

## **NOTICE OF LAND DEVELOPMENT APPLICATION TO INTERESTED AND AFFECTED PARTIES FOR COMMENT**

### **Sir / Madam:**

The following land use application in terms of the Stellenbosch Land Use Planning Bylaw, 2015, refers:

**Application Property Address:** Simonsberg Crescent, Klapmuts [unregistered Erf 3382]

**Application Property Number:** Unregistered Erf 3382, Klapmuts

**Applicant:** TV3 Projects (Pty)Ltd – A. Prinsloo (contact details: 021 – 861 3800)

**Owner:** Simonsberg Employees Development Company Proprietary Limited – Mr Francois Klomp (contact details: 083 229 5031)

**Application Reference:** LU/13345

**Application Type:** Application for Rezoning and Amendment of Design Manual and Architectural Guidelines.

### **Detailed description of land use or development proposal, including its intent and purpose:**

Application is made in terms of Section 15(2)(a) of the Stellenbosch Land Use Planning By-Law, promulgated by notice number 354/2015, dated 20 October 2015 for the Rezoning of Unregistered Erf 3382, Klapmuts from Local Business to Industrial Zone in order to conduct amongst others the processing, labelling, packaging, bottling and storage of wine industry related products

Application is made in terms of Section 15(2)(h) for an amendment of a condition in respect of an existing approval to amend the approved Design Manual and Architectural guidelines (December 2014) so as to change the zoning allocation of Portion 1 of Erf 2016 (unregistered Erf 3382) from Business Zone II to Industrial zone, and to depict the Industrial Zone development parameters in terms of the Stellenbosch Zoning Scheme By-Law, 2019.

Notice is hereby given in terms of the provisions of Section 46 of the said Bylaw that the above-mentioned application has been submitted to the Stellenbosch Municipality for consideration. The application is available for inspection on the Planning Portal of the Stellenbosch Municipal Website for the duration of the public participation process at the following address: <https://www.stellenbosch.gov.za/planning/documents/planning-notices/land-use-applications-advertisements>. If the website or documents cannot be accessed, an electronic copy of the application can be requested from the Applicant.

You are hereby invited to submit comments and / or objections on the application in terms of Section 50 of the said bylaw with the following requirements and particulars:

- The comments must be made in writing;
- The comments must refer to the Application Reference Number and Address,
- The name of the person that submits the comments;
- The physical address and contact details of the person submitting the comments;
- The interest that the person has in the subject application;
- The reasons for the comments, which must be set out in sufficient detail in order to:

- o Indicate the facts and circumstances that explain the comments;
- o Where relevant demonstrate the undesirable effect that the application will have if approved;
- o Where relevant demonstrate any aspect of the application that is not considered consistent with applicable policy; and
- o Enable the applicant to respond to the comments.

The comments must be addressed to the applicant by electronic mail as follows: **TV3 Projects (Pty)Ltd – A. Prinsloo (anton@tv3.co.za)**. By lodging an objection, comment or representation, the person doing so acknowledges that information may be made available to the public and to the applicant.

The comments must be submitted within 30 days from the date of this notice to be received on or before the closing date of **28 March 2022**.

It should be noted that the Municipality, in terms of Section 50(5) of the said Bylaw, may refuse to accept any comments/ objection received after the closing date.

For any enquiries on the Application or the above requirements, or if you are unable to write and /or submit your comments as provided for, you may contact the Applicant for assistance at the e-mail address provided or telephonically at **021 – 861 3800** during normal office hours.

Yours faithfully

Anton Prinsloo  
TV3 Projects (Pty)Ltd

**KENNISGEWING VAN GROND ONTWIKKELINGS AANSOEK AAN GEINTERESEERDE EN  
GEAFFEKTEERDE PARTYE VIR KOMMENTAAR.**

**Meneer / Dame**

Die volgende grondgebruiksaansoek in terme van Stellenbosch se Verordeninge op Grondgebruikbeplanning, 2015, verwys:

