

Virdus Works (Pty) Ltd (Reg. No. 2018/585747/07)

Development Management Consultants and
Environmental Assessment Practitioners

Managing Director: DUPRÉ LOMBAARD

77 BUITEKRING, DALSIG, STELLENBOSCH, 7600, SOUTH AFRICA

Mobile: +27 82 895 6362

Email: dupre.lombaard@virdus.com



03 March 2022

NOTICE OF LAND DEVELOPMENT APPLICATION IN THE STELLENBOSCH MUNICIPAL AREA

Locality: Erf 3498, Gite Franschoek, off Cabriere Street, Franschoek

Applicant: Dupré Lombaard, Virdus Works (Pty) Ltd, 77 Buitekring, Dalsig, STELLENBOSCH, 7600; Cell: 082 895 6362; Email: dupre.lombaard@virdus.com

Owner: Vrede Trust, Phone: +27 21 876 2370, E-mail: haumannfarm@gmail.com, Address: PO Box 242, Franschoek, 7690

Stellenbosch Municipality reference number: LU 13277

Application type: Application in terms of Section 15 of the Stellenbosch Municipality Land Use Planning Bylaw, 2015 for: Section 15(2)(o): a consent use contemplated in the zoning scheme.

Application is made for the construction and development of two new buildings / cottages on the property for guest / tourist accommodation establishment use together with the existing approved three units, containing three bedrooms, i.e., leading to five bedrooms being established on the property. The first three units were approved as a consent use for guest accommodation in 2020. Although registered as an erf and within the old Franschoek Municipal area boundary, the property has an Agricultural and Rural Zone. It has an area of only 9 965m² and it is abutting the fruit packing sheds and Artisan Village in Franschoek, i.e., it is abutting the urban edge. It used to be part of La Provence farm but is now a separate property only with the guest accommodation units and vineyards on.

Notice is hereby given in terms of the provisions of Section 46 of the said Bylaw that the above-mentioned application has been submitted to the Stellenbosch Municipality for consideration. The application is available for inspection on the Planning Portal of the Stellenbosch Municipal Website for the duration of the public participation process at the following address: <https://www.stellenbosch.gov.za/planning/documents/planning-notices/land-use-applications-advertisements>. If the website or documents cannot be accessed, an electronic copy of the application can be requested from the Applicant.

You are hereby invited to submit comments and / or objections on the application in terms of Section 50 of the said Bylaw with the following requirements and particulars:

- The comments must be made in writing;
- The comments must refer to the Application Reference Number and Address,
- The name of the person that submits the comments;
- The physical address and contact details of the person submitting the comments;
- The interest that the person has in the subject application;
- The reasons for the comments, which must be set out in sufficient detail in order to:
 - Indicate the facts and circumstances that explain the comments;
 - Where relevant demonstrate the undesirable effect that the application will have if approved;
 - Where relevant demonstrate any aspect of the application that is not considered consistent with applicable policy; and
 - Enable the applicant to respond to the comments.

The **comments must be addressed to the applicant by electronic mail** as follows: Dupré Lombaard, Virdus Works, dupre.lombaard@virdus.com. The comments must be submitted within 30 days from the date of this notice to be received on or before the **closing date of 08 April 2022**.

It should be noted that the Municipality, in terms of Section 50(5) of the said Bylaw, may refuse to accept any comments/ objection received after the closing date. For any enquiries on the Application or the above requirements, or if you are unable to write and /or submit your comments as provided for, you may contact the Applicant for assistance at the e-mail address provided or telephonically at +27 82 895 6362 during normal office hours.

KENNISGEWING VAN GRONDONTWIKKELINGSAANSOEK IN DIE STELLENBOSCH MUNISIPALE AREA

Ligging: Erf 3498, Gite Franschhoek, verlenging van Cabriere Street, Franschhoek

Aansoeker: Dupré Lombaard, Viridus Works (Pty) Ltd, 77 Buitekring, Dalsig, STELLENBOSCH, 7600; Sel: 082 895 6362; E-pos: dupre.lombaard@viridus.com

Eienaar: Vrede Trust, Foon: +27 21 876 2370, Epos: haumannfarm@gmail.com, Adres: Posbus 242, Franschhoek, 7690

Stellenbosch Munisipaliteit Verwysing: LU 13277

Tipe aansoek: Aansoek ingevolge Artikel 15 van die Stellenbosch Munisipaliteit Grondgebruik Verordening, 2015 vir: Artikel 15(2)(o): 'n vergunningsgebruik soos uiteengesit in die soneringskema verordening.

Die aansoek is vir die oprigting en bedryf van twee nuwe geboue / wooneenhede op die eiendom vir gaste / toeriste akkommodasie tesame met die bestaande goedgekeurde drie eenhede met elk een slaapkamer. Dit sal die aantal slaapkamers verhoog na vyf op die eiendom. Die eerste drie eenhede is goedgekeur vir toeriste akkommodasie met vergunning in 2020. Hoewel die eiendom as 'n erf geregistreer is binne die ou Franschhoek Munisipale grens, is dit gesoneer Landbou en Landelike Sone. Dit het 'n oppervlakte van slegs 9 965m² en is geleë langs die vrugte pakstore en Artisan Village in Franschhoek. Dit is dus aanliggend tot die stedelike grens. Die eiendom was deel van die La Provence plaas, maar is nou 'n afsonderlike eiendom met slegs die toeriste akkommodasie en wingerde daarop.

Kennis word hiermee gegee in terme van die voorskrifte van die Artikel 46 van die genoemde Verordeninge dat bovermelde aansoek by die Stellenbosch Munisipaliteit ingedien is vir oorweging. Die aansoek is beskikbaar vir insae op die Beplannings Portaal van die Stellenbosch Munisipaliteit se Webtuiste vir die tydsduur van die publieke deelname proses by die volgende adres: <https://www.stellenbosch.gov.za/planning/documents/planning-notice/land-use-applications-advertisements>. Indien die webtuiste of tersaaklike dokumente nie toeganklik is nie, kan die Aansoeker versoek word om 'n elektroniese kopie van die aansoek beskikbaar te stel.

Kommentaar en/ of besware kan vervolgens gedien word op die aansoek ingevolge Artikel 50 van die tersaaklike Verordening wat die volgende vereistes en besonderhede moet bevat:

- Die kommentaar moet skriftelik wees;
- Die kommentaar moet die aansoek se verwysings nommer en adres insluit;
- Die naam van die persoon wat die kommentaar lewer;
- Die fisiese adres en kontak besonderhede van die persoon wat die kommentaar lewer.
- Die belang wat die persoon wat die kommentaar lewer, in die aansoek het.
- Die redes vir die kommentaar wat gelewer word, welke redes genoegsame besonderhede moet bevat ten opsigte van die volgende aspekte:
 - Die feite en omstandighede aantoon wat die kommentaar toelig;
 - Indien toepaslik, aantoon wat die onwenslike resultaat sal wees indien die aansoek goedgekeur word;
 - Waar toepaslik moet aangetoon word indien enige aspek van die aansoek strydig geag word met enige relevante beleid;
 - Dat die insette voldoende inligting sal gee wat die aansoeker in staat sal stel om kommentaar daarop te lewer.

Die **kommentaar moet by wyse van elektroniese pos aan die aansoeker gestuur word** as volg: Dupré Lombaard, Viridus Works, dupre.lombaard@viridus.com. Die kommentaar moet binne 30 dae vanaf die datum

van hierdie kennisgewing gestuur word en moet ontvang word voor of op die laaste dag van die **sluitings datum** van **08 April 2022**.

Daar moet kennis geneem word dat die Munisipaliteit, in terme van Artikel 50(5) van die vermelde Verordeninge, mag weier om enige kommentaar / beswaar te aanvaar wat na die sluitingsdatum ontvang word. Indien daar enige navrae op die aansoek of bovermelde vereistes vir die lewer van kommentaar is, of indien dit nie moontlik is om geskrewe kommentaar te lewer of die kommentaar op die wyse te lewer soos voorsiening gemaak is nie, kan die Aansoeker geskakel word vir bystand by die vermelde elektroniese pos adres of telefonies by +27 82 895 6362 gedurende normale kantoor ure.

Your support of the application will be appreciated. // U ondersteuning van die aansoek sal waardeer word.

