED NOTICE AND FEES (for completion and use by official)**

| Tick | Notification of application in media | Type of application | Cost |
|------|--|---|------|
| | SERVING OF NOTICES | Delivering by hand; registered post; data messages | R |
| | PUBLICATION OF NOTICES | Local Newspaper(s); <i>Provincial Gazette</i> ; site notice; Municipality's website | R |
| | ADDITIONAL PUBLICATION OF NOTICES | Site notice, public meeting, local radio station, Municipality's website, letters of consent or objection | R |
| | NOTICE OF DECISION | <i>Provincial Gazette</i> | R |
| | INTEGRATED PROCEDURES | T.B.C | R |

| | |
|--|----------|
| TOTAL B: | R |
| TOTAL APPLICATION FEES* (TOTAL A + B) | R |

* Application fees that are paid to the Municipality are non-refundable and proof of payment of the application fees must accompany an application.
 ** The applicant is liable for the cost of publishing and serving notice of an application. Additional fees may become applicable and the applicant will be informed accordingly.

BANKING DETAILS

| | |
|---|---------------------------|
| Name: | Stellenbosch Municipality |
| Bank: | NEDBANK |
| Branch no.: | 198765 |
| Account no.: | 1152271679 |
| SWIFT | NEDSZAJJ |
| Payment reference: (Erf/Form number) | |

| DETAILS FOR INVOICE | |
|--|-------------------------------|
| Name & Surname/Company name (details of party responsible for payment) | NG Gemeente Franschoek |
| Postal Address | Posbus 80 Franschoek, 7690 |
| Vat Number (where applicable) | n.a. |

PART F: DETAILS OF PROPOSAL

| | | | | | | | | | |
|---|----------------|-----------------|---|------|-----|-----|----|-----|-----|
| Building line encroachment | Street | AKADEMIC STREET | From | m | 4.5 | To | m | 3.0 | |
| | Street | | From | m | | To | m | | |
| | Side | EF 1538 AB | South | From | m | 4.5 | To | m | 2.5 |
| | Side | EF 1631 BC | Eastern | From | m | 4.5 | To | m | 3.0 |
| | Aggregate side | | South West | From | m | | To | m | |
| | Rear | | | From | m | | To | m | |
| Exceeding permissible site coverage | | | From | % | | To | % | | |
| Exceeding maximum permitted bulk / floor factor / no of habitable rooms | | | From | | 75% | To | | 80% | |
| Exceeding height restriction | | | From | m | | To | m | | |
| Exceeding maximum storey height | | | From | m | | To | m | | |
| Consent/Conditional Use/Special Development | | | | | | | | | |
| To permit..... | | | | | | | | | |
| in terms of Section.....of the.....Zoning Scheme Regulations | | | | | | | | | |
| Other (please specify) | | | <ul style="list-style-type: none"> A departure from off-street parking-requirements for block of flats 7 bays in lieu of 20. Some departures from the provisions of the Franschoek Urban Conservation Area. | | | | | | |

Brief description of proposed development / intent of application:

It is intention of the Franschoek NG Church to develop a small block of flats to allow for affordable housing for elderly people and young people from Franschoek.

It will allow for 5 two-bedroom units on the ground floor intended as retirement units and a two-bedroom units and 6 bachelor units on the first floor.

PART G: ATTACHMENTS AND SUPPORTING INFORMATION AND DOCUMENTATION FOR LAND USE PLANNING APPLICATION

Complete the following checklist and attach all the information and documentation relevant to the proposal. Failure to submit all information and documentation required will result in the application being deemed incomplete.

| | | | | | | | | | |
|---|--|--|--|--|--|--|--|--|---|
| | | | | | | | | | |
| X | | | | | | | | | Power of attorney / Owner's consent if applicant is not owner |
| | | | | | | | | | Bondholder's consent (if applicable) |
| | | | | | | | | | Resolution or other proof that applicant is authorised to act on behalf of a juristic person |
| | | | | | | | | | Proof of any other relevant right held in the land concerned |
| X | | | | | | | | | Written motivation pertaining to the need and desirability of the proposal |
| X | | | | | | | | | S.G. diagram / General plan extract (A4 or A3 only) |
| X | | | | | | | | | Locality plan (A4 or A3 only) to scale |
| | | | | | | | | | Site development plan or conceptual layout plan (A4 or A3 only) to scale |
| | | | | | | | | | Proof of agreement or permission for required servitude |
| | | | | | | | | | Proposed subdivision plan (A4 or A3 only) to scale |
| | | | | | | | | | Proof of payment of application fees |
| X | | | | | | | | | Proof of registered ownership (Full copy of the title deed) |
| X | | | | | | | | | Conveyancer's certificate |
| | | | | | | | | | Minutes of pre-application consultation meeting (if applicable) |
| | | | | | | | | | Consolidation plan (A4 or A3 only) to scale |
| | | | | | | | | | Land use plan / Zoning plan (A4 or A3 only) to scale |
| | | | | | | | | | Street name and numbering plan (A4 or A3 only) to scale |
| X | | | | | | | | | 1 : 50 / 1:100 Flood line determination (plan / report) (A4 or A3 only) to scale |
| | | | | | | | | | Landscaping / Tree plan (A4 or A3 only) to scale |
| | | | | | | | | | Abutting owner's consent |
| | | | | | | | | | Home Owners' Association consent |
| | | | | | | | | | Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD) |
| | | | | | | | | | X Services Report or indication of all municipal services / registered servitudes |
| | | | | | | | | | Copy of original approval and conditions of approval |
| | | | | | | | | | Proof of failure of Home owner's association |
| | | | | | | | | | Proof of lawful use right |
| | | | | | | | | | Any additional documents or information required as listed in the pre-application consultation form / minutes |
| | | | | | | | | | Required number of documentation copies |
| | | | | | | | | | Other (specify) |

PART H: AUTHORISATION(S) SUBJECT TO OR BEING CONSIDERED IN TERMS OF OTHER LEGISLATION

| | | | | |
|---|--|--|--|---|
| X | | If required, has application for EIA / HIA / TIA / TIS / MHIA approval been made? If yes, attach documents / plans / proof of submission etc. Section 34 permit for demolition - awaiting it | Specific Environmental Management Act(s) (SEMA) (e.g. Environmental Conservation Act, 1989 (Act 73 of 1989)) | |
| | | | | National Environmental Management: Air Quality Act, 2004 (Act 39 of 2004) |
| | | Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970) | | National Environmental Management: Waste Act, 2008 (Act 59 of 2008) |
| | | Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013)(SPLUMA) | | National Water Act, 1998 (Act 36 of 1998) |
| | | Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations | | Other (specify) |
| | Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA) | | | |
| | | Do you want to follow an integrated application procedure in terms of section 44(1) of the Stellenbosch Municipality Land Use Planning By-Law? If yes, please attach motivation. | | |

SECTION I: DECLARATION

- I hereby wish to confirm the following :
1. That the information contained in this application form and accompanying documentation is complete and correct.
 2. I'm aware that it is an offense in terms of section 86(1)(e) to supply particulars, information or answers knowing the particulars, information or answers to be false, incorrect or misleading or not believing them to be correct.
 3. I am properly authorized to make this application on behalf of the owner and that a copy of the relevant power of attorney or consent is attached hereto.
 4. Where an agent is appointed to submit this application on the owner's behalf, it is accepted that correspondence from and notifications by the Municipality in terms of the by-law will be sent only to the agent and that the owner will regularly consult with the agent in this regard.
 5. I confirm that the relevant title deed(s) have been read and that there are no restrictive title deed restrictions, which impact on this application, or alternatively an application for removal/suspension or amendment forms part of this submission.
 6. I confirm that I have made known all information relating to possible Land / Restitution Claims against the application property.
 7. It is the owner's responsibility to ensure that approval is not sought for a building or land use which will be in conflict with any applicable law.
 8. The Municipality assesses an application on the information submitted and declarations made by the owner or on his behalf on the basis that it accepts the information so submitted and declarations so made to be correct, true and accurate.
 9. Approval granted by the Municipality on information or declarations that are incorrect, false or misleading may be liable to be declared invalid and set aside which may render any building or development pursuant thereto illegal.
 10. The Municipality will not be liable to the owner for any economic loss suffered in consequence of approval granted on incorrect, false or misleading information or declarations being set aside.
 11. Information and declarations include any information submitted or declarations made on behalf of the owner by a Competent Person/professional person including such information submitted or

declarations made as to his or her qualification as a Competent person and/or registration as a professional.

- 12. A person who provides any information or certificate required in terms of Regulation A19 of the National Building Regulations and Building Standards Act No 103 of 1977 which he or she knows to be incomplete or false shall be guilty of an offence and shall be prosecuted accordingly.
- 13. A person who supplies particulars, information or answers in a land use application in terms of the Stellenbosch Municipality Land Use Planning By-law knowing it to be incorrect, false or misleading or not believing them to be correct shall be guilty of an offence and shall be prosecuted accordingly.
- 14. The Municipality will refer a complaint to the professional council or similar body with whom a Competent Person/professional person is registered in the event that it has reason to believe that information submitted or declaration/s made by such Competent Person/professional person is incorrect, false or misleading.

Applicant's signature:

CHavenga

Date:

11 October 2020

Full name:

Christine Havenga

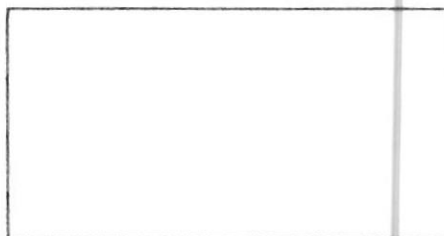
Professional capacity:

Professional Town Planner (A 1945/1997)

FOR OFFICE USE ONLY

Date received: _____

Received By: _____



ANNEXURE 3

PRE-APPLICATION CONSULTATION RECORD

MINUTES
PRE-APPLICATION CONSULTATION
ERF 741 FRANSCHHOEK
WEDNESDAY 18 MARCH 2020 at 10:00
STELLENBOSCH TOWN PLANNING / 3RD FLOOR / EIKESTAD MALL,
STELLENBOSCH

1. ATTENDANCE

1.1. Invited and in attendance:

| NAME | ORGANIZATION |
|-------------------|--|
| Christine Havenga | First Plan Town Planners |
| Robert Fooy | Stellenbosch Municipality – Town Planning |
| Bernabe de la Bat | Stellenbosch Municipality – Spatial Planning |

1.2. Invited and not present

| NAME | ORGANIZATION |
|----------------|-----------------------|
| Eugene du Toit | NG Church Franschhoek |

2. INTRODUCTION

2.1. Purpose of the Meeting

The development background and concept for Erf 147 Franschoek was presented by Christine Havenga of First Plan Town and Regional Planners. The design of the proposed small scale block of flats is based on the provisions of the Franschoek Urban Conservation Overlay Zone and it was designed in such a manner to generally comply with the provisions of this zone.