**Adres van aansoek eiendom:** Simonsberg Single (Crescent), Klapmuts.

**Aansoek eiendom beskrywing:** Ongeregistreerde Erf 3382, Klapmuts

**Aansoeker:** TV3 Projects (Pty)Ltd – A. Prinsloo (kontak besonderhede: 021 – 861 3800)

**Eienaar:** Simonsberg Employees Development Company Proprietary Limited – Mnr Francois Klomp (kontak besonderhede – 083 229 5031)

**Aansoek Verwysing:** LU/13345

**Tipe Aansoek:** Hersonerig en Wysiging van Ontwerps Handleiding en Argitektoniese Riglyne

**Besonderhede van die grondgebruiksaansoek, insluitende die doel en uitkoms:**

Aansoek word gemaak in terme van Artikel 15(2)(a) van die Stellenbosch Verordening op Grondgebruikbeplanning (2015)afgekondig deur kennisgewing nommer 354/2015, gedateer 20 Oktober 2015, vir die Hersonerig van Ongeregistreerde Erf 3382, Klapmuts van Plaaslike Besigheid na Industriële Sone ten einde voorsiening te maak vir, onder andere die prosessering, etikering, verpakking, bottelering en storig van wynverwante industriële produkte.

Aansoek word gemaak in terme van Artikel 15(2)(h) vir die wysiging van 'n voorwaarde rakende 'n bestaande goedkeuring ten einde die goedgekeurde Ontwerps Handleiding en Argitektoniese riglyne (Desember 2014) te wysig ten einde die sonering aanwysing van Gedeelte 1 van Erf 2016(ongeregistreerde Erf 3382) te verander vanaf Sake Sone II na Industriële Sone, en ook die dienooreenkomstige aanduiding van die Industriële Sone ontwikkelings parameters in terme van die Stellenbosch Munisipaliteit Soneringskema Verordeing, 2019.

Kennis word hiermee gegee in terme van die voorskrifte van die Artikel 46 van die genoemde Verordeninge dat bovermelde aansoek by die Stellenbosch Munisipaliteit ingedien is vir oorweging. Die aansoek is beskikbaar vir insae op die Beplannings Portaal van die Stellenbosch Munisipaliteit se Webtuiste vir die tydsduur van die publieke deelname proses by die volgende adres:

<https://www.stellenbosch.gov.za/planning/documents/planning-notices/land-use-applications-advertisements>. Indien die webtuiste of tersaaklike dokumente nie toeganklik is nie, kan die Aansoeker versoek word om 'n elektroniese kopie van die aansoek beskikbaar te stel.

Kommentaar en/ of besware kan vervolgens gedien word op die aansoek in terms van Artikel 50 van die tersaaklike Verordening wat die volgende vereistes en besonderhede moet bevat:

- Die kommentaar moet skriftelik wees;

- Die kommentaar moet die aansoek se verwysings nommer en adres insluit;
- Die naam van die persoon wat die kommentaar lewer;
- Die fisiese adres en kontak besonderhede van die persoon wat die kommentaar lewer.
- Die belang wat die persoon wat die kommentaar lewer, in die aansoek het.
- Die redes vir die kommentaar wat gelewer word, welke redes genoegsame besonderhede moet bevat ten opsigte van die volgende aspekte:
  - Die feite en omstandighede aantoon wat die die kommentaar toelig;
  - Indien toepaslik, aantoon wat die onwenslike resultaat sal wees indien die aansoek goedgekeur word;
  - Waar toepaslik moet aangetoon word indien enige aspek van die aansoek strydig geag word met enige relevante beleid;
  - Dat die insette voldoende inligting sal gee wat die aansoeker in staat sal stel om kommentaar daarop te lewer.

Die kommentaar moet by wyse van elektroniese pos aan die Aansoeker gestuur word as volg: **TV3 Projects (Pty)Ltd – A. Prinsloo (anton@tv3.co.za)**. Deur 'n beswaar, kommentaar of versoë te rig, erken die persoon wat dit doen dat inligting aan die publiek en aan die aansoeker beskikbaar gestel kan word.

Die kommentaar moet binne 30 dae vanaf die datum van hierdie kennisgewing gestuur word en moet ontvang word voor of op die laaste dag van die sluitings datum van **28 Maart 2022**.

Daar moet kennis geneem word dat die Munisipaliteit, in terme van Artikel 50(5) van die vermeldde Verordeninge, mag weier om enige kommentaar / beswaar te aanvaar wat na die sluitingsdatum ontvang word.