Yours faithfully



Dupré Lombaard

**LAND DEVELOPMENT APPLICATION FOR:
CONSENT USES ON**

ERF 3498, FRANSCHHOEK



CONTENT

Executive Summary

Motivation Report

1.	BACKGROUND	5
1.1	Introduction.....	5
1.2	Context.....	6
2.	LAND DEVELOPMENT APPLICATION AND MOTIVATION.....	6
2.1	Proposed use.....	6
2.2	Title deed restrictions.....	7
2.3	Zoning scheme requirements	7
3.	MOTIVATION	8
3.1	Stellenbosch Municipality IDP.....	8
3.2	Provincial Spatial Development Framework.....	10
3.3	SPLUMA and LUPA principles.....	11
3.4	National Development Plan	13
3.5	Zoning scheme.....	13
3.6	Environmental Management	13
3.7	Heritage	14
3.8	Architecture.....	14
3.9	Engineering	14
3.10	Chapter V evaluation	14
4.	CONCLUSION	16

Table of figures

Figure 1: Erf 3498 locality 5
Figure 2: Erf 3498 context 6
Figure 3: Erf 3498 SDP 7
Figure 4: Existing guest accommodation units on Erf 3498 against urban backdrop 8

ANNEXURE

- ANNEXURE A: LOCALITY**
- ANNEXURE B: APPLICATION AUTHORISATION**
- ANNEXURE C: APPLICATION FORM**
- ANNEXURE D: SITE DEVELOPMENT PLAN**
- ANNEXURE E: PREVIOUS APPROVAL**
- ANNEXURE F: TITLE DEEDS**
- ANNEXURE G: DIAGRAMS**

EXECUTIVE SUMMARY

MOTIVATION IN SUPPORT OF LAND DEVELOPMENT APPLICATION FOR: ERF 3498, FRANSCHHOEK SG Code: C05500030000349800000 / Location: Lat: 33° 54' 26.669" S Lon: 19° 06' 35.269" E	
<u>Owner:</u> VREDE TRUST Reg. No. 1836/2017 Telephone: +27 21 876 2370 Mobile: +27 83 231 0557 E-mail: haumannfarm@gmail.com Address: PO Box 242, Franschhoek, 7690	<u>Project Consultant:</u> Mr Dupré Lombaard (SACPLAN B/8076/1998 / EAPASA 2019/304) Virdus Works (Pty) Ltd Reg. No. 2018/585747/07 Cellular phone: +27 82 895 6362 E-mail: dupre.lombaard@virdus.com Address: 77 Buitekring, Dalsig, Stellenbosch, 7600, South Africa

This application is for consent use in terms of Section 15(2)(o) (a consent use contemplated in the zoning scheme) of the Stellenbosch Municipality Land Use Planning Bylaw, 2015 (LUPB), read with Section 208 and 213 of the Stellenbosch Municipality Zoning Scheme Bylaw, 2019 (ZSB). Application is made for the construction and development of two new buildings / cottages on the property for guest accommodation / tourist accommodation establishment use together with the existing approved three units, containing three bedrooms, i.e., leading to five bedrooms being established on the property.

The first three dwelling units were approved as a consent use for guest accommodation in 2020. Although registered as an erf and within the old Franschhoek Municipal area boundary, the property has an Agricultural and Rural Zone. It has an area of only 9 965m² and it is abutting the fruit packing sheds and Artisan Village in Franschhoek, i.e., it is abutting the urban edge. The owners subdivided Erf 3298 to create Erf 3498 in 2008, but only registered the property in 2019 when it made application for the use of three cottages on the property as guest accommodation units. These units are referred to as the "Gîte" units, which in French means holiday accommodation units in old farmworkers' cottages or converted outbuildings and barns. It used to be part of La Provence farm, but is now a separate property only with the guest accommodation units and vineyards on.

There are no title deed restrictions preventing the proposed land developments in Title Deed T9092/2019.

MOTIVATION REPORT

1. BACKGROUND

1.1 Introduction

This application is for consideration of the extension of a tourist accommodation establishment, or guest accommodation, as previously approved (Annexure E), by the addition of two more units on Erf 3498, Franschhoek in terms of Section 15 of the Stellenbosch Municipality Land Use Planning Bylaw, 2015 (LUPB). The application is for a consent use as permitted in terms of the Stellenbosch Municipality Zoning Scheme Bylaw, 2019. Erf 3498 is located abutting the urban edge in Franschhoek, next to the Franschhoek Wine Cellar, Artisan Village and F1 Freshness First Fruit Packers and zoned for Agricultural and Rural use. The property has an area of only 9 965m² which is not sufficient to be used viably as a farm. There are cultivated vineyards on the property, which are maintained by La Provence farm.



Figure 1: Erf 3498 locality

The location of the property and the natural assets of the area create a good setting for a tourist accommodation establishment that is walking distance from the town, but in a rural environment. It takes access through the aforementioned Artisan Village and the Franschhoek Cellar by way of an access servitude registered in its favour. The property is crossed by access and services servitudes for municipal services, which has some impact on the land use potential thereof. It contains only

the three before mentioned guest accommodation units and no other agricultural infrastructure or dwelling units.

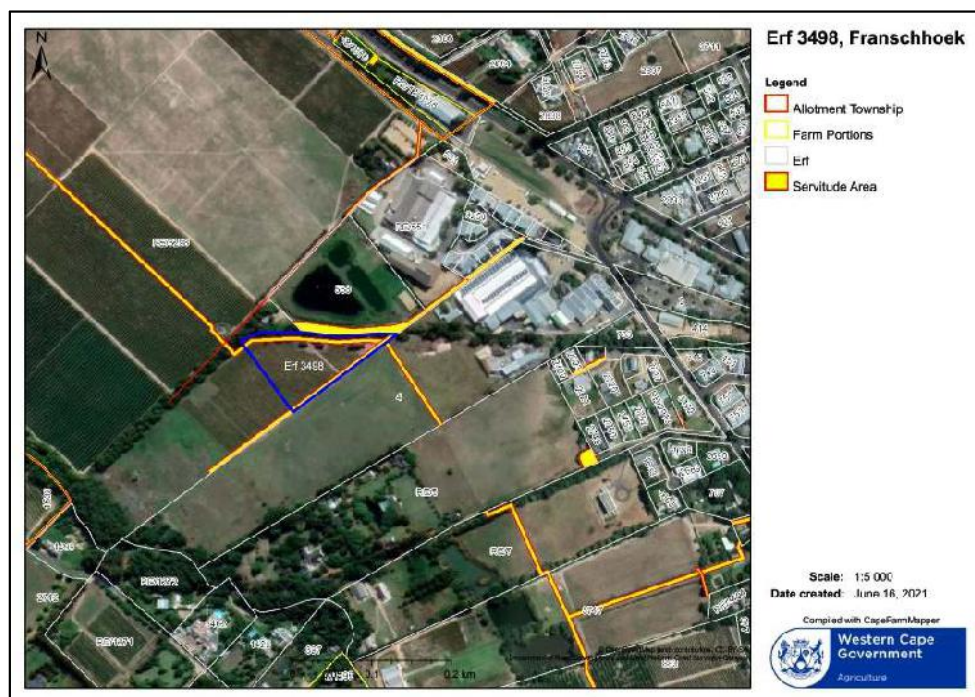


Figure 2: Erf 3498 context

1.2 Context

The development of tourist facilities and accommodation establishments in the Stellenbosch municipal area is promoted in the Integrated Development Plan (IDP) 2021. Erf 3498, albeit zoned Agricultural and Rural use is not a viable farm, given its limited size. It is located on the Franschhoek urban edge, and its access is through the abutting erven. The property was subdivided off Erf 3298 in 2008 and first registered as a separate property in 2019.

The owner applied for a consent use for guest accommodation units, which was granted in 2020. Only three units with three bedrooms were considered and approved (LU 8911 – Annexure E). The units have been successfully let as tourist accommodation units and the owner wishes to expand the offering by the addition of two more units, based on the same design and principles, to enhance the economic viability of the property and the offering.

2. LAND DEVELOPMENT APPLICATION AND MOTIVATION

2.1 Proposed use

The expansion of the "Gîte" units, which in French means holiday accommodation units in old farmworkers' cottages or converted outbuildings and barns are important to ensure long term economic sustainability and viability of the property. The vineyards on the property are not sufficient to economically sustain any owner and

guest accommodation is one of the main attractions of the Franschhoek area, which is known as a major tourism destination in the Cape Winelands.

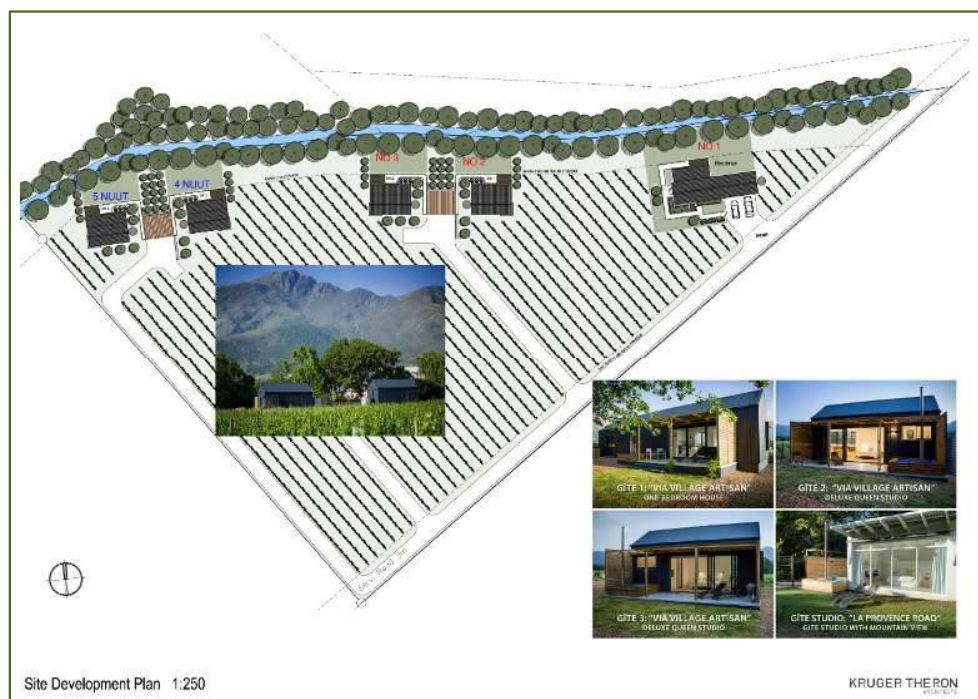


Figure 3: Erf 3498 SDP

2.2 Title deed restrictions

There are no restrictive title conditions that prevent the proposed land use. The title deed (T9092/2019) of the property is attached in Annexure F. A conveyancer's certificate is not included, as the title conditions are clear and the Municipality approved of similar guest units on the property in March 2020, i.e., there could be no restrictive title conditions.