Some departures from the Zoning Scheme are required, e.g. building line departures and departures from the parking requirements. Robert Fooy indicated that they would consider the departure from the parking requirements as it assists to ensure a more attractive streetscape in Akademie Street in accordance with the HPOZ provisions.

3. STATUS QUO

3.1. Existing Activities

An application in terms of Section 34 will be submitted to Heritage Western Cape for the demolition of the existing structures on the site and detail with regard to the replacement building would be provided to them.

3.2. Applicable Policy

The site is located within the urban edge. The site was not identified as a heritage resource in the Stellenbosch Municipality Heritage Inventory and Management Plan. It was agreed that the design and scale of the proposed low intensity block of flats is considered to be in line with the provisions of the HPOZ and the SDF which promotes this type of development to allow for affordable housing for local residents of Franschoek as there is a dire need for this type of housing opportunities.

4. APPLICATIONS TO BE LODGED

The site is already zoned for Multi-Unit Residential zone purposes. Applications for departures from the provisions of this zone would be required. It is not clear if the application should include an application for departures from the provisions of the Franschoek Urban Conservation Overlay Zone.

5. CLOSE

ANNEXURE 4



LOCALITY PLAN



LOCALITY PLAN

Erf 741 Franschhoek

➔ SITE: Erf 741, 20 Akademie Street, Franschhoek

| | | | | | | |
|--------|--|---------|-------------|---|--|---|
| DATE | September 2020 | FILE NR | FP/0315/779 |  Not to Scale | FIRST PLAN TOWN AND REGIONAL PLANNERS 8 Essenhout Crescent, Plattekloof, 7500 PO Box 15865, Panorama, 7506 E-mail: projects@firstplan.co.za |  |
| CLIENT | Nederduitse Gereformeerde Kerk Franschhoek | ANNEX | 4 | | | |

ANNEXURE 5

ZONING PLAN OF SURROUNDING AREA



ZONING PLAN OF SURROUNDING AREA

Erf 741 Franschoek

| | | | | |
|-----------------------------|-------------------------------|----------------------------|------------------|-----------------------|
| Multi-Unit Residential Zone | Conventional Residential Zone | Agriculture and Rural Zone | Community Zone | Utility Services Zone |
| Mixed Use Zone | Public Open Space Zone | Education Zone | Limited Use Zone | |

| | | | | | | |
|--------|---|---------|-------------|--|--|--|
| DATE | September 2020 | FILE NR | FP/0315/779 | | FIRST PLAN TOWN AND REGIONAL PLANNERS 8 Essenhout Crescent, Platteklouf, 7500 PO Box 15865, Panorama, 7506 E-mail: projects@firstplan.co.za | |
| CLIENT | Nederduitse Gereformeerde Kerk Franschoek | ANNEX | 5 | | | |

ANNEXURE 6

LAND USE PLAN OF SURROUNDING AREA



LAND USE PLAN OF SURROUNDING AREA

Erf 741 Franschoek

- | | | | | | |
|--------------|-----------------------|-------------------|----------|----------------|----------------------|
| Guest Houses | Residential Dwellings | Farm/Agricultural | Churches | Hospice | Municipal Properties |
| Businesses | Parks | School and Hostel | Cemetry | Public Parking | Old Age Home |

| | | | | | | |
|--------|---|---------|-------------|------------------|--|--|
| DATE | September 2020 | FILE NR | FP/0315/779 | Not to Scale | FIRST PLAN TOWN AND REGIONAL PLANNERS 8 Essenhout Crescent, Platteklouf, 7500 PO Box 15865, Panorama, 7506 E-mail: projects@firstplan.co.za | |
| CLIENT | Nederduitse Gereformeerde Kerk Franschoek | ANNEX | 6 | | | |

ANNEXURE 7

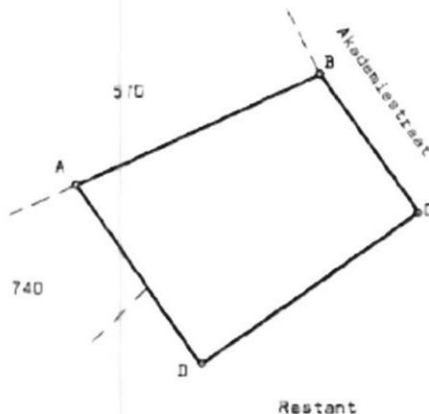
DIAGRAM

VAN DER MERWE, DUXBURY & DUNN
Landmeters BELLVILLE

KANTOOR: KESKOP

| SYE Meter | RIGTINGS HOEKE | KOÖRDINATE | | L.G. No. 8588/71 |
|--------------|-------------------|------------|---------------------------|---|
| | | Y | X | |
| | Konstante | ± | C,00 + 3 700 000,00 | Goedgekeur <i>Offisier</i> Landmeter-generaal 23.11.71 |
| AB | 30,09 | 245.14.10 | A - 11 190,53 + 53 313,92 | |
| BC | 24,59 | 324.18.40 | B - 11 225,17 + 53 297,96 | |
| CD | 37,90 | 54.57.00 | C - 11 239,52 + 53 317,93 | |
| DA | 31,39 | 145.13.00 | D - 11 208,49 + 53 339,70 | |

A B C D : 12mm ysterpen



Skalel 1/750

Die figuur A B C D

stel voor 1055 vierkante meter grond. synde

ERF 741 (gedeelte van Erf 253) FRANSCHHOEK

geleë in die Munisipaliteit van Franschoek

Administratiewe Distrik

Paarl

Provinsie Kaap die Gooie Hoop

Opgemaak in September 1971

deur my,

[Signature]
Landmeter

Hierdie kaart is geheg aan

Die oorspronklike kaart is

Lêer No. S/7042

No. 7931/73
gedateer

No. 1267/1897 geheg aan
Transport/Grondbrief
No. Pa. F.2 - 10

M.S. No. B.2218/71
Komp. BI-7CA / X54

t.g.v.

Registrateur van Aktes

| Omskrywing | Voorwaardes | |
|-----------------------|-------------|--------|
| | Met | sonder |
| Art. 9 O.d. 33 1034 | | |
| Art. 180 O.d. 16 1022 | | |
| Art. 28 Akte Boek | | |
| Vereëning | | |
| Magtiging | | |
| Gedat. | | |

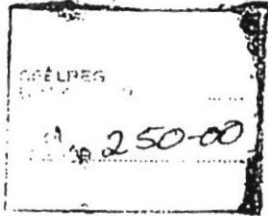
Magtiging: N/A. 23.11.1978
Gedat.: 23.11.1978
[Signature]
Landmeter-generaal

S
B
C

ANNEXURE 8

TITLE DEED

151



Opgestel deur my,

[Signature]
TRANSPORTBESORGER
HOFMEYR, N.J.

Van en Voorletters'

Reg 68(W) 8

VEREENIGDE REPUBLIEK VAN SUID-AFRIKA

R400 000-00

B 34609 99

[Signature]

BC 024906/11

BEKANSELLEER
CANCELLED

REGISTRATEUR/REGISTRAR

2011-06-03

[Signature]

Vir verdere endossemente sien bl. 4

TRANSPORTAKTE

T 65842199

HIERBY WORD BEKENDGEMAAK

| | | | |
|---------------|------|--------------|----|
| OPDRAGNUMMER | 2618 | OPDRAGNUMMER | BT |
| OPSTAAKNUMMER | 310 | | |

DAT ~~WILHELMUS JOHANNES HOFMEYR~~ BAREND FREDERIK BOOYSEN

voor my, Registrateur van Aktes verskyn het te KAAPSTAD

hy, die genoemde **Komparant** synde behoorlik daartoe gemagtig deur 'n **Volmag** aan hom verleen deur

KARL HEINRICH KEMPKEN
Identiteitsnommer 280117 5016 10 3

en
JULIANA KEMPKEN
Identiteitsnommer 510518 0190 10 2

GETROUD BINNE GEMEENSKAP VAN GOED MET MEKAAR

gedateer die 13de dag van JULIE 1999, en geteken te PAARL

EN genoemde Komparant het verklaar dat sy **voorsegde Prinsipale** waarlik en wettiglik verkoop het op **9 NOVEMBER 1998**

en dat hy in sy voornoemde hoedanigheid hierby in volkome en vrye eiendom sedeer en transporteer aan en ten gunste van

die **NEDERDUISE GEREFORMEERDE KERK FRANSCHHOEK**

of dié se Regverkrygendes

ERF 741 FRANSCHHOEK

Geleë in die Munisipaliteit vir die gebied van **FRANSCHHOEK**

Afdeling **PAARL**

PROVINSIE WES-KAAP

GROOT: 1055 (EENDUISEND EN VYF EN VYFTIG) vierkante meter

EERSTE GETRANSPORTEER kragtens Transportakte Nr. T7931/1973 met Kaart Nr. 8588/71 wat daarop betrekking het.

EN GEHOU kragtens Transportakte Nr. T50620/91

- A. **ONDERHEWIG** aan die volgende voorwaarde vervat in **Akte van Toekenning Nr. 10** gedateer **30 Desember 1897 (Paarl Eiendomsbriewe Boekdeel 1 Nr. 2)**:-

"To all such duties and regulations as are either already or shall in future be established with regard to such land."

WESHALWE die Komparant afstand doen van al die regte en titel wat die Transportgewers voorheen op genoemde eiendom gehad het en gevolglik ook erken dat transportgewer(s) geheel en al van die besit daarvan onthef en nie meer daartoe geregtig is nie en dat, kragtens hierdie Akte, bogenoemde Transportnemer

of dié se Regverkrygendes tans en voortaan daartoe geregtig is, ooreenkomstig plaaslike gebruik, behoudens die regte van die Staat en ten slotte erken hy dat die hele Koopsom ten bedrae van R385 000,00 (DRIEHONDERD VYF EN TAGTIGDUISEND RAND) behoorlik betaal of Verseker is.

TEN BEWYSE waarvan ek, genoemde Registrateur van Aktes tesame met die Komparant hierdie Akte onderteken en dit met die ampseël bekragtig het.

ALDUS GEDOEN EN VERLY op die kantoor van die Registrateur van Aktes

te **KAAPSTAD**

op

19 Augustus

1999

In my teenwoordigheid,


Registrateur van Aktes.


q.q.

VA 003425/111

5

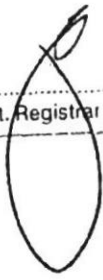
T65842/1099

Certified a true copy of the duplicate original filed of record in this Registry, issued to serve in place of the original thereof under the provisions of Deeds Regulation No 68

Deeds Registry
Cape Town

03 JUN 2011

Asst. Registrar of Deeds



REGISTERED

Kragtens Notariële akte No. K 286/2003/S
gedateer 12/03/2003 mag binnegemelde
erendom Groot: 1055 m² gebruik word
slegs vir kerklike doeleindes en mag nie
gebruik word vir begrafnisdoeleindes nie.

Soos meer volledig sal blyk uit gesegde
Notariële Akte.