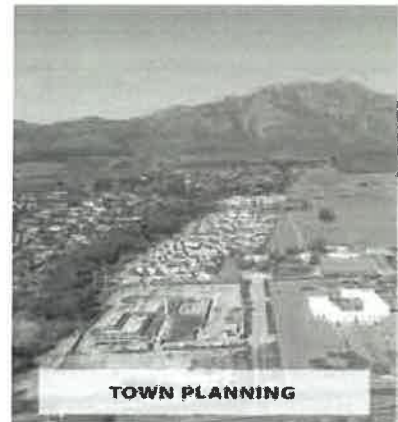
Indien daar enige navrae op die aansoek of bovermelde vereistes vir die lewer van kommentaar is, of indien dit nie moontlik is om geskrewe kommentaar te lewer of die kommentaar op die wyse te lewer soos voorsiening gemaak is nie, kan die Aansoeker geskakel word vir bystand by die vermeldde elektroniese pos adres of telefonies by **021 – 861 3800** gedurende normale kantoor ure.

Die uwe

**Anton Prinsloo**  
**TV3 Projects (Pty)Ltd**

**APPLICATION FOR:  
REZONING  
&  
AMENDMENT OF DESIGN GUIDELINES  
UNREGISTERED ERF 3382, KLAPMUTS**

**tv3** ARCHITECTS  
TOWN PLANNERS  
URBAN DESIGNERS





FIRST FLOOR  
LA GRATITUDE  
OFFICE BUILDING  
97 DORP STREET  
STELLENBOSCH 7600  
TEL 021 661 3800

**Date:** 18 October 2021  
**Our ref:** 3693-P  
**Inquiries:** Anton Prinsloo

**APPLICATION FOR:**

**REZONING**

**&**

**AMENDMENT OF APPROVED DESIGN MANUAL AND**

**ARCHITECTURAL GUIDELINES**

**UNREGISTERED ERF 3382, KLAPMUTS**

Prepared on behalf of:  
Simonsberg Employees Development CO (Pty) Ltd

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**1. THE APPLICATION**

Application is made in terms of Section 15(2)(a) and 15(2)(h) of the Stellenbosch Municipality Planning By-Law (2015) for:

- i) The rezoning of unregistered Erf 3382 from Local Business Zone to Industrial Zone for Industrial purposes;
- ii) Amendment of the approved Design Manual & Architectural Guidelines (December 2014) so as to change the Zoning allocation of Portion 1 of Erf 2106 (unregistered Erf 3382) from Business Zone II to Industrial Zone for Industrial purposes, and to depict the Industrial Zone development parameters in terms of the Stellenbosch Zoning Scheme By-Law (2019)



## **2. BRIEF**

This firm received a brief from the landowner to prepare the necessary documentation for the land use planning application as set out in Section 1 above of this report, to obtain planning approval for the rezoning of unregistered Erf 3382, Klapmuts from Business Zone II to Industrial Zone (Industrial purposes) and the amendment of the Design Manual & Architectural Guidelines (December 2014). To this effect attached hereto as Annexure A the Company Resolution as well as the Special Power of Attorney permitting this firm to submit this application on their behalf.

## **3. PROPERTY INFORMATION**

### **3.1 Locality**

Unregistered Erf 3382 is located in Klapmuts within the Simonsberg Business Park located to the west of the R44 (Figure 1 below). The application property falls under the jurisdiction of the Stellenbosch Municipality. The regional- and local locality plan is attached hereto as Annexure E.