2.3 Zoning scheme requirements

The guest accommodation in two additional one-bedroom cottages of approximately 57 m² each, will create three additional employment opportunities.

In addition to the above, the land development parameters, uses and provisions of Sections 208 and 213 of the Stellenbosch Municipality Zoning Scheme Bylaw, 2019 have been considered.

A site development plan in accordance with the requirements in Section 216 of the ZSB is annexed hereto (Annexure D). The layout of the guest units is done with cognisance of the objectives of the zone, namely the preservation of agricultural land and the continued use of farmland for agriculture, albeit of insignificant economic value in this instance. The units are placed along the sewer servitude line on the northern side of the property where in any event no cultivation of vineyards is permitted.

The scale of the individual buildings used for the proposed guest accommodation is in keeping with the character of the existing three buildings on the land unit, and the character of the area which has an agri-industrial look and feel, being a fruit packing shed and winery. Non-agricultural land uses take up less than 750m² of the space on the property, i.e., it does not dominate the agricultural activities.



Figure 4: Existing guest accommodation units on Erf 3498 against urban backdrop

3. MOTIVATION

3.1 Stellenbosch Municipality IDP

The Integrated Development Plan 2021 (IDP), including the municipal spatial development framework (SDF) make specific provision for the establishment of tourist facilities on farms and the diversification of agricultural activities to enhance the economic sustainability of the farms. It confirms that tourism, linked to the natural environment and agriculture, is one of the largest creators of employment and that it makes substantial contribution to the economic sustainability of the agricultural sector. This application is in line with the provisions of both said documents and an attempt to increase the feasibility and sustainability of the property, which can only through diversification and better use of the land generate additional income to improve the economic sustainability thereof.

IDP Strategy 5 makes specific provision for the use of farms as tourism attractions: *"Manage and develop tourism as one of the key economic sectors - Facilitate the development of tourism attractions, as contained in the Local Economic Development Strategy, in all sectors and at all levels of the local economy"*. It further states that the Municipality must *"Support compatible and sustainable rural activities outside the urban edge (including tourism) if these activities are of a nature and form appropriate in a rural context, generate positive socio-economic returns, and do not*

compromise the environment, agricultural sustainability, or the ability of the municipality to deliver on its mandate".

The SDF specifically states that the protection and expansion of tourism assets and the protection of agricultural land, enablement of its use and expansion of agricultural output are core to the sustainability of Stellenbosch. Without diversification Erf 3498 is not sustainable, like most wine farms in the region (Municipal Economic Review Outlook (MERO), 2019). The MERO is a good indicator of the economic need for diversified use of the agricultural and natural resources and the nature of the tourism that occurs. The 2019 MERO indicates that visitors partake in wine tasting (24,0%), culture/heritage (19,0%), culinary (17,0%), and outdoor activities (13,0%), which symbolise the core product offering of the Cape Winelands District (CWD) and also that proposed for Erf 3498. This has changed significantly, and the 2020 MERO indicates that tourism is now more locally, and recreation focussed, scenic drives attracting 30,0% of all visits, culture/heritage 17,0%, and outdoor activities 52,0%. While there is great uncertainty around the economic effects of the pandemic, there is general consensus that the international travel and tourism industries will not return to the pre-2020 levels for many years. Until then, the proposal is to focus on local tourists who make use of the natural environment for recreation and reside on farms where the atmosphere is more relaxed than in urban settings. Visitors to the Gîte units are mostly local visitors who seek relaxed accommodation within walking distance of the Franschhoek attractions.

The SDF continues to indicate that the Municipality supports compatible and sustainable rural activities outside the urban edge (including tourism) if these activities are *"of a nature and form appropriate in a rural context, generate positive socio-economic returns, and do not compromise the environment, agricultural sustainability, or the ability of the municipality to deliver on its mandate"*. The Gîte accommodation proposals comply in every respect with these criteria, as the attraction will have positive socio-economic effect, amongst others by creating employment opportunities and drawing tourists to the area, while the property in its current state has no such economic benefit. The farm as it is, is not sustainable or even feasibly usable for agricultural purposes, as explained above.

The CWD is known as a primary destination for tourists who visit Cape Town, with world renowned, wine estates. It is the fifth most visited attraction in the country by international visitors (MERO, 2019). The tourism sector plays an integral part in the CWD economy and has great potential for growth due to the availability of natural and historical resources. According to the MERO, the *"Winelands is a wonderful example of agri-tourism (wine tourism), creating an integrated share economy through the promotion of routes and experiential activities"*.

The economy of the municipal area is mainly driven by the wholesale and retail trade, catering and accommodation, and the finance, insurance, real estate, and business services sectors. These sectors are the largest contributors to both GDP and employment in the area. Notably, some sectors absorb more labourers relative to their GDP contribution. This is illustrated by the agriculture, forestry and fishing and community, social and personal services sectors. Other sectors, such as transport, storage and communication, and manufacturing, contribute more to GDP relative to employment. Economic challenges were encountered mainly in the

manufacturing and agriculture, forestry, and fishing sectors. Although these sectors contribute significantly to employment creation, they shed more jobs in recent years than the number of employment opportunities created. An expanded offering, such as at Erf 3498 could thus create alternative opportunities, given the nature thereof.

3.2 Provincial Spatial Development Framework

The Provincial Spatial Development Framework (PSDF) and the supporting and complementary regional spatial development framework as contemplated in Section 18 of the Spatial Planning and Land Use Management Act, 2013 determine principles and the planning and development norms and criteria for tourism related uses in the area. Nothing proposed in this application contradicts any of the said principles or guidelines.

The Western Cape Rural Development Guidelines indicate that: "*The Western Cape economy is founded on the Province's unique asset base. These include farming resources, that make the Western Cape the country's leading exporter of agricultural commodities and whose value chains (e.g. agri-processing) underpin the Province's industrial sector; and its natural capital (i.e. biological diversity) and varied scenic and cultural resources which are the attraction that makes the Western Cape the country's premier tourism destination. The Western Cape seeks to ensure: 1) sustainable development of its rural areas; 2) conservation of their biological diversity; 3) functionality of ecosystems; 4) protection of agricultural productive land; and 5) safeguarding of rural heritage and culture.*"

Chapters 10 and 11 of the Rural Development Guidelines determine the following sustainability principles and management guidelines for tourism and tourist accommodation in rural and agricultural areas:

- *To offer a range of appropriate nature, cultural and agri-based rural tourism facilities, and recreational opportunities across the rural landscape (e.g. animal sanctuary, paintball, shooting ranges, and conference facilities).*
- *Rural tourism and recreation facilities and activities should not compromise farm production, and must be placed to reinforce the farmstead precinct.*
- *To provide a range of opportunities, including different typologies, for tourists and visitors to experience the Western Cape's unique rural landscapes; e.g. additional dwelling units on farms, B&Bs, guesthouses, backpacker lodges, lodges, resorts, hotels, and camping sites.*
- *To offer more people access to unique tourism and recreational resources in sought-after natural areas, where it would not otherwise have been possible.*
- *To contribute towards the sustainability and well-being of the relevant areas where tourist accommodation is considered.*
- *To align the scale and form of overnight facilities with the character and qualities of the Western Cape's diverse rural areas.*
- *To diversify farm income.*

An assessment of the proposals show that they meet all of the aforementioned principles and criteria.

- ✓ To offer a range of appropriate facilities. When considering the main attractions of the CWD (wine tasting, culture/heritage, culinary, and outdoor activities), it is obvious that Erf 3498 will support the product ranges, by offering new accommodation within the vicinity of the attractions such as the Franschhoek Cellar immediately to the north. An added advantage is that the proposal is to create new accommodation opportunities on the edge of the urban area where walking to attractions, instead of vehicle use, is possible.
- ✓ No compromise to agricultural activities. The location of the proposed units and related development activities were chosen in relation to the cultivated areas, servitudes, and natural drainage. The guest accommodation is located in line with the existing units along the pipeline servitude where there is no loss of vineyards or production capacity, albeit meagre.
- ✓ Provide a range of opportunities. By adding new accommodation units in proximity of the urban area, the owners create more and a wider range of opportunities for tourists and for job seekers within a short walking and commuting distance just off on a major transport route (R45).
- ✓ Offer access to more people. The locality of and connectivity to the Erf 3498 proposed accommodation units in relation to the edge of the town will improve its accessibility. It is within walking distance of the majority of the attractions in the town and the local Wine Tram transport node, which conveys visitors to the surrounding wineries and tourist attractions.
- ✓ Improve the economic viability and sustainability of farms. As reflected above, the property is not viable or sustainable as a farm. The addition of two more units will generate additional revenue for the property in a relatively safe environment where visitors can relax and be active in natural surroundings.
- ✓ Align scale and form of facilities with character of area. The surrounding area has a diverse character, with urban development on the northern boundary and with similar scaled agri-tourism related facilities and accommodation on adjacent farms. The new building sizes and forms are of agricultural scale and do not require any departures.
- ✓ Diversify farm income. Currently the property relies solely on a single product offer, namely guest accommodation, as the viticulture is not in any way financially sustainable. While tourism accommodation is mostly (summer) seasonal, the increased capacity allows for business and sporting visitors that are not seasonal and could attract more visitors and non-seasonal visitors.