Aktekantoor
Kaapstad


Reg. v. Aktes.

2003-04-10

See page 5

ANNEXURE 9

CONVEYANCER CERTIFICATE



CONVEYANCER CERTIFICATE

I/We ANTON LUTHER POSTHUMUS

(conveyancer's name and surname)

Practising at:

ANTON POSTHUMUS ATTORNEYS
14 A ALBIE DE WAAL STREET,
BRACKENFEL.

(firm and place of practice)

In respect of:

ERF 741 FRANSCHHOEK
SITUATE IN THE MUNICIPALITY OF STELLENBOSCH
DIVISION PARRI, PROVINCE OF THE WESTERN CAPE

(full property description (erf / farm) as it appears in title deed of same)

Hereby certify that a search was conducted in the Deeds Registry, regarding the said property (ies) (including both current and earlier title deeds/pijot deeds/deeds of transfer):

1. SEE certificate attached.
2.
3.
4.
5.
6.
7.
8.

For example Deed of Transfer T12345/2000 or Certificate of Registered Sectional Title S1234/2000 (description of title deed number and date)



A. IDENTIFY RESTRICTIVE TITLE CONDITIONS (if any)

| Categories | | Are there deed restrictions (indicate below) | | Title Deed and Clause number if restrictive conditions are found |
|------------|---|--|------------------------------------|--|
| 1. | Use of land | <input checked="" type="radio"/> Y | <input type="radio"/> N | K-286/2003 S. |
| 2. | Building lines | Y | <input checked="" type="radio"/> N | |
| 3. | Height | Y | <input checked="" type="radio"/> N | |
| 4. | Number of Dwellings | Y | <input checked="" type="radio"/> N | |
| 5. | Bulk floor area | Y | <input checked="" type="radio"/> N | |
| 6. | Coverage/built upon area | Y | <input checked="" type="radio"/> N | |
| 7. | Subdivision | Y | <input checked="" type="radio"/> N | |
| 8. | Servitudes that may be registered over or in favour of the property | Y | <input checked="" type="radio"/> N | |
| 9. | Other Restrictive Conditions | Y | <input checked="" type="radio"/> N | |



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

B. INDICATE AFFECTED PARTIES AS PER TITLE DEED (if any)

In respect of which it was found that there *are/are no* restrictive conditions with reference to Section 33(2) (a, b or c) of the Land Use Planning By-law (2015) registered against such property (ies) prohibiting it from being utilized/developed for the following purposes (as elaborated in the accompanying application):

| | | |
|----|---|--|
| a. | Organ(s) of State that might have an interest in the restrictive condition | |
| b. | A person whose rights or legitimate expectations will be affected by the removal/suspension/amendment of a restriction condition. | |
| c. | All persons mentioned in the deed for whose benefit the restrictive condition applies | |

C. PROCESS BY WHICH RELEVANT CONDITIONS WILL BE ADDRESSED

(please tick appropriate box)

| Application in terms of Section 15 of the Stellenbosch Municipal Land Use Planning By-Law (2015) | Notarial Deed of Cancellation (Submit Copy of Signed Agreement) | Action by way of court order (Submit Copy of the Court Order) | If Other, Please Specify |
|--|---|---|--------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Signed at Brackenell (Place) on this 7 (Day) October (Month) of 2020

Full names and Surname: Anton Posthumus

Signature: [Handwritten Signature]

ANTON POSTHUMUS ATTORNEYS
 18 Wenning Street
 Sonstraal, Durbanville
 PO Box 4788, Tygervalley, 7536

ANTON POSTHUMUS ATTORNEYS
 18 Wenning Street
 Sonstraal, Durbanville
 PO Box 4788, Tygervalley, 7536

Tel: 021 3000802

Email: anton@antonposthumus.co.za

Cell: 0833035060

CONVEYANCER'S CERTIFICATE

I, the undersigned,

ANTON LUTHER POSTHUMUS

a duly admitted conveyancer of the Supreme Court of South Africa (Division Cape) and practicing as such at 14A Albie De Waal street, Brackenfell, CAPE TOWN confirm that I have conducted a search of the records of the Registrar of Deeds Cape Town and the pivot deeds available at the time and perused the Title Deed conditions of the below property:

ERF 741 FRANSCHHOEK

SITUATE IN THE MUNICIPALITY OF STELLENBOSCH

DIVISION OF PAARL

PROVINCE OF THE WESTERN CAPE

IN EXTENT 1055 (ONE THOUSAND AND FIFTY FIVE) Square metres

HELD by Deed of Transfer NO. T65842/1999 and Diagram NO. 8588/1971 relating thereto.

Registered in the name of:

DIE NEDERDUITSE GEREFORMEERDE KERK FRANSCHHOEK

I have searched the following Deeds:

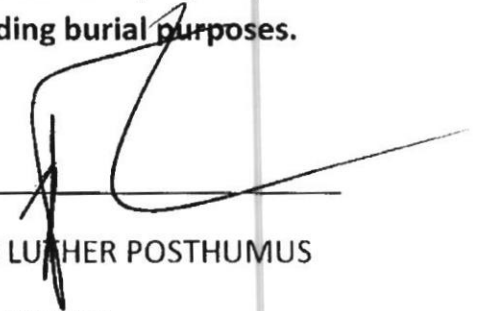
- T65842/1999
- T7931/1973
- Deed of Grant No. 10 dated 30 December 1897 (Paarl Eiendomsbriewe Boekdeel Nr. 2)
- Notarial Deed No. K286/2003S dated 12/03/2003



I certify that regarding the above property there are no restrictive title conditions or servitudes that will preclude the zoning of the abovementioned property in the said Title Deed prohibiting the property building of a small block of flats for the housing of old and young members of the Congregation that is destitute.

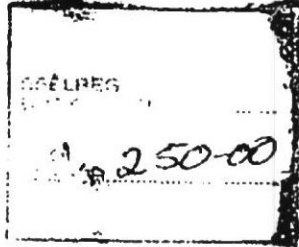
Please note that in terms of the Notarial Deed K286/2003 the said property shall only be used for Churchlike activities and purposes excluding burial purposes.

Signed at DURBANVILLE on 7 October 2020.



ANTON LUTHER POSTHUMUS
CONVEYANCER

151



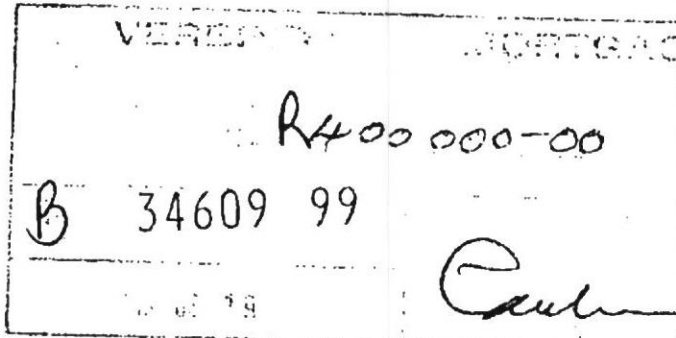
Opgestel deur my,

TRANSPORTBESORGER
HOFMEYR, N.J.

Van en Voorletters'

Condition of use
- see pg 4 herein

Reg 68(W) 8



Vir verdere endossemente sien bl 4

TRANSPORTAKTE

T 65842199

HIERBY WORD BEKENDGEMAAK:

DAT ~~NICOLAAS JOHANNES HOFMEYR~~ BAREND FREDERIK BOOYSEN

voor my, Registrateur van Aktes verskyn het te KAAPSTAD

hy, die genoemde Komparant synde behoorlik daartoe gemagtig deur 'n Volmag aan hom verleen deur

KARL HEINRICH KEMPEN
Identiteitsnommer 280117 5016 10 3
en

JULIANA KEMPEN
Identiteitsnommer 510518 0190 10 2
GETROUD BINNE GEMEENSAP VAN GOED MET MEKAAR

gedateer die 13de dag van JULIE 1999, en geteken te PAARL

2/EN

| OPNAME | DATE | OPERATOR |
|--------|------|----------|
| OPNAME | 26/8 | BT |
| OPNAME | | |

EN genoemde Komparant het verklaar dat sy voorsegde Prinsipale waarlik en wettiglik verkoop het op 9 NOVEMBER 1998

en dat hy in sy voornoemde hoedanigheid hierby in volkome en vrye eiendom sedeer en transporteer aan en ten gunste van

die NEDERDUITSE GEREFORMEERDE KERK FRANSCHHOEK

of dié se Regverkrygendes

ERF 741 FRANSCHHOEK

Geleë in die Munisipaliteit vir die gebied van FRANSCHHOEK

Afdeling PAARL

PROVINSIE WES-KAAP

GROOT: 1055 (EENDUISEND EN VYF EN VYFTIG) vierkante meter

EERSTE GETRANSPORTEER kragtens Transportakte Nr. T7931/1973 met Kaart Nr. 8588/71 wat daarop betrekking het.

EN GEHOU kragtens Transportakte Nr. T50620/91

A. ONDERHEWIG aan die volgende voorwaarde vervat in **Akte van Toekenning Nr. 10** gedateer **30 Desember 1897 (Paarl Eiendomsbriewe Boekdeel 1 Nr. 2):-**

"To all such duties and regulations as are either already or shall in future be established with regard to such land."

3/WESHALWE

Kragtens Notariële akte No. K 286/2003/S
gedateer 12/03/2003 mag binnegemelde
erendom Groot: 1055 m² gebruik word
slegs vir kerklike doeleindes en mag nie
gebruik word vir begrafnisdoeleindes nie.

Soos meer volledig sal blyk uit geseegde
Notariële Akte.

Aktekantoor
Kaapstad


Reg. v. Aktes.

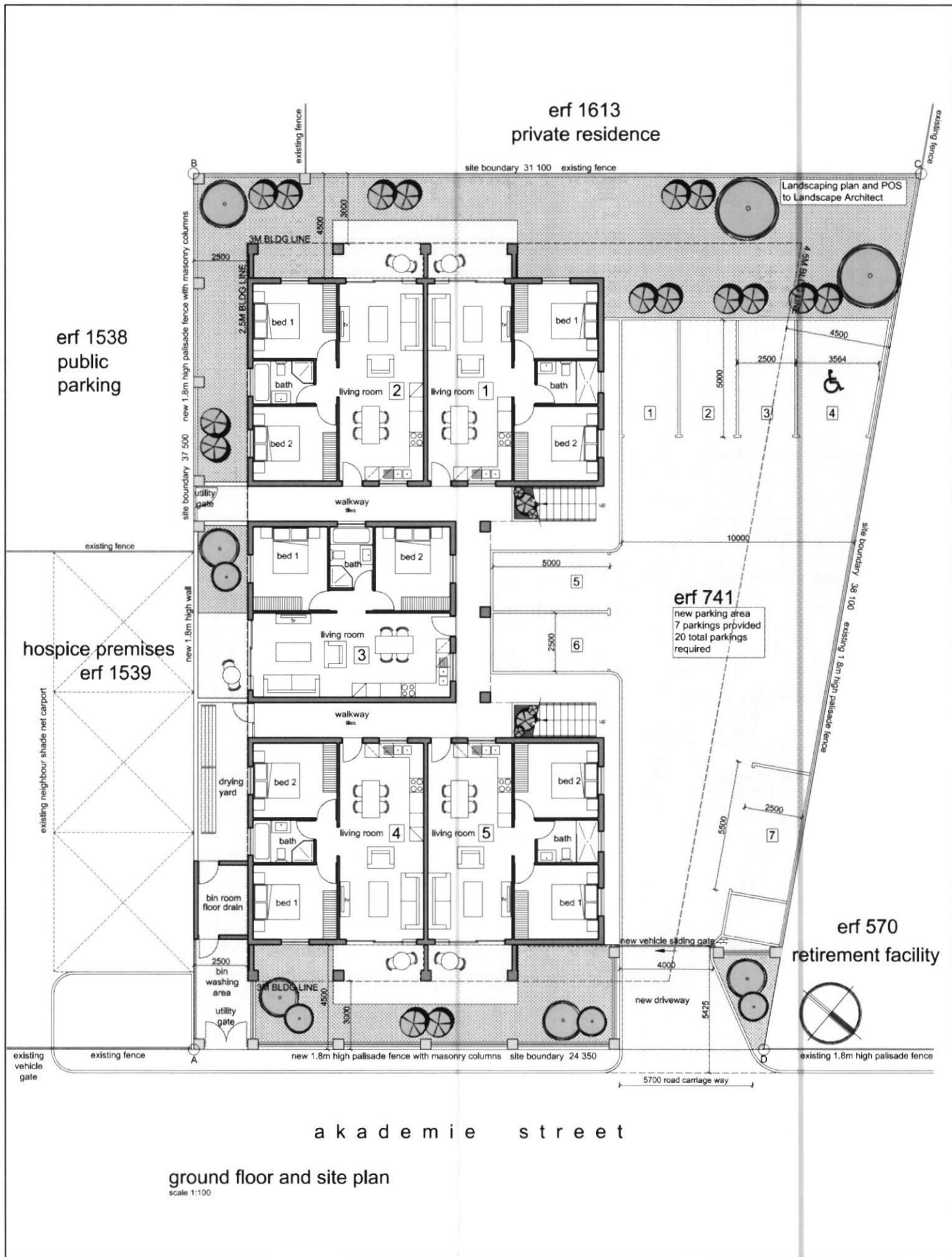
2003-04-10

See page 5

ANNEXURE 10

**SITE DEVELOPMENT PLAN, FLOOR PLANS AND
ELEVATIONS**

erf 1613
private residence



Huis Fredach Apartments, NG Gemeente,
Erf 741, Akademie Street, Franschhoek
SK001 rev 3

KRUGER THERON
ARCHITECTS

Unit 12 Gey van Peltus Corner, Somerset West 7130
T 021 851 8727 / C 082 922 3567
e-mail kruger@krugerarchitects.co.za
SACAP PR Arch 7740

REV 3 12/05/2020 NEW DESIGN

erf 1613
private residence

erf 1538
public
parking

hospice premises
erf 1539

erf 741
new parking area below

erf 570
retirement facility

akademie street

first floor plan
scale 1:100



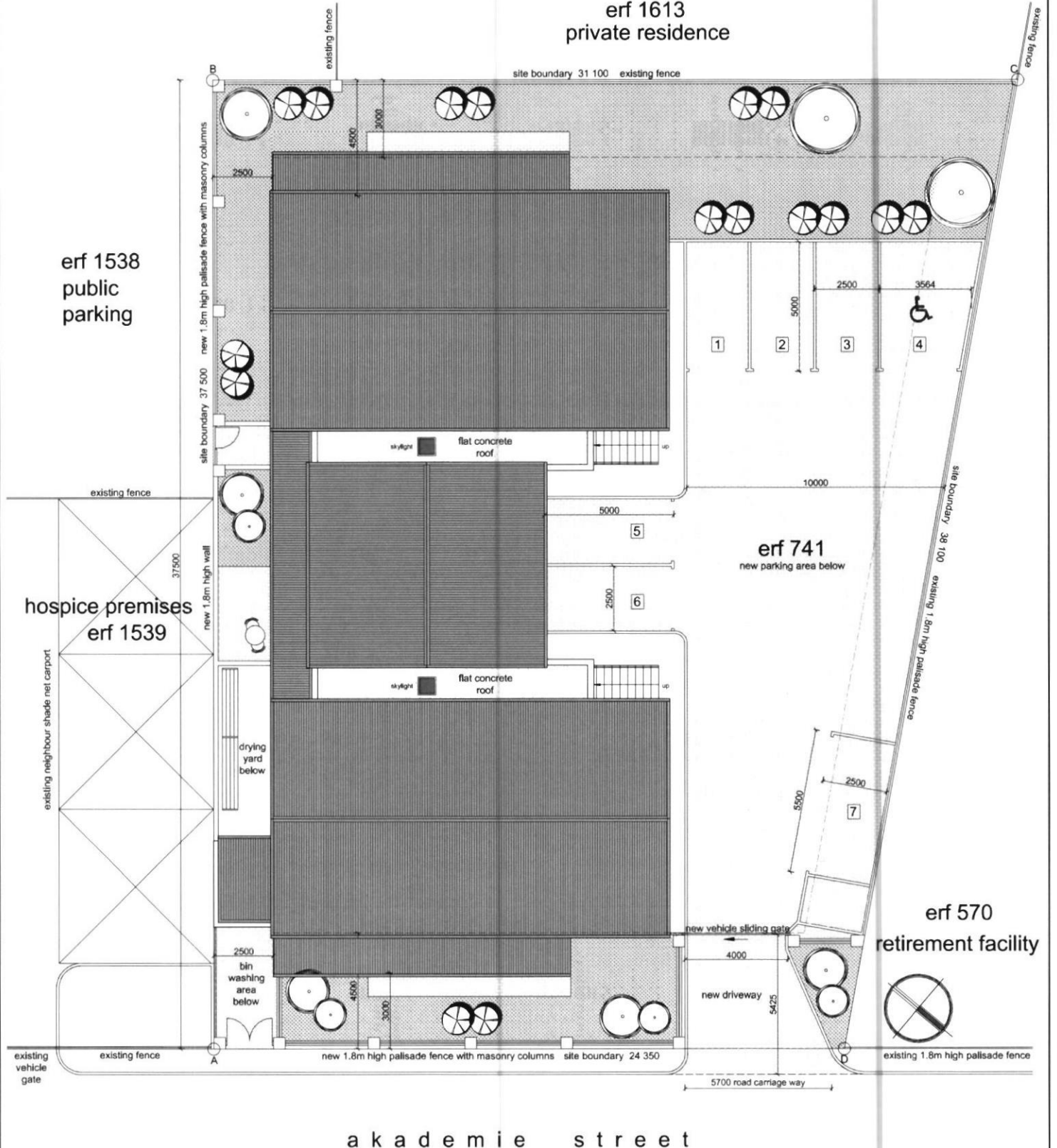
Huis Fredach Apartments, NG Gemeente,
Erf 741, Akademie Street, Franschhoek
SK002 rev 3

REV 3 12/05/2020 NEW DESIGN

KRUGER THERON
ARCHITECTS

Unit 12, Gey van Parkui, Camille Souters West 7130
T 021 851 8727 / C 082 922 3567
e-mail kruger@krugerteron.co.za
SACAP PR Arch 7740

erf 1613
private residence



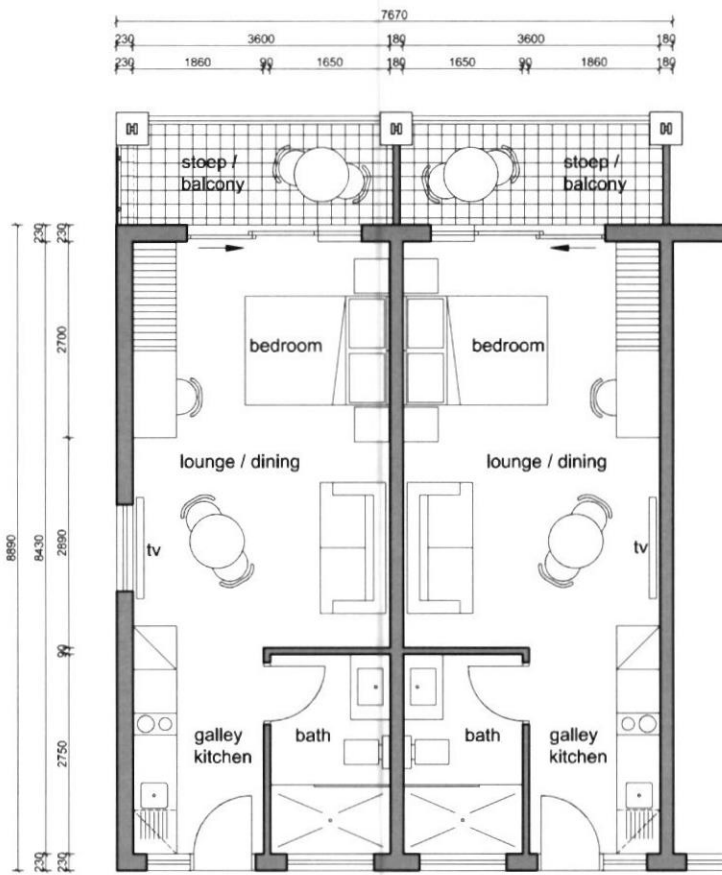
roof and site plan
scale 1:100

Huis Fredach Apartments, NG Gemeente,
Erf 741, Akademie Street, Franschhoek
SK003 rev 3

KRUGER THERON
ARCHITECTS

Unit 12, Gey van Rensburg Centre, Somerset West 7130
T 021 851 8727 / C 021 922 3547
e-mail kruger@krugerttheron.co.za
SACAP: PR Arch 7740

REV 3 12/05/2020 NEW DESIGN



1 bed unit floor plan

scale 1:50

floor area = 33.10m²
stoep / balcony = 5.60m²



2 bed unit floor plan

scale 1:50

floor area = 66.40m²
stoep / balcony = 5.60m²

Huis Fredach Apartments, NG Gemeente,
Erf 741, Akademie Street, Franschhoek
SK004 rev 3