There is therefore a good match between the relevant policies and the proposed development of Erf 3498 by the expansion of the guest accommodation, and related diversification of the product offering on the property and the surrounding area.

3.3 SPLUMA and LUPA principles

The matters referred to in Section 42 of the Spatial Planning and Land Use Management Act, 2013 and the principles referred to in Chapter VI of the Western

Cape Land Use Planning Act, 2014, with specific reference to spatial justice, spatial sustainability, efficiency, and good administration have all been considered.

The LUPA considerations and development principles of SPLUMA require:

- ✓ The protection and promotion of the sustainable use of agricultural land, which is the purpose of the proposal. In its current state, the farm is not sustainable, and it is essential to better use the resource to diversify its income sources. It requires adherence to national and provincial government policies, as illustrated above, inclusive of the municipal spatial development framework.
- ✓ Consideration of the public interest, which is done through the compliance with the aforementioned policies and guidelines, together with the creation of employment opportunities in proximity of the urban area.
- ✓ Promotion of constitutional transformation imperatives and the related duties of the state. No comment.
- ✓ Proper consideration of the facts and circumstances relevant to the application, as have been set out above, indicating grounds for a positive land development consideration and decision. The relevant facts are that the farm (property) in its current state is not viable, and it is essential for its retention as an agricultural unit to allow for the best use of the resources and locality and to permit the development of accommodation units, without diminishing the agricultural capacity thereof.
- ✓ The respective rights and obligations of all those potentially affected, primarily the existing residents and surrounding property owners, public and private service providers and the wider community have been considered and there are no identified significant issues.
- ✓ The impact of the proposed development on engineering services infrastructure, social infrastructure, and open space requirements. The impact is minimal and there are no negative effects on the social infrastructure or open space requirements. The proposed development makes use of available resources on the property.
- ✓ Spatial justice must be considered, and past spatial and other development imbalances must be redressed through improved access to and use of land. At the scale of the proposed development and the nature thereof, it does not offer any significant opportunity for redress. The proposed development does not have any negative effect on the spatial development framework and policies for such redress, while the employment opportunities would be significantly better than that for an unproductive single product farm.
- ✓ Spatial sustainability has been considered and the proposed land development is within the fiscal, institutional, and administrative means of the state, given that the development will contribute to the municipal and local economic revenue base, without requiring public expenditure to occur. As stated before, prime, and unique agricultural land is not affected. Current and future costs for the provision of infrastructure and social services have been considered and it is more efficient and sustainable to use the property for a higher intensity and diversified use as proposed. It is unlikely to cause the lowering of the service levels in municipal or other public infrastructure.
- ✓ Efficiency (optimising the use of existing resources and infrastructure) has been addressed and the use of the site will contribute to increased efficiencies, also due to its location in proximity of the town. The location of the site would allow

for pedestrian access to the employment opportunities and for tourists and visitors.

- ✓ Spatial resilience has been addressed, as the SDF and other policies allow for flexibility to ensure sustainable development, amongst others by determining policy to assess the applications for land development in the rural area.
- ✓ Good administration is a function of the authorities, not affected by the proposed development.

3.4 National Development Plan

The National Development Plan, 2030 (NDP) is extensively quoted in the Stellenbosch SDF 2021. *It serves as the strategic framework guiding and structuring the country's development imperatives and is supported by the New Growth Path (NGP) and other national strategies. In principle, the NDP is underpinned by, and seeks to advance, a paradigm of development that sees the role of government as enabling by creating the conditions, opportunities, and capabilities conducive to sustainable and inclusive economic growth. The NDP sets out the pillars through which to cultivate and expand a robust, entrepreneurial and innovative economy that will address South Africa's primary challenge of significantly rolling back poverty and inequality by 2030.* The recently released Tourism Transformation Strategy (2018) goes to detail about the matter: *The tourism sector is one of the few sectors in South Africa that continues to grow economically and globally despite the recent economic challenges. The tourism sector is one of the six core pillars of growth in the country according to the New Growth Path and the Industrial Policy Action Plan (IPAP2) identified the sector as one of the areas that contributes to the development of areas of potential such as rural areas and cultural industries amongst others.*

3.5 Zoning scheme

The proposed development of the consent uses must be considered in terms of Section 208 and 213 of the Stellenbosch Municipality Zoning Scheme Bylaw, 2019, read with the relevant considerations as set out in the Stellenbosch Municipality Land Use Planning Bylaw, 2015. Said ZSB determines that "*When approving new consent uses the Municipality shall have regard for the objectives of the zone namely the preservation of agricultural land and the continued use of farm land for agriculture. The scale of the individual buildings used for consent uses shall remain in keeping with the character of buildings on the land unit, the character of the area and non-agricultural land uses may not dominate the farm activities or buildings form. These consent uses may only be undertaken from a land unit where the primary use of the land unit is bona fide agriculture/and or natural environment and where the proposed activity is subservient to these two primary land use activities on the land unit.*".

Given that the envisaged consent use is not in conflict with the primary use of the property (viticulture) and intended to supplement the agricultural activities of Erf 3498, there is no threat of diminishing the agricultural capacity or resource.

3.6 Environmental Management

The proposed development of the consent uses does not trigger an authorisation application in terms of the National Environmental Management Act, 1998, Act 107 of 1998.

3.7 Heritage

The proposed guest accommodation units will not require authorisation in terms of Section 34 or 38 of the National Heritage Resources Act, 1999, Act 25 of 1999, as the buildings are older than 60 years or larger than 5 000m².

3.8 Architecture

Attached hereto as Annexure D, are proposals for the establishment of the above consent uses applicable to the farm. Separate building plans will be submitted to the Municipality for the guest units. The existing buildings are all approved, and Annexure E shows the relevant approval.

3.9 Engineering

A traffic statement (TIS) is not required, as the maximum additional traffic that could be generated regularly in relation to the proposed expansions, are less than 4 trips per day.

Electricity is supplied by Eskom, through an existing service, which does not require any upgrading.

The existing units are not connected municipal water. A borehole on the property provides potable water. The existing units are connected to the municipal sewer and the proposed units will also connect to the same infrastructure. The additional demand generated by the consent uses do not justify any upgrading of the connections to municipal services.

Solid waste is removed by the Municipality, which service will continue with insignificant increase in volume.

3.10 Chapter V evaluation

In Section 65 of the SMLUPB, the following criteria for deciding applications are prescribed. While all of the matters referred to in Section 65 have been addressed in broad above, this section summarises and highlights the relevant matters which the Municipality must consider.

Criterion in Section 65	Applicability	Compliance of application
<i>(a) the application submitted in terms of this By-law;</i>	Application must comply with the processes of the LUPB.	Application covers all the relevant aspects, i.e., consent, departures and permissions and is supported by the required documents and reports.
<i>(b) the procedure followed in processing the application;</i>	Application must be consistent with the LUPB.	Process still has to be concluded. Preparation and

Criterion in Section 65	Applicability	Compliance of application
		submission followed prescribed process.
<i>(c) the desirability of the proposed utilisation of land and any guidelines issued by the Provincial Minister regarding the desirability of proposed land uses;</i>	Desirability test according in terms of Section 208 and 213 of the Zoning Scheme Bylaw, read with the provincial Rural Development Guidelines.	See paragraph 3.2 and 3.5 above. <ul style="list-style-type: none"> • Uses are not likely to cause nuisances and therefore desirable. • Guidelines indicate better use of agricultural resources necessary to diversify economy. • Guidelines require least impact on agricultural capacity. • Guidelines promote the addition of new and a wider range of attractions and opportunities on farms.
<i>(d) the comments in response to the notice of the application, including comments received from organs of state, municipal departments and the Provincial Minister in terms of section 45 of the Land Use Planning Act;</i>	Notices still to be circulated.	Compliance can only be monitored after conclusion of the public participation process.
<i>(e) the response by the applicant, if any, to the comments referred to in paragraph (d);</i>	Notices still to be circulated.	Compliance can only be monitored after conclusion of the public participation process.
<i>(f) investigations carried out in terms of other laws that are relevant to the consideration of the application;</i>	NEMA Act 107/1998 NHRA Act 25/1999	See paragraphs 3.6 and 3.7 above. <ul style="list-style-type: none"> • No authorisations required.
<i>(h) the impact of the proposed land development on municipal engineering services;</i>	No assessments and reports done, due to the low scale and limited extent of the proposed uses.	See paragraph 3.9 above. <ul style="list-style-type: none"> • Insignificant additional traffic. • Eskom electricity supply network has capacity. • Existing water supply from municipal system. • Sewerage connected for disposal into municipal system. • Solid waste removed by Municipality.
<i>(i) the integrated development plan, including the municipal spatial development framework;</i>	Aligned to: IDP 2021 Tourism Development Strategy; and SDF Agricultural Sector Policy	See paragraph 3.1 above. <ul style="list-style-type: none"> • Tourism important economic contributor. • New guest accommodation outside of existing nodes promoted, i.e., on farms and natural areas. • Agricultural sector to be strengthened through appropriate diversification.
<i>(j) the integrated development plan and spatial development framework of the district municipality, where applicable;</i>	Compliant with Rural Area Plan.	See paragraph 3.2 above. <ul style="list-style-type: none"> • The appropriate diversification of use on farms is desirable.

Criterion in Section 65	Applicability	Compliance of application
<i>(k) the applicable local spatial development frameworks adopted by the Municipality;</i>	None identified.	None.
<i>(l) the applicable structure plans;</i>	Not applicable.	Not applicable.
<i>(m) the applicable policies of the Municipality that guide decision-making;</i>	None identified.	None.
<i>(n) the provincial spatial development framework;</i>	Compliant with Rural Area Plan.	See paragraph 3.2 above. • The appropriate diversification of use on farms is desirable.
<i>(o) where applicable, a regional spatial development framework contemplated in section 18 of the Spatial Planning and Land Use Management Act or provincial regional spatial development framework;</i>	Compliant with Rural Area Plan.	See paragraph 3.2 above. • The appropriate diversification of use on farms is desirable.
<i>(p) the policies, principles and the planning and development norms and criteria set by the national and provincial government;</i>	Compliant with principles and criteria.	See paragraph 3.2 above. • Assessed against spatial justice, spatial sustainability, efficiency, and good administration.
<i>(q) the matters referred to in section 42 of the Spatial Planning and Land Use Management Act;</i>	Compliant with principles and criteria.	See paragraph 3.2 above. • Assessed against spatial justice, spatial sustainability, efficiency, and good administration.
<i>(r) the principles referred to in Chapter VI of the Land Use Planning Act; and</i>	Compliant with principles and criteria.	See paragraph 3.2 above. • Assessed against spatial justice, spatial sustainability, efficiency, and good administration.
<i>(s) the applicable provisions of the zoning scheme.</i>	SM Zoning Scheme Bylaw, 2019 considered	See paragraph 3.5 above. • Consent evaluated against Section 207 and 213.




4. CONCLUSION

The application for approval of the proposed consent uses in terms of Section 15(2)(o) of the Bylaw, for the establishment of two additional guest units on Erf 3498, Franschhoek can be approved in view of the positive effects and the lack of any negative effects. The units blend into the environment and are within walking distance of the tourist attractions in the town.

ANNEXURE A: LOCALITY

Erf 3498, Franschhoek

Legend

-  Allotment Township
-  Farm Portions
-  Erf



Scale: 1:5 000

Date created: June 16, 2021

Compiled with CapeFarmMapper



Western Cape Government
Agriculture

© OpenStreetMap (http://www.openstreetmap.org), CC-BY-SA
Department of Rural Development and Land Affairs, Chief Surveyor-General

Erf 3498, Franschhoek

- Legend**
- Allotment Township
 - Farm Portions
 - Erf
 - Servitude Area

Scale: 1:5 000
Date created: June 16, 2021

Compiled with CapeFarmMapper



Western Cape Government
Agriculture



© OpenStreetMap (and) contributors, CC-BY-SA
Department of Rural Development and Land Reform
Chief Surveyor-General

ANNEXURE B: APPLICATION AUTHORISATION

ANNEXURE C: APPLICATION FORM



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

DIRECTORATE: PLANNING & ECONOMIC DEVELOPMENT

www.stellenbosch.gov.za/planning-portal/

SUBMIT COMPLETED FORM TO landuse.applications@stellenbosch.gov.za

LAND USE PLANNING APPLICATION FORM							
(Section 15 of the Stellenbosch Municipal Land Use Planning By-Law (2015) and other relevant legislation)							
KINDLY NOTE: Please complete this form using BLOCK letters and ticking the appropriate boxes.							
PART A: APPLICANT DETAILS							
First name(s)	Dupré						
Surname	Lombaard						
Company name (if applicable)	Virdus Works						
Postal Address	77 Buitekring, Dalsig, Stellenbosch					Postal Code	7600
	Email: dupre.lombaard@virdus.com						
Tel		Fax		Cell	082 895 6362		
PART B: REGISTERED OWNER(S) DETAILS (If different from applicant)							
Registered owner(s)	Vrede Trust IT 1836/2017						
Physical address	La Provence, Franschhoek					Postal code	7690
	E-mail: haumannfarm@gmail.com						
Tel	021 876 2370	Fax		Cell	+27 83 231 0557		
PART C: PROPERTY DETAILS (in accordance with title deed)							
Erf / Erven / Farm No.	3498	Portion(s) if Farm		Allotment area	Franschhoek		
Physical Address	La Provence, Franschhoek						
Current Zoning	Agricultural and Rural	Extent	9 965m ²	Are there existing buildings?	Y	<input checked="" type="checkbox"/>	
Applicable Zoning Scheme	Stellenbosch Municipality Zoning Scheme Bylaw, 2019						
Current Land Use	Guest accommodation and vineyard						
Title Deed number and date	T	T9092/2019					
Attached Conveyance's Certificate	Y	N	Any Restrictions into the Attached Conveyance's Certificate? If yes, please list condition(s) as per certificate				
Are the restrictive conditions in	Y	N	If Yes, list the party(ies):				

favour of a third party(ies)?									
Is the property encumbered by a bond?	Y	N	If Yes, list the bondholder(s):						
Is the property owned by Council?	Y	N	If Yes, kindly <u>attach a power of attorney</u> from the Manager Property Management						
Is the building located within the historical core?	Y	N	Is the building older than 60 years?	Y	N	Is the application triggered by the National Heritage Resources Act, 1999 (Act 25 of 1999) ¹	Y	N	If Yes, kindly indicate which section are triggered and attached the relevant permit if applicable.
Any existing unauthorized buildings and/or land use on the subject property(ies)?	Y	N	If yes, is this application to legalize the building / land use ² ?				Y	N	
Are there any pending court case(s) / order(s) relating to the subject property(ies)?	Y	N	Are there any land claim(s) registered on the subject property(ies)?				Y	N	

PART D: PRE-APPLICATION CONSULTATION

Has there been any pre-application consultation?	Y	N	If Yes, please attach the minutes of the pre-application consultation.						
Has the pre-application scrutiny form been submitted?	Y	N	If yes, please attach the written feedback received.						

PART E: LAND USE PLANNING APPLICATIONS AND APPLICATION FEES PAYABLE

APPLICATIONS IN TERMS OF SECTION 15 OF THE STELLENBOSCH MUNICIPAL LAND USE PLANNING BY-LAW (2015)

Tick	Type of application: Cost are obtainable from the Council Approved tariffs
	15(2)(a) rezoning of Land
	15(2)(b) a permanent departure from the development parameters of the zoning scheme
	15(2)(c) a departure granted on a temporary basis to utilise land for a purpose not permitted in terms of the primary rights of the zoning applicable to the land
	15(2)(d) a subdivision of land that is not exempted in terms of section 24, including the registration of a servitude or lease agreement
	15(2)(e) a consolidation of land that is not exempted in terms of section 24
	15(2)(f) a removal, suspension or amendment of restrictive conditions in respect of a land unit
	15(2)(g) a permission required in terms of the zoning scheme
	15(2)(h) an amendment, deletion or imposition of conditions in respect of an existing approval
	15(2)(i) an extension of the validity period of an approval
	15(2)(j) an approval of an overlay zone as contemplated in the zoning scheme
	15(2)(k) an amendment or cancellation of an approved subdivision plan or part thereof, including a general plan or diagram
	15(2)(l) a permission required in terms of a condition of approval
	15(2)(m) a determination of a zoning
	15(2)(n) a closure of a public place or part thereof
X	15(2)(o) a consent use contemplated in the zoning scheme
	15(2)(p) an occasional use of land

¹ All applications triggered by section 38(1)(a) - (e) in terms of the National Heritage Resources Act, 1999 (Act 25 of 1999) may not be processed without a permit issued by the relevant department

² No application may be submitted to legalize unauthorised building work and or land use on the property if a notice has been served in terms of Section 87(2)(a), and until such time a Section 91 Compliance Certificate have been issued in terms of the Stellenbosch Land Use Planning By-law (2015)

	15(2)(q) to disestablish a home owner's association
	15(2)(r) to rectify a failure by a home owner's association to meet its obligations in respect of the control over or maintenance of services
	15(2)(s) a permission required for the reconstruction of an existing building that constitutes a non-conforming use that is destroyed or damaged to the extent that it is necessary to demolish a substantial part of the building
	15(2)(6) when the Municipality on its own initiative intends to conduct land development or an activity
	15(2)(l) amendment of Site Development Plan
	15(2)(l) Compilation / Establishment of a Home Owners Association Constitution / Design Guidelines