REV 3 12/05/2020 NEW DESIGN

KRUGER THERON
ARCHITECTS

Unit 12, Gey van Palluis Centre, Somerset West, 7130

T 021 851 8727 / C 062 922 3567

e-mail: kruger@krugeron.com

SACAP PR Arch 7740



south east elevation

scale 1:100



south west elevation

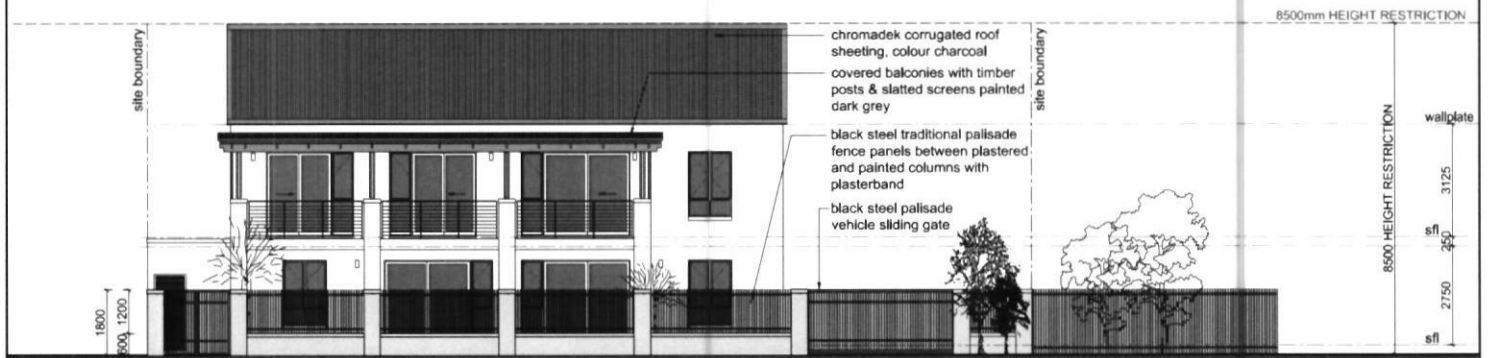
scale 1:100



north west elevation

scale 1:100

Natural ground to be cut in at Akademie Rd side of site approximately 500mm and filled at rear of site approximately 500mm. Height restriction of 8500mm taken from mean site level.



north east elevation (street)

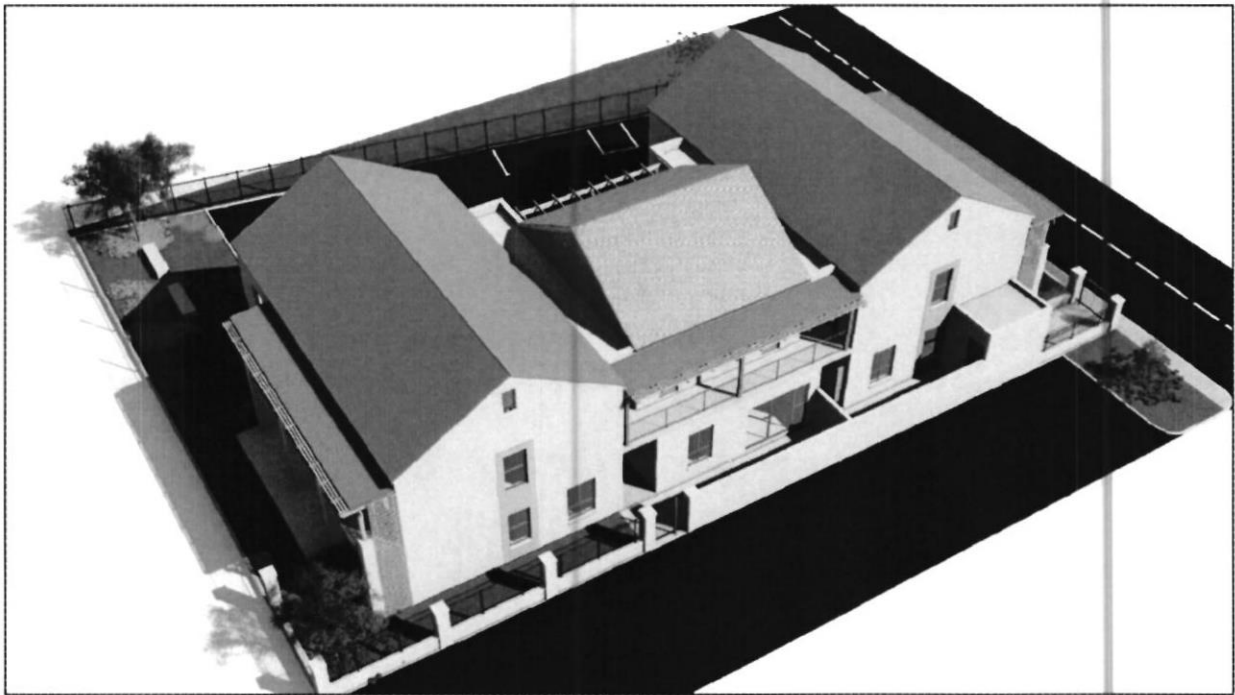
scale 1:100

**Huis Fredach Apartments, NG Gemeente,
Erf 741, Akademie Street, Franschhoek
SK005 rev 3**

REV 3 12/05/2020 NEW DESIGN

**KRUGER THERON
ARCHITECTS**

Unit 12, Gey van Pterius Centre, Somerset West, 7130
T: 021 851 8727 / C: 082 922 3567
E: info@krugertheronarchitects.co.za
SACAP PR Arch 7740



Birds eye-view from the South

Proposed Apartments for the Dutch Reformed Church
Erf 741, Akademie Street, Franschhoek

KPUGEP THEPON



Birds eye-view from the North

Proposed Apartments for the Dutch Reformed Church
Erf 741, Akademie Street, Franschhoek

KPUGEP THEPON



Akademie Street View

Proposed Apartments for the Dutch Reformed Church
Erf 741, Akademie Street, Franschoek

KPUGEP THEPON



Akademie Street View

Proposed Apartments for the Dutch Reformed Church
Erf 741, Akademie Street, Franschhoek

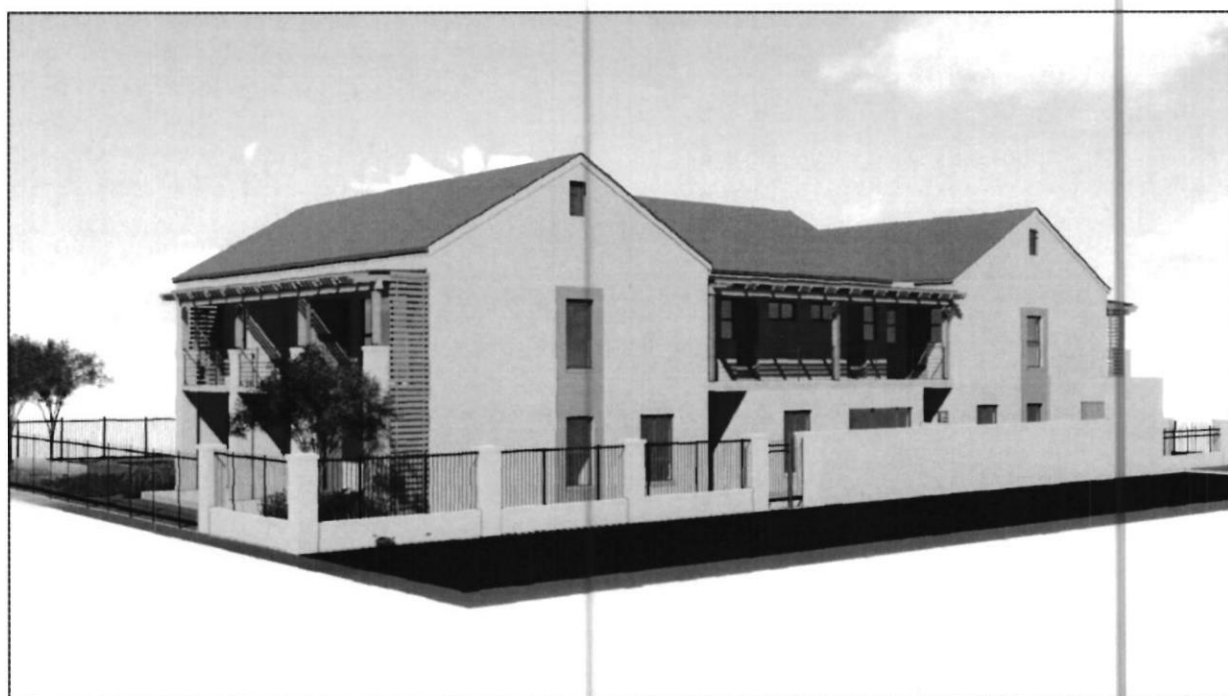
KPUGEP THEPON



View from Hospice (neighbouring property)

Proposed Apartments for the Dutch Reformed Church
Erf 741, Akademie Street, Franschhoek

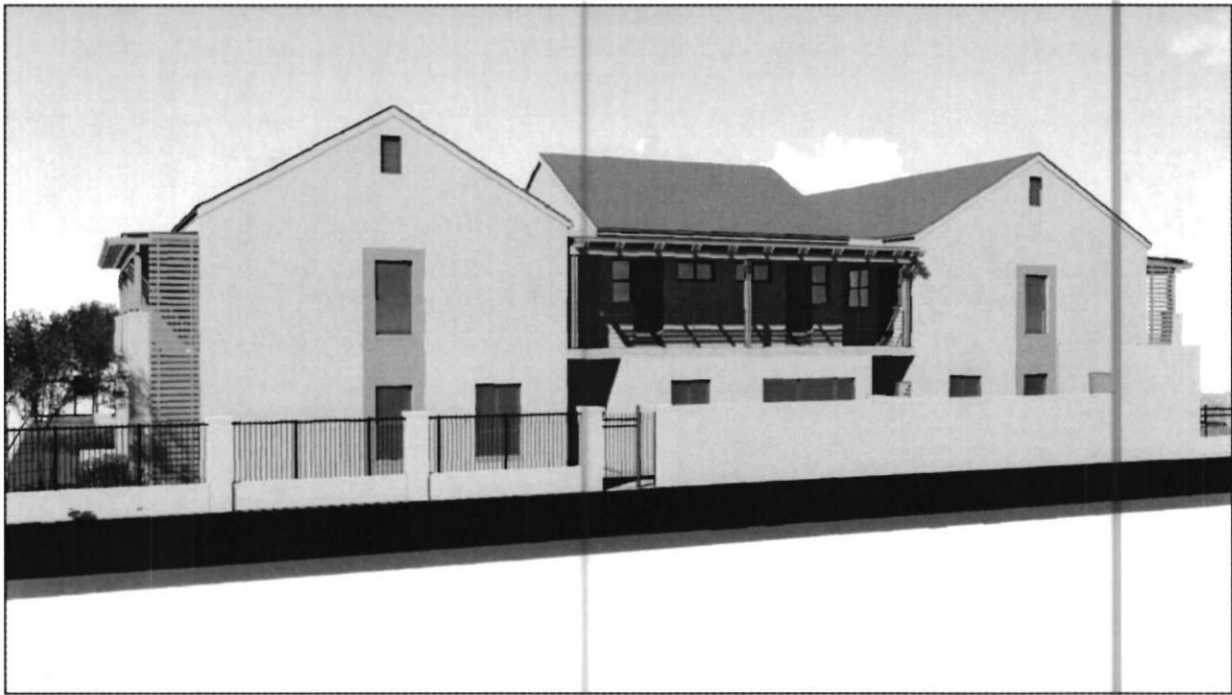
KPUGEP THEPON



View from Public Parking Area

Proposed Apartments for the Dutch Reformed Church
Erf 741, Akademie Street, Franschhoek