OTHER APPLICATIONS

	Deviation from Council Policies/By-laws	R
	Consent / Permission required in terms of a title deed	R
	Technical approval in terms of the Zoning Scheme Bylaw, 2019	R
	Other (specify): _____	R
TOTAL A:		R

PRESCRIBED NOTICE AND FEES (for completion and use by official)**

Tick	Notification of application in media	Type of application	Cost
	SERVING OF NOTICES	Delivering by hand; registered post; electronic communication methods	R
	PUBLICATION OF NOTICES	Local Newspaper(s); <i>Provincial Gazette</i> ; site notice; Municipality's website	R
	ADDITIONAL PUBLICATION OF NOTICES	Site notice, public meeting, local radio station, Municipality's website, letters of consent or objection	R
	NOTICE OF DECISION	<i>Provincial Gazette</i>	R
	INTEGRATED PROCEDURES	T.B.C	R
TOTAL B:			R
TOTAL APPLICATION FEES* (TOTAL A + B)			R

* The complete application should first be submitted without the payment of any applicable application fees. Only when satisfied that a complete and accurate application has been submitted, will a proforma invoice be submitted to the applicant with payment instructions. Application fees that are paid to the Municipality are non-refundable and once proof of payment is received, the application will be regarded as duly submitted.

** The applicant is liable for the cost of publishing and serving notice of an application. Additional fees may become applicable and the applicant will be informed accordingly.

BANKING DETAILS

Account Holder Name: Stellenbosch Municipality
 Bank: FIRST NATIONAL BANK (FNB)
 Branch no.: 210554
 Account no.: 62869253684
 Payment reference: LU/_____ and ERF/FARM _____
 Please use both the Land Use Application number and the Erf/Farm number indicated on the invoice as a reference when making EFT payment

DETAILS FOR INVOICE

Name & Surname/Company name (details of party responsible for payment)	Virdus Works (Pty) Ltd
Postal Address	77 Buitekring, Dalsig, Stellenbosch, 7600
Vat Number (where applicable)	N/a

PART F: DETAILS OF PROPOSAL

		Street		From	m	To	m
		Street		From	m	To	m
	Building line encroachment	Side		From		To	
		Side		From	m	To	m
		Aggregate side		From	m	To	m
		Rear		From	m	To	m
		Exceeding permissible site coverage		From	%	To	%
		Exceeding maximum permitted bulk / floor factor / no of habitable rooms		From		To	
	Exceeding height restriction		From	m	To	m	
	Exceeding maximum storey height		From	m	To	m	
	Consent/Conditional Use/Special Development						
	Section 13 (Technical Approval) of the Stellenbosch Municipality Zoning Scheme Bylaw, 2019						
	Other (please specify)	<hr/> <hr/> <hr/>					

Brief description of proposed development / intent of application:

Application is made for the construction and development of two new buildings / cottages on the property for guest house / tourist accommodation establishment use together with the existing approved three units, containing three bedrooms, i.e. leading to five bedrooms being established on the property.

PART G: ATTACHMENTS AND SUPPORTING INFORMATION AND DOCUMENTATION FOR LAND USE PLANNING APPLICATION

Complete the following checklist and attach all the information and documentation relevant to the proposal. Failure to submit all information and documentation required will result in the application being deemed incomplete.

Information and documentation required

Y	N	Power of attorney / Owner's consent if applicant is not owner	Y	N	Bondholder's consent (if applicable)
Y	N	Resolution or other proof that applicant is authorised to act on behalf of a juristic person	Y	N	Proof of any other relevant right held in the land concerned
Y	N	Written motivation pertaining to the need and desirability of the proposal	Y	N	S.G. diagram / General plan extract (A4 or A3 only)
Y	N	Locality plan (A4 or A3 only) to scale	Y	N	Site development plan or conceptual layout plan (A4 or A3 only) to scale
Y	N	Proposed subdivision plan (A4 or A3 only) to scale	Y	N	Proof of agreement or permission for required servitude
Y	N	Proof of payment of application fees	Y	N	Proof of registered ownership (Full copy of the title deed)
Y	N	Conveyancer's certificate	Y	N	Written feedback of pre-application scrutiny and Minutes of pre-application consultation meeting (if applicable)

¥	N	N/A	Consolidation plan (A4 or A3 only) to scale	¥	N	N/A	Land use plan / Zoning plan (A4 or A3 only) to scale
¥	N	N/A	Street name and numbering plan (A4 or A3 only) to scale	¥	N	N/A	1 : 50 / 1:100 Flood line determination (plan / report) (A4 or A3 only) to scale
¥	N	N/A	Landscaping / Tree plan (A4 or A3 only) to scale	¥	N	N/A	Home Owners' Association consent
¥	N	N/A	Abutting owner's consent	¥	N	N/A	Services Report or indication of all municipal services / registered servitudes
¥	N	N/A	Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD)	¥	N	N/A	Proof of failure of Home owner's association
¥	N	N/A	Copy of original approval and conditions of approval	¥	N	N/A	Any additional documents or information required as listed in the pre-application consultation form / minutes
¥	N	N/A	Proof of lawful use right	¥	N	N/A	Other (specify)
Y	N	N/A	Required number of documentation copies				

PART H: AUTHORISATION(S) SUBJECT TO OR BEING CONSIDERED IN TERMS OF OTHER LEGISLATION

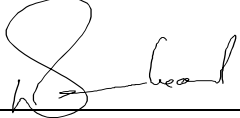
¥	N	If required, has application for EIA / HIA / TIA / TIS / MHIA approval been made? If yes, attach documents / plans / proof of submission etc.	Specific Environmental Management Act(s) (SEMA) (e.g. Environmental Conservation Act, 1989 (Act 73 of 1989))
¥	N/A	Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)	¥ N/A National Environmental Management: Air Quality Act, 2004 (Act 39 of 2004)
¥	N/A	Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013) (SPLUMA)	¥ N/A National Environmental Management: Waste Act, 2008 (Act 59 of 2008)
¥	N/A	Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations	¥ N/A National Water Act, 1998 (Act 36 of 1998)
¥	N/A	Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA)	¥ N/A Other (specify)
¥	N	Do you want to follow an integrated application procedure in terms of section 44(1) of the Stellenbosch Municipality Land Use Planning By-Law? If yes, please attach motivation.	

SECTION I: DECLARATION

I hereby wish to confirm the following:

- That the information contained in this application form and accompanying documentation is complete and correct.

2. I'm aware that it is an offense in terms of section 86(1)(e) to supply particulars, information or answers knowing the particulars, information or answers to be false, incorrect or misleading or not believing them to be correct.
3. I am properly authorized to make this application on behalf of the owner and that a copy of the relevant power of attorney or consent is attached hereto.
4. Where an agent is appointed to submit this application on the owner's behalf, it is accepted that correspondence from and notifications by the Municipality in terms of the by-law will be sent only to the agent and that the owner will regularly consult with the agent in this regard.
5. I confirm that the relevant title deed(s) have been read and that there are no restrictive title deed restrictions, which impact on this application, or alternatively an application for removal/suspension or amendment forms part of this submission.
6. I confirm that I have made known all information relating to possible Land / Restitution Claims against the application property.
7. It is the owner's responsibility to ensure that approval is not sought for a building or land use which will be in conflict with any applicable law.
8. The Municipality assesses an application on the information submitted and declarations made by the owner or on his behalf on the basis that it accepts the information so submitted and declarations so made to be correct, true and accurate.
9. Approval granted by the Municipality on information or declarations that are incorrect, false or misleading may be liable to be declared invalid and set aside which may render any building or development pursuant thereto illegal.
10. The Municipality will not be liable to the owner for any economic loss suffered in consequence of approval granted on incorrect, false or misleading information or declarations being set aside.
11. Information and declarations include any information submitted or declarations made on behalf of the owner by a Competent Person/professional person including such information submitted or declarations made as to his or her qualification as a Competent person and/or registration as a professional.
12. A person who provides any information or certificate required in terms of Regulation A19 of the National Building Regulations and Building Standards Act No 103 of 1977 which he or she knows to be incomplete or false shall be guilty of an offence and shall be prosecuted accordingly.
13. A person who supplies particulars, information or answers in a land use application in terms of the Stellenbosch Municipality Land Use Planning By-law knowing it to be incorrect, false or misleading or not believing them to be correct shall be guilty of an offence and shall be prosecuted accordingly.
14. The Municipality will refer a complaint to the professional council or similar body with whom a Competent Person/professional person is registered in the event that it has reason to believe that information submitted or declaration/s made by such Competent Person/professional person is incorrect, false or misleading.