KPUGEP THEPON



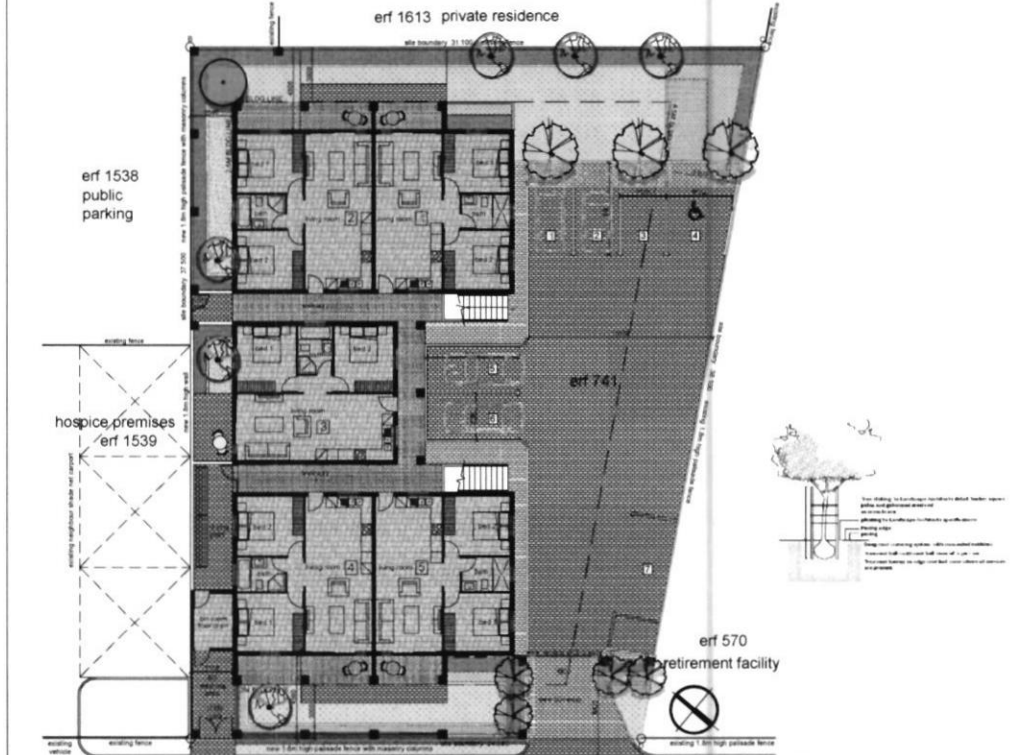
View from Public Parking Area

Proposed Apartments for the Dutch Reformed Church
Erf 741, Akademie Street, Franschhoek

KPUGEP THEPON

ANNEXURE 11

LANDSCAPING PLAN



- Legend**
- 3 x *Olea europaea subsp. africana* 1000
 - 6 x Single stemmed *Tarchonanthus litorea* 400
 - 1 x *Liquidambar styraciflua* 1000
 - 4 x *Podocarpus latifolius* 400
 - 50m² of *Buddlejia salviifolia* @ 400
 - 15 m² of *Searsia crenata* @ 400
 - 10m² of *Agapanthus africanus* @ 500
 - 85m² of *Stenotaphrum secundatum* instant buffalow lawn sods
 - 10m² of a 75mm layer of 19da mm gravel on a membrane
 - Paving as per architects plans
 - Vehicular paving as per architects plans
 - Paving under cover as per architects plans
 - Building foot print

Copyright is vested in this document and no use or reproduction or duplication thereof may occur without the written consent of the author.

1. General
 - 1.1 Contractor to check and verify sufficiency of information, levels and dimensions on drawing before commencing work.
 - 1.2 Report any omissions, discrepancies or errors immediately to the landscape architect.
 - 1.3 Do not scale dimensions from drawing. Should the contractor proceed without the above approval, he does so entirely at his own risk.
2. Planting
 - 2.1 All images are of mature established plants. All planting to be planted as per specifications in bills of quantities. Client to ask for plant samples if unsure about plant sizes specified.
 - 2.2 All photos are shown as inspirational concept images and as such do not indicate the final products.
 - 2.3 All 100 trees should have a canopy of at least 1.5m and a stem circumference of 80mm, measured 1m from the ground level when planted. All 20 and 40 trees are to be well rooted in their containers prior to procurement.
 - 2.4 The approved Landscape Plan shall be implemented by and at the cost of the developer, in accordance with the approved landscape plan, to the satisfaction of the Head Environmental and Heritage Management, Northern District, prior to the issuing of the occupancy certificate. An onsite meeting must be arranged with the Environmental and Heritage Management Branch on completion of such landscaping.
3. Irrigation:
 - 3.1 Fully automatic irrigation to be installed throughout, that will ensure that the water be administered sparingly across the whole landscape. The irrigation need to take seasonal changes, especially the rainy season, into consideration and will be designed to use the alternative source of water, rainwater and gray water, that could possibly be harvested on site.
4. Shaping
 - 4.1 Soil to be shaped to assist storm water draining.
5. Maintenance:
 - 5.1 A monthly maintenance package need to be in place to ensure the upkeep of the gardens. All weeds to be removed. Maintenance and irrigation of all landscaped areas to remain the responsibility of the developer for a minimum of 12 months and the property owners thereafter.
6. Boundary wall
 - 6.1 The boundary fence as per notes on the plan.

P.O. Box 12047
Die Bonte
Bontebosweg
7613
Tel: 060 5050 480
E-mail: red@redlandscape.com
Registration no: 2006/017840/01

Red Landscape Architects (Pty) Ltd
16 Gomersal

CLIENT
16 Gomersal

PROJECT
16 Gomersal Apartments,
Off 76, Bontebos Street, Franschhoek

DESCRIPTION
Landscape site development plan - planting plan

DATE
2009-06-03

SCALE
1 : 500 (A0)

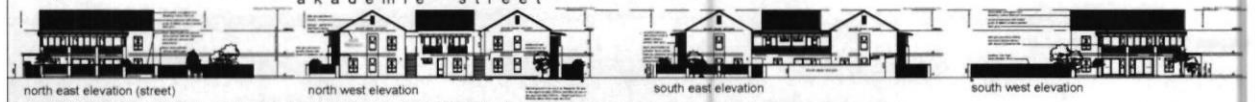
DRAWN
16-000-0113

CHECKED
16

DRAWING NUMBER
16-000-0113

REVISION
16

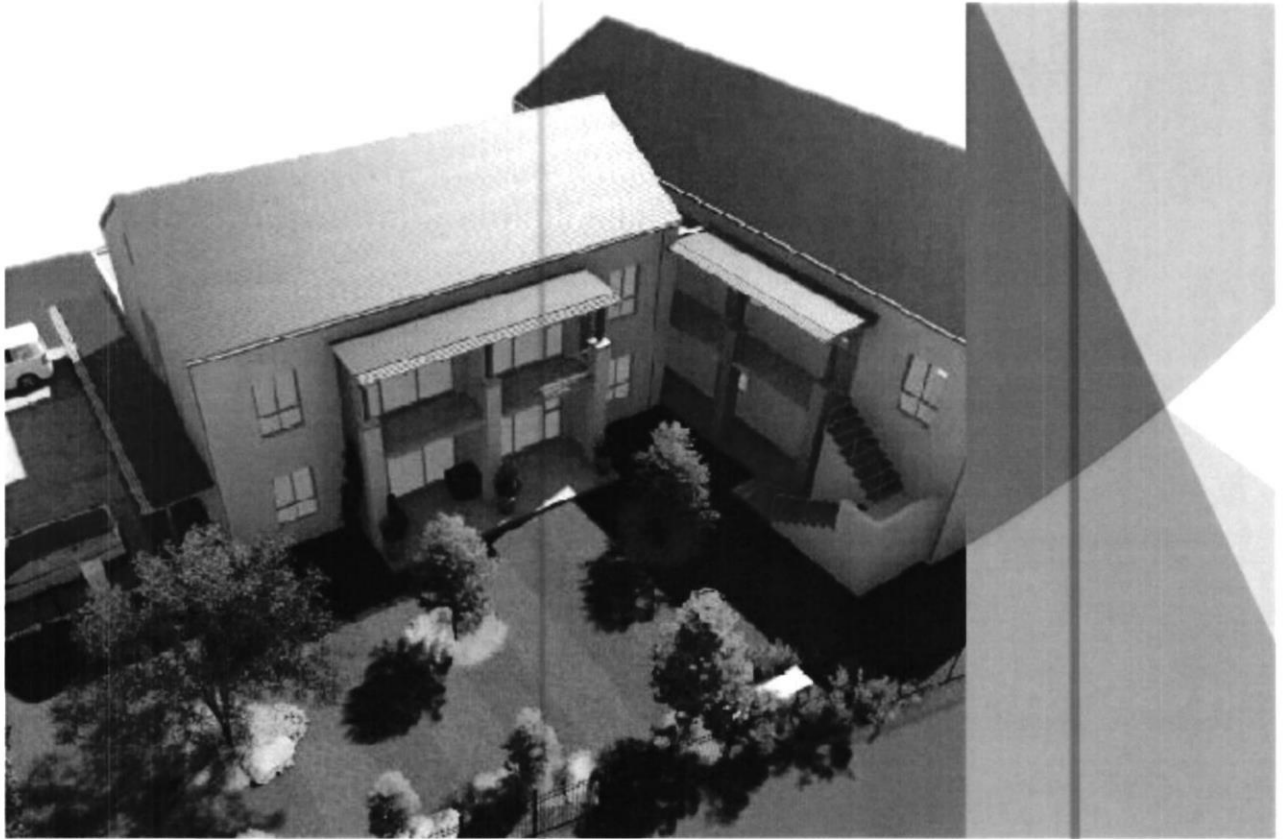
| DATE | DESCRIPTION |
|------------|--------------|
| 2009-06-03 | For approval |



LANDSCAPE SITE DEVELOPMENT PLAN - PLANTING PLAN

ANNEXURE 12

CIVIL SERVICES CAPACITY REPORT



**Engineering Bulk Services Report for the Dutch
Reformed Church**
Erf 741, Akademie Street, Franschoek

Dutch Reformed Church, Franschoek
29 Huguenot Road
Franschoek
7690

Compiled: Mari Kirsten (Pr Eng – 20070213)

PROJECT DETAILS

PROJECT : Services Report - Proposed Apartments Dutch Reformed Church
LOCATION : Fransshoek
CONTENTS : Civil Engineering Bulk Services Report
REPORT STATUS : Rev 0
DATE : August 2020

CONTRACTING AUTHORITY: Principal Technician: Development Infrastructure Services
Plein Street,
Stellenbosch,
7600

Tel: +27 21 808 8205

REPRESENTED BY : *Mr. Colin Taylor*

CONSULTANT : Mari Kirsten

1305 La Vue
Val de Vie Lifestyle Estate
Paarl

Tel: +27 82 341 1420

Report Compiled by:



.....
Mari Kirsten
Engineer

..... 30 July 2020

Date

| CONTENTS | PAGE |
|---------------------------------|-------------|
| 1. INTRODUCTION | 2 |
| 2. BACKGROUND INFORMATION | 2 |
| 3. SITE ANALYSIS..... | 3 |
| 4. EXISTING SERVICES | 4 |
| 5. DESIGN CRITERIA | 6 |
| 6. BULK SERVICES..... | 6 |
| 7. CONCLUSIONS | 12 |

1. INTRODUCTION

Mari Kirsten (Pr Eng) was requested by the Dutch Reformed Church of Franschoek to conduct a preliminary assessment of the potential to provide Services to new proposed departments on Erf 741, Akademie Street, Franschoek.

The purpose of the civil engineering services assessment is to determine the availability and capacity of existing bulk services with a view to servicing the proposed development. This report presents the findings of a preliminary desktop investigation relating to bulk services, and further sets out the criteria and standards for the internal services.

The civil engineering services addressed in this report are the following:

- Potable water
- Foul sewage
- Stormwater management
- Roads
- Solid waste

2. BACKGROUND INFORMATION

2.1 Location and Description of the Site

The land consists of Erf 741 that is situated between Akademie Street to the East, Erf 570 to the North, Erf 1613 to the West, Erf 1539 to the South East and Erf RE/253 to the South, as indicated on the Locality Plan, Figure 3-1. The property is owned by the Dutch Reformed Church of Franschoek.



Figure 3-1: Locality plan

Geographic coordinates of site: Latitude -33.909418(S); Longitude 19.120619(E).

2.2 Zoning of Proposed Development

The proposed development will consist of 13 no Single- and Double-bedroom apartments. According to the Zoning Scheme 2018 of Franschhoek the Site is zoned as Multi-unit Residential Zone. The current zoning right is for 50units/hectare.

There are no servitudes crossing the property.

3. SITE ANALYSIS

3.1 Topography

The area of the site is approximately 0,1 hectares (1055m²).

The site slope in a North Western direction with an average slope percentage of 3%. (Fairly flat)

The site is roughly at level 278.4msl

3.2 Climate and Existing Landscaping

The climate in Franschhoek is warm and temperate. In winter, the rainfall is higher. The Köppen-Geiger climate classification is CSB. The average temperature in Franschhoek is 16.4 °C. The rainfall here is average around 912 mm per year with the low in January of approximately 24mm and highest in June at 141 mm

The acquirer type and yield in this area is classified as: Fractured 0.1 - 0.5 l/s

The groundwater depth is shallow at approx. 5m deep.

The site currently has an existing dwelling. Coverage of existing dwellings and other structures is approximately 45% with hardened surface of approximately 20%. The rest of the site is covered by trees and sparse landscaping

3.3 Geotechnical information

The soils of the site are residual soils developed on underlying schist, greywacke and phyllite of the Moorreesburg Formation, Malmesbury Group. The expected soil types are silty sand (topsoil), All soils grade into partially weathered under lying rock with depth.

A geotechnical investigation has not been undertaken (Only desktop study and on-site investigation).

4. EXISTING SERVICES

4.1 Water

The existing site is serviced by a 100mm diameter municipal water connection on the Eastern side of the site. The existing water connection is currently only a single residential water connection that will need to be upgraded to a bulk meter to allow sufficient supply.



4.2 Sewer

The existing site is serviced by a 160 mm diameter A/C municipal owned sewer pipeline with a sufficient sized connection on the North Eastern side of the site. The pipeline has sufficient capacity for the increase in the development.



4.3 Stormwater

The natural surface water flow is accumulated within the Site and road north west from the erf. It discharges into the Northern erf's (Fleur De Lis Ouetehuis) driveway.

The main collector is the stream to the north of the site as per Figure 4-1. The surface water collects in Dirkie Uys Street, West of the site and flows in a North western direction towards the local stream. The stream flows to the South and discharge into the Franschhoek River



Figure 4-1: Surface drainage layout

The site has no existing stormwater infrastructure.

4.4 Roads

The access to the site is gained from Akademie Street that is functioning as a Class 4b Collector Street. However, can only be classified as a Class 5b based on the road reserve size. The road is currently an asphalt surfaced 5m roadway with a double lane single way in a Southern direction.

The additional vehicular traffic will not require a further traffic impact assessment and provides enough access to the site.

4.5 Electricity

The electricity is supplied by the Stellenbosch Municipality. A 11kV Mini Substation is located to the North East of the site and currently supplies sufficient capacity to the site, No upgrade foreseen.

5. DESIGN CRITERIA

The following guidelines and references were used as the basis for the assessment of roads, stormwater, water, foul sewage and solid waste services for the development:

- The "Guidelines for Human Settlement Planning and Design" (CSIR Building and Construction Technology, Boutek), commonly known as "The Red Book".
- SANRAL drainage Manual, 5th Edition (October 2007).

6. BULK SERVICES

6.1 Bulk Water Supply

6.1.1 Estimated Water Demand

The surrounding erven in the area is mainly Dwelling houses with erven varying from 1000m² to larger than 2000m². The proposed site will be changing from a classification (as per Red Book standards) of a Dwelling house with erf size 1055m² and therefore according to Figure 6-1 the Average Annual Daily Demand was around 1560l/d (excluding fire demand). With Peak factor of 0,63 the flow required was 0,63l/s with a house connection size of 28mm. No additional fire flow was required

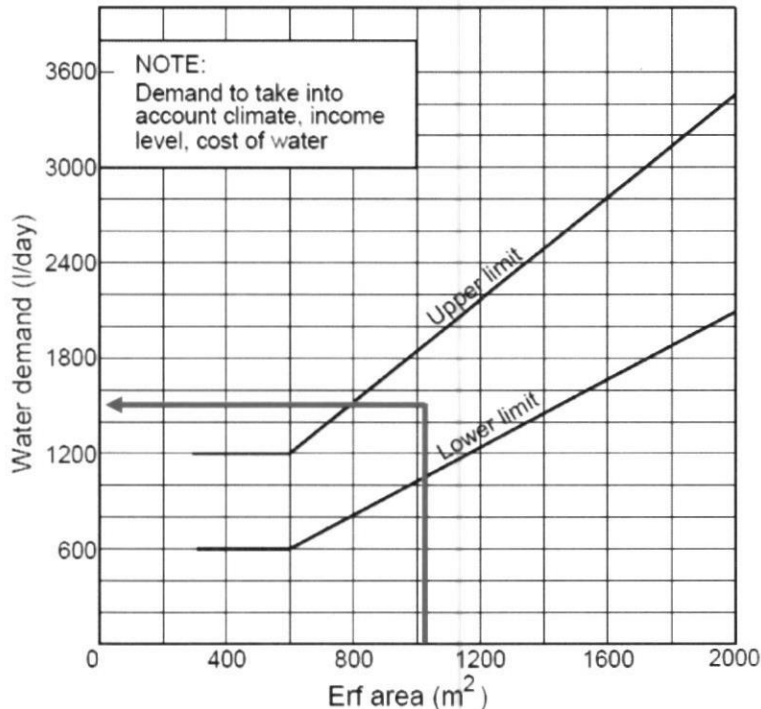


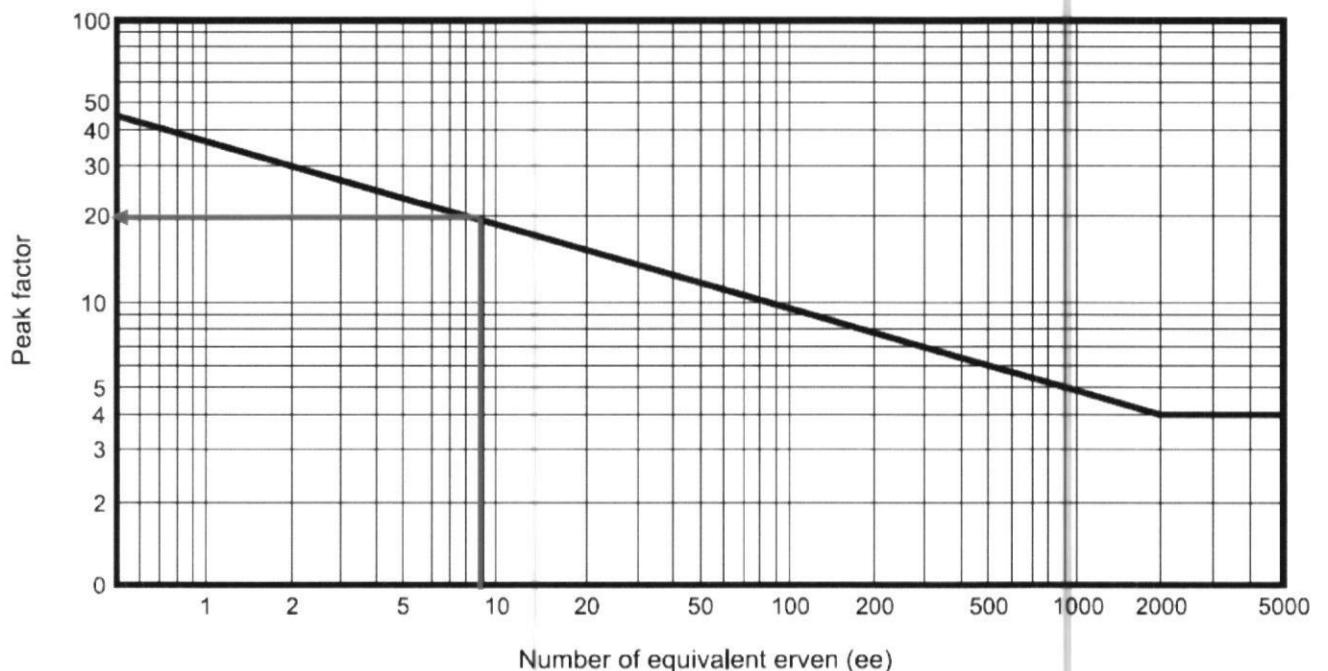
Figure 6-1: Annual average daily water demand for erven in developed areas

The new proposed development will fall within the classification of a High-rise multiple-dwelling (Residential zone IV) as per the Red Book description and therefore the proposed Average Annual Daily Demand will be to the upper limit at 700l/d per dwelling.