Applicant's signature:		Date:	2021/06/19
Full name:	Dupré Lombaard, (SACPLAN B/8076/1998 / EAPASA 2019/304)		
	Viridus Works (Pty) Ltd (Reg. No. 2018/585747/07)		
Professional capacity:	Development Management Consultants and Environmental Assessment Practitioners		

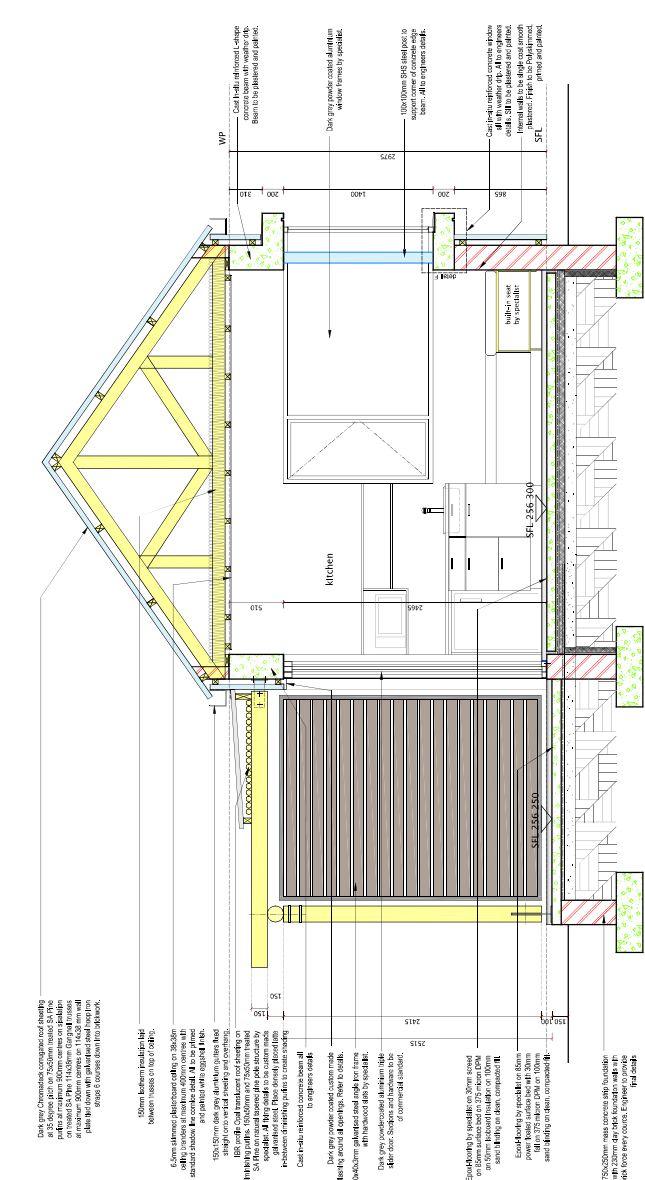
FOR OFFICE USE ONLY

<p>Date received: _____</p> <p>Received By: _____</p>	<div style="border: 1px solid black; width: 100%; height: 100%; display: flex; align-items: center; justify-content: center;"> <p style="color: lightgray; font-size: 1.2em;">Municipal Stamp</p> </div>
--	--

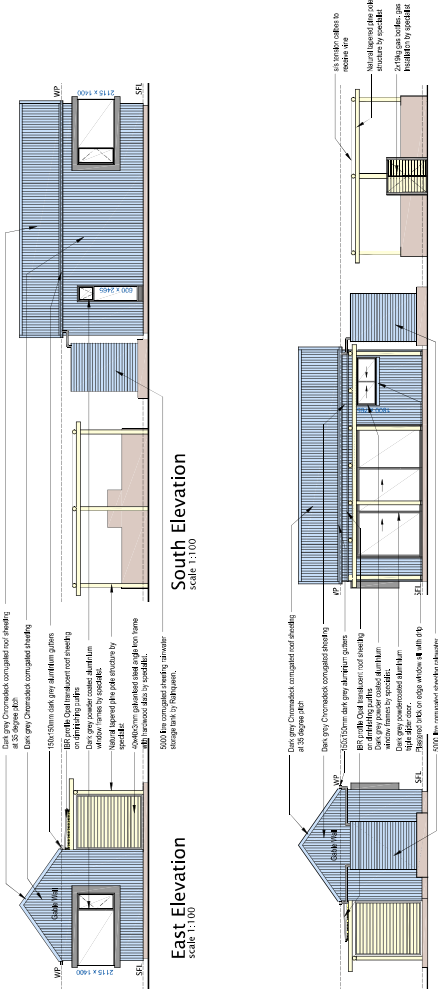
ANNEXURE D: SITE DEVELOPMENT PLAN



Site Development Plan 1:250

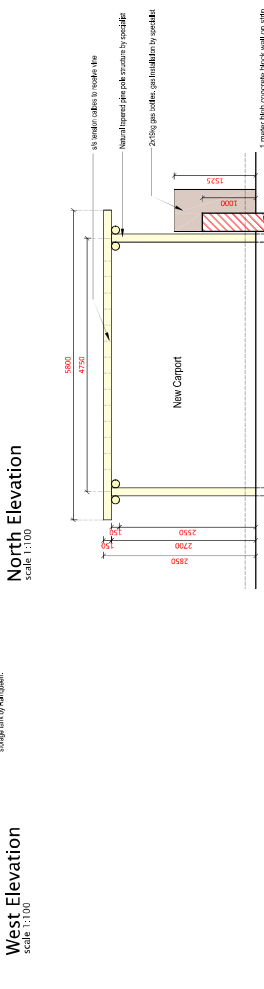


Section B-B
scale 1:25



South Elevation
scale 1:100

East Elevation
scale 1:100



North Elevation
scale 1:100

West Elevation
scale 1:100

Section C-C
scale 1:50



Section C-C
scale 1:50

GENERAL

DEVELOPMENT INFORMATION

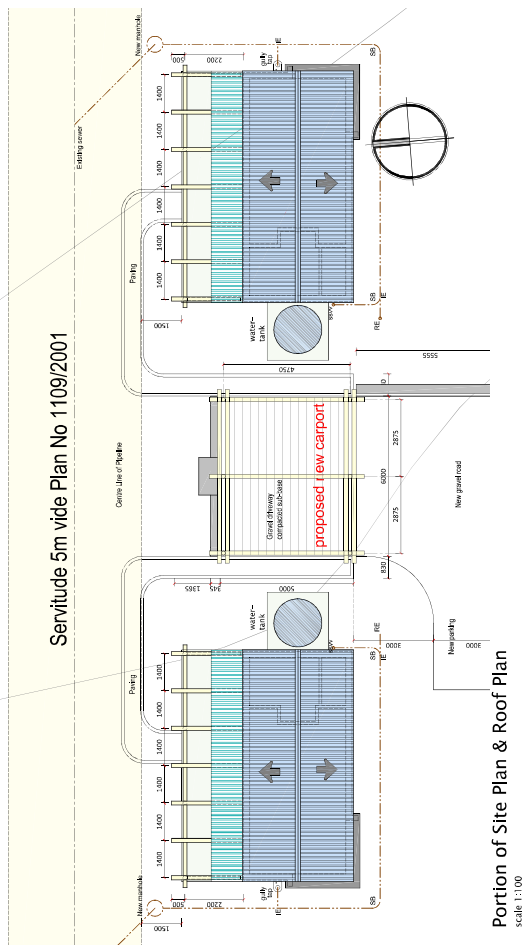
SITE AREA	9865.00 sqm
BUILDING AREA	36.18 sqm
VERANDAS	21.25 sqm
TOTAL BUILDING	57.43 sqm
COVERABLE	N/A

CRUGER THERON ARCHITECTS
Unit 12, Greycoat Plaza, Corner West 7130
T 021 651 8777 | C 082 922 5667
e-mail: kruger@krugert.com.au
SACAP PR A/21 7440

PROJECT DETAILS
CLIENT: HAUMANN FAMILY TRUST
DESCRIPTION: PROPOSED NEW DWELLING
LOCATION: LA PROVENCE FARM 3298
FRANSCHÖEK

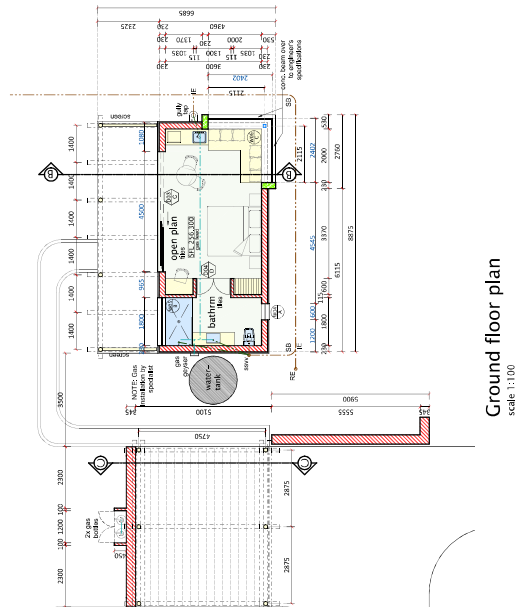
DRAWING DETAILS
TITLE: DRAWING FLOOR PLAN, SECTION, ELEVATIONS & SITE/ ROOF PLAN
PROJECT REF: DATA PROJECTS 17017 CORNELL SUBMISSION
DRAWN: C BRINCKER
CHECKED: K THRONEN
DATE: JUNE 2017
SCALE: 1:100
PROJECT NO: 1707
DRAWING NUMBER: CD 102
REV: 01