The Peak factor has been derived from the table below and therefore a Summer Peak Factor of 1,5 and a daily Peak Factor of 2,4 should be allowed in the design.

| Table 9.15: Peak factors for developing areas | | | | |
|--|--------------------|-------------------|----------------------|----------------|
| PEAK FACTORS: DEVELOPING AREAS – UNRESTRICTED FLOW SYSTEMS # | | | | |
| TYPE OF DOMESTIC SUPPLY | SUMMER PEAK FACTOR | DAILY PEAK FACTOR | INSTANTANEOUS PEAK # | |
| | | | Low density** | High density** |
| House connection | 1,5 | 2,4 | 3,6 - 4,0 | 4,0 minimum* |
| Yard connection | 1,35 | 2,6 | 3,5 - 4,0 | 4,0 minimum* |
| Street tap / standpipe | 1,2 | 3,0 | 3 - 3,6 | 4,0 minimum* |
| Yard tanks | - | - | see note | see note |

The Instantaneous Peak factor is derived from the Figure 6-2 and is 19 Based on the number of equivalent erven (9.1ee)



The total Average daily demand is **0,11l/s** with an instantaneous peak demand of 2,0l/s. Connection for domestic water supply should be minimum 50mm. The minimum head required should be 24m and the maximum 90m. (Currently the Head is sufficient)

6.1.2 Fire Fighting

According to the Red Book guidelines for fire flow, the Residential Zone (IV) fall within High-risk area and therefore Fire Hydrants need to be spaced 120m maximum apart. Currently the closest hydrant is on the 100mm diameter pipeline @ 52m distance to the South East and approx. 60m to the north. No additional Fire Flow Demand need to be supplied other than the internal Fire requirements as per SANS10400-W1

Since the total building size is less than 1000m² no Fire hydrant will be required on the erf. Since a firehose reel can only extend to 30m distance there will be 1 hose reel required per floor with a total additional fire flow allowance in the domestic water supply of 1l/s

6.1.3 Upgrades required for proposed development

The summarized demand requirements are:

| Description | # of | Unit | AADD | PF | Instantaneous peak demand (l/s) | Average daily flow (l/s) |
|---|------|-------|------|------|---------------------------------|--------------------------|
| Multiple-dwelling Unit Cat 4 (high limit) | 13 | units | 700 | 19.0 | 2.00 l/s | 0.11 l/s |
| Fireflow Hose reels @ 30l/min | 2 | reels | | | 1.00 l/s | 1.00 l/s |
| Total peak flow + fire | | | | | 3.00 l/s | 1.11 l/s |

| | | |
|---|------------|------------------|
| Recommended pipe diameter domestic @ | 1.00 m/s = | 50 mm ~ say 50mm |
| Recommended pipe diameter domestic + fire @ | 1.20 m/s = | 56 mm ~ say 75mm |

The proposal is to upgrade the bulk connection to a 75mm connection.

6.2 Bulk Sewage

6.2.1 Estimated Sewage Flow

Description of each Catchment

The Franschhoek catchment area is (±) 2000 Ha and consists mainly of farms (mainly wine related effluent), a few schools, restaurants (business zones) and residentials.

Even though a portion of the effluent used to discharge into the Old Franschhoek Water Treatment Works, the plant was in dire need of upgrade and have therefore been used as a transfer through a pump station and newly upgraded bulk line to the Wemmershoek Waste Water Treatment works that has an overall current capacity of 3MLD and is supposed to be upgraded to accommodate 5MLD.

This plant have sufficient capacity for the current zoning requirements that include the increase in capacity of the proposed apartments.

New Development

The new development consists of 13 units (120units/ha Density). The current sewer is 0.0618l/s that includes a Peak Wet weather Factor of 1.15 and a Peak Factor of 3.5

A summary of the design parameters are:

| | |
|-----------------------------|---|
| Description | Multiple-dwelling Unit Cat 4 (high limit) |
| # of erven | 13 |
| Water AADD | 700 |
| Wastewater % of AADD | 85% |
| ADWF (l/unit/day) | 595.00 |
| ADWF (kl/day) | 7.7 |
| ADWF (l/s) | 0.09 |
| Persons / unit | 3 |
| Population | 39 |
| Peak Factor | 3.50 |
| PDWF (l/s) | 0.313 |
| Extraneous Flow % | 15% |
| PWWF (l/s) | 0.3603 |

Recommended pipe diameter domestic @ 0.70 m/s = 26 mm ~ say 100mm

The existing house connection will suffice and do not require upgrade.

6.2.2 Pipe Diameters, Velocities and Gradients

- Full flow design at peak design flow (self cleaning).
- Depth to invert level of municipal sewer: 0,85m
- Depth to invert level of erf connection: 0,70m
- Flow velocity (min) : 0,7m/s
- Flow velocity (max) : 2.2m/s
- Cover over municipal sewers in servitude: 0,60m
- Cover over municipal sewers in sidewalks: 0,80m below kerb level
- Cover over municipal sewers in roads: 1,0m below final level
- Angle between intersecting sewers: not greater than 90°

Notwithstanding that the full bore minimum velocity of 0.7m/s can be achieved in uPVC pipes, the actual inflow into the pipes in some sections is so minimal that flow within the pipes will not reach 0.7m/s. This is typical at the heads of sewers where erf connections are made. To address the above a minimum grade of at least 1:80 has been adopted for the first 80m at the head of sewers.

Based on this requirement the current house connection will not require upgrade if it is deeper than 1,6m to allow a fall from the lowest portion of the erf to the house connection.

6.3 Stormwater management

The guiding principle underlying the stormwater management strategy is that, where possible, the peak runoff from the post-developed site should not exceed that of the pre-developed site for the full range of storm return periods (1:2 to 1:50). Where possible, measures should be incorporated into the site development plan to attenuate the post-development flows to pre-development rates.

The stormwater network will be designed to accommodate the minor storm event (1:2 year) in pipes or open channels. The major storm (1:50 year) will be managed through controlled overland flows and above-ground attenuation storage.

Stormwater concentration will be avoided at all costs.

6.3.1 Minor system

The minor system provides for the convenience of the community by rapidly removing runoff caused by storms of relatively short return period from the drainage area, mainly via an underground pipe network. The system also includes kerb inlets, catchpits, manholes, road edge channels, and opens channels and is intended to convey stormwater from streets and paved areas into the major system as quickly and economically as possible.

The minor system design storm return period will be taken at a 2 year return interval. The table below indicates the preferred return period for the development types.

| Design Storm Return period per Development Type | |
|--|------------------------------------|
| Development | Design storm return period (years) |
| Residential | 2 |
| General Commercial and Industrial | 5 |
| Public Buildings | 5 |
| High Value CBD | 5 to 10 |

6.3.2 Major system

The major system is the trunk system that receives stormwater discharge from the minor system. It also functions as the emergency system that operates during overflow from, or failure of the minor system. The system includes watercourses, large conduits, roads, stormwater attenuation facilities and servitudes.

The major system fulfils a flood control function only during major, infrequent storm events. During such events, temporary disruption of many normal activities within the catchment will occur, owing to the intensity and magnitude of the event.

6.3.3 Physical Design Criteria

The physical criteria and requirements for the various stormwater design elements are set out in the sections below.

a) Stormwater pipes and box culverts

| Stormwater pipe design criteria | |
|------------------------------------|--|
| Minimum diameter | 450mm (nominal dia) |
| Pipe Class | 50D – 100D |
| Joint type | Interlocking Joint |
| Bedding type | Class C (SABS 1200LB) |
| Position in road reserve | As indicated on the typical road section |
| Maximum 80% full flow velocity | 0.9m/s |
| Maximum velocity | 3.0m/s |
| Minimum cover (road intersections) | 600mm |
| Minimum cover (general) | 750mm |
| Minimum pipe slope | 1:150 |

- Where possible, road edge channels are to be used in place of smaller pipes to reduce occurrence of blockages.
- Stormwater pipes generally to be situated shallower than sewers.
- Stormwater pipes must not mask sewer connections.
- Free flowing connections (i.e. 450 connections) should be promoted where possible and 900 connections avoided.

b) Catchpits, Grid inlets and kerb inlets

- Number of kerb inlets and catchpits to be kept to a minimum. Maximum flow capacity of road cross-section to be used to determine position of catchpits and kerb inlets.
- Catchpits to be spaced at low areas within the parking area if required.
- Benching to be constructed to allow shovel cleaning.

c) Subsoil drains

- Subsoil drains must be provided in all areas where ground conditions require.
- Subsoil drains to be constructed on upstream side of road reserve directly behind kerb line. Should services need to cross the subsoil system they may be constructed through the subsoil drain.

| Sub-soil drain design criteria | |
|---------------------------------------|---|
| Manhole internal manhole dimension | 520mm |
| Maximum manhole spacing | 60mm |
| Drainage medium | 7mm stone complying with SABS 1083 |
| Minimum drainage pipe diameter | 100mm |
| Pipe Type | uPVC to SABS 1601, 'Corflo' or similiar |

6.3.4 Pre and Post Developed Areas

The pre-development peak flows for various return periods were calculated to be:

- 1:2 years – 1,00 l/s
- 1:5 years – 1,47 l/s
- 1:10 years – 1,78 l/s
- 1:20 years – 2,32 l/s
- 1:50 years – 3,09 l/s
- 1:100 years – 3,86 l/s

The post-development peak flows for various return periods were calculated to be:

- 1:2 years – 1,80 l/s
- 1:5 years – 2,78 l/s
- 1:10 years – 3,27 l/s
- 1:20 years – 4,25 l/s
- 1:50 years – 5,39 l/s
- 1:100 years – 6,54 l/s

A comparison between the peak flows for pre and post development shows a 35% increase in peak stormwater flow.

Based on the difference between the pre and post flows the Site will need to accommodate 3m³ through the various infrastructure. Since the site slopes towards an adjacent erf it is a requirement for the proposed development to manage this volume of accumulated water on site and only allow the original overland flow to be discharged on the surrounding road.

The proposed solution is to install a subsoil drain to the lower sections of the erf draining towards the north western corner of the erf. It will also be advisable to install a grid inlet in the parking area to accumulate the run-off. Both these systems need to combine into a 200mm diameter pipeline that needs to be installed within the building line of Erf 570 and slope into a western direction to be connected into the stormwater system within Akademie street.

7. CONCLUSIONS

The findings and conclusions in this report are based on consultation with the Stellersboch Municipality and a preliminary desktop study.

Water for the proposed development can be provided by connecting to the existing municipal network. An upgrade in the bulk water meter connections are required.

Sewage flow from the proposed development can be accommodated in the existing network. No dedicated bulk sewer outfall connections are required.

Stormwater: The stormwater generated by the development will be managed within the site and where possible, the runoff rates for the full spectrum of design storms should not exceed the runoff rates from the pre-developed site. The minor storms will be managed within the formal stormwater system comprising inlets, channels and pipes. The major storms will be conveyed and managed overland

Roads and Access: Access to the site is through Akademie Street and do not require any upgrade.

Electrical supply to the site is sufficient and do not require upgrade.