XA CALCULATIONS
ALL XA CALCULATIONS AS PER REFERENCE MODEL DONE BY NED EARTH - SANDY ADAMS



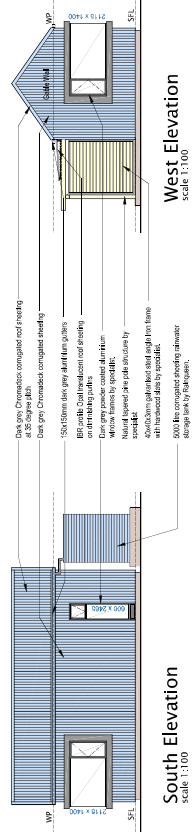
Servitude 5m wide Plan No 1109/2001

Portion of Site Plan & Roof Plan
scale 1:100



Ground floor plan
scale 1:100

Dark grey Chromadek compacted roof sheeting at 85 degree pitch
 150x150mm dark grey aluminium gutters
 BBS south Chromadek roof sheeting
 40x40x2mm galvanneal steel pultrusion trusses with 100mm dark grey insulation
 40x40x2mm galvanneal steel pultrusion trusses with 100mm dark grey insulation
 1000 Rfsc compacted secondary drainage
 1000 Rfsc compacted secondary drainage
 1000 Rfsc compacted secondary drainage

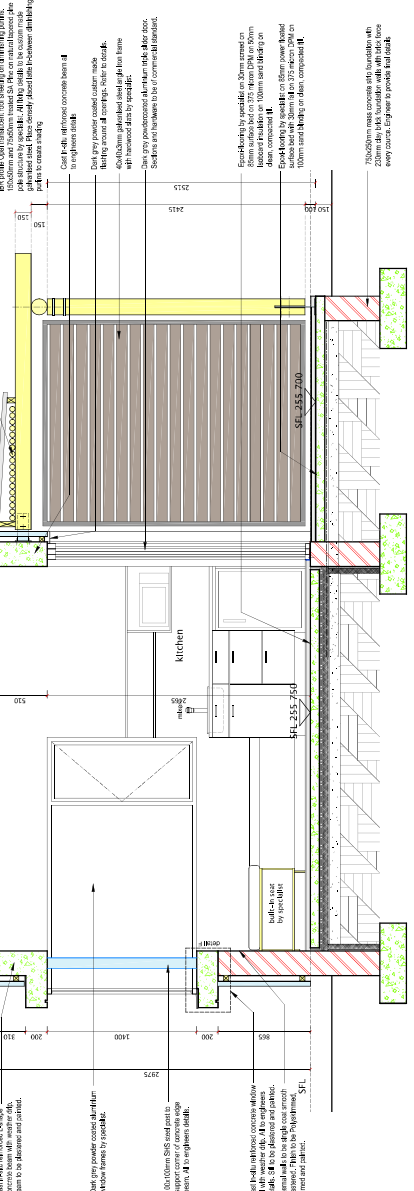


West Elevation
SCALE 1:100

South Elevation
SCALE 1:100

North Elevation
SCALE 1:100

East Elevation
SCALE 1:100



Section A-A
SCALE 1:25

NOTE: Greater quantities of Soffits & Drips

GENERAL

1. ALL INFORMATION ON THIS DRAWING IS TO BE CHECKED AND ANY DISCREPANCY MUST BE BROUGHT TO THE ARCHITECTS ATTENTION IMMEDIATELY.
2. DRAWINGS MUST NOT BE SCALED.
3. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND ALL OTHER APPLICABLE AUTHORITIES.
4. ALL WORK MUST BE DONE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND ALL OTHER APPLICABLE AUTHORITIES.
5. FOUNDATION EXCAVATION MUST BE TREATED WITH TERMITE PROTECTANT ACCORDING TO SABS 3124.
6. FOUNDATION EXCAVATION FOR CONCRETE BRICK WALLS MUST BE TREATED WITH TERMITE PROTECTANT ACCORDING TO SABS 3124.
7. CONCRETE MUST BE TREATED WITH TERMITE PROTECTANT ACCORDING TO SABS 3124.
8. WHERE ANY APPLICABLE PROVISIONS IN STRIP FOUNDATIONS OCCUR THE EXISTING SECTION MUST BE EXTENDED OVER THE FOUNDATION EXCAVATION FOR CONCRETE BRICK WALLS MUST BE TREATED WITH TERMITE PROTECTANT ACCORDING TO SABS 3124.
9. FOUNDATION EXCAVATION FOR CONCRETE BRICK WALLS MUST BE TREATED WITH TERMITE PROTECTANT ACCORDING TO SABS 3124.
10. ALL EXTERNAL WALLS TO BE 200MM CAVITY WALLS WITH 50MM SPACING.
11. CONNECT WITH BRIDGEWORK MUST BE PROVIDED IN ALL WALLS AS INDICATED.
12. SHOW OTHERS: BRICK WORK BY STRETCHER BOND.
13. ALL EXTERNAL WALLS MUST BE TREATED WITH TERMITE PROTECTANT ACCORDING TO SABS 3124.
14. ALL GLAZING MUST BE ACCORDING TO SABS AND NBS IN EXCESS OF 1400 OR WITH 300MM FROM GROUND LEVEL.
15. ALL ELECTRICAL INSTALLATIONS MUST BE STRICTLY ACCORDING TO NBS AND NBS.
16. ALL TIMBER ROOF TRUSSES MUST BE TREATED WITH TERMITE PROTECTANT ACCORDING TO SABS 3124.
17. ALL TIMBER ROOF TRUSSES MUST BE TREATED WITH TERMITE PROTECTANT ACCORDING TO SABS 3124.
18. ALL TIMBER ROOF TRUSSES MUST BE TREATED WITH TERMITE PROTECTANT ACCORDING TO SABS 3124.
19. ALL EXTERNAL WALLS TO BE 200MM CAVITY WALLS WITH 50MM SPACING.
20. PROVIDE WALL TRIS (SABS 3124) & BRICK COURSES.
21. ALL PARTY WALLS TO BE WATERPROOFED WITH BANDAGE FLASHING.
22. PROVIDE GALVANIZED HOOP ROOF TRIS AT LEAST 6 COURSES DOWN.

DEVELOPMENT INFORMATION

SITE AREA	9985.00 sqm
BUILDING AREA	36.18 sqm
VERANDAS	21.25 sqm
TOTAL BUILDING	57.43 sqm
COVERABLE K	N/A

KRUGER THERON ARCHITECTS

Unit 12, Grey van Pillus Center, Somerset West 7130
 T: 021 651 8777 | C: 082 922 5667
 e-mail: kruger@krugertheron.co.za
 SACAP: PR 4021 7440

PROJECT DETAILS
 CLIENT: HAUMANN FAMILY TRUST
 DESCRIPTION: PROPOSED NEW DWELLING
 LOCATION: LA PROVENCE FARM 3298
 FRANSCHÖEK

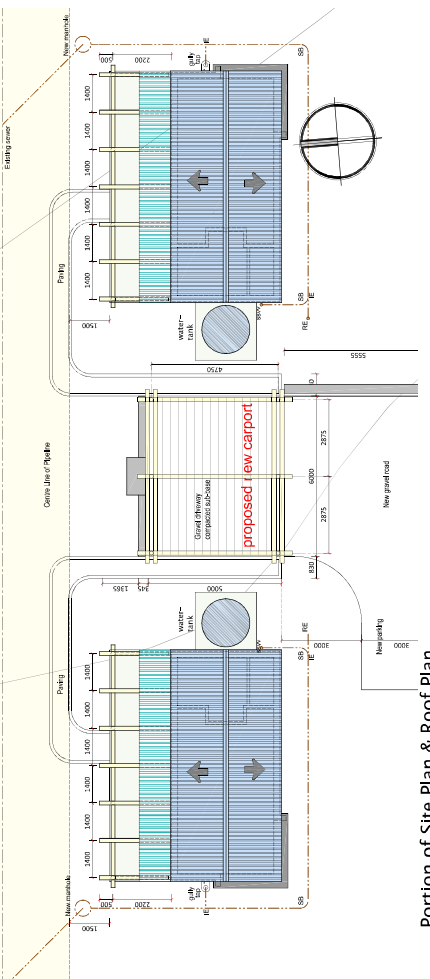
DRAWING DETAILS
 TITLE: GROUND FLOOR PLAN, SECTION, ELEVATIONS & SITE ROOF PLAN
 PROJECT REF: DATA PROJECTS 1707 CORNELIUS SUBMISSION

DRAWN BY	C. BRÜCKER	CHECKED BY	K. THRON
DATE	JUNE 2017	SCALE	1:100
PROJECT NO	1707	DRAWING NUMBER	01

X-A CALCULATIONS

ALL X-A CALCULATIONS AS PER REFERENCE MODEL DONE BY NBS EARTH - SANDY ADAMS

Servitude 5m wide Plan No 1109/2001



Portion of Site Plan & Roof Plan
SCALE 1:100

Ground floor plan
SCALE 1:100

ANNEXURE E: PREVIOUS APPROVAL

ANNEXURE F: TITLE DEEDS

ANNEXURE G: DIAGRAMS