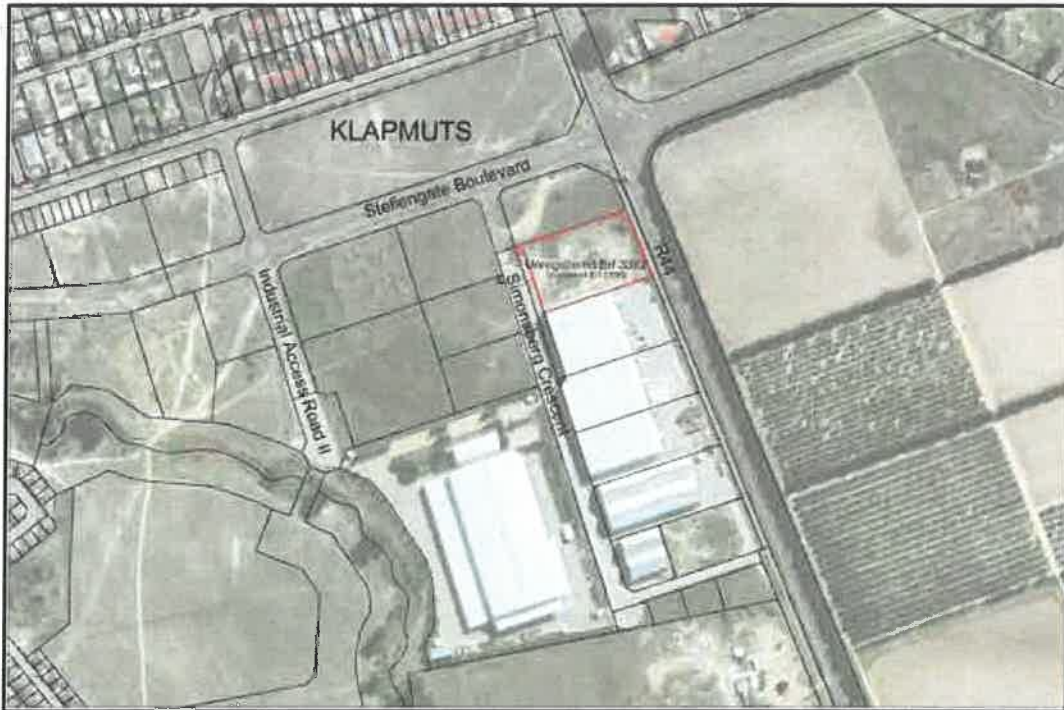


Figure 1: Locality

### 3.2 Property description

Details relating to the description, ownership, and size of the application property which is the subject of the specific application, are provided in Table 1 below.

Unregistered Erf 3382 is not yet registered and is included within Erf 2106, Klapmuts as reflected in Certificate of Registered Title No T44783/2018.

Property Description	Title Deed No.	Size (m <sup>2</sup> )	Registered Owner
Erf 2106, Klapmuts, in the Stellenbosch Municipality, Paarl Division, Province of the Western Cape. [Unregistered Erf 3382, approved subdivided portion of Erf 2106, Klapmuts, Western Cape Province]	T44783/2018	5001m <sup>2</sup>	Simonsberg Employees Development Co (Pty)Ltd

Table 1: Property Details

Unregistered Erf 3382 constitutes an approved subdivided portion of Erf 2106 which was subdivided into three portions being Erven 3382, 3383 and 3384, as per Stellenbosch Municipality letter of approval dated 2015-05-08 (Attached hereto as Annexure D).

Simultaneous with the above subdivision erven 3383 and 3384 were rezoned from Business Zone II to Industrial Zone I and Open Space Zone II respectively. A copy of the letter of approval dated 2015/05/08 is attached hereto as Annexure D.

The remainder portion (unregistered Erf 3382 -  $\pm 5000\text{m}^2$ ) retained the Business Zone II zoning as originally approved regarding the total development approval for Erf 1336, Klapmuts (a copy of Letter of approval dated 2008-09-18 attached hereto as Annexure D).

Erf 3383 was subsequently transferred, leaving the remainder Erf 2106 consisting of two unregistered subdivided portions equating to  $\pm 5617\text{m}^2$  in total, of which unregistered Erf 3382 equates to  $\pm 5001\text{m}^2$  and unregistered Erf 3384 (private road portion) equates to  $\pm 616\text{m}^2$ , leaving no remainder Erf 2106.

The above is duly reflected in the attached Surveyor General Diagram Nr 661/2016, and General Plan No. 2470/2009 depicting the respective subdivisions of Erf 1336, Klapmuts, and deductions made from Erf 2106 resulting in leaving no remainder (attached hereto as Annexure C).

Unregistered Erf 3382 is duly indicated on Surveyor General Diagram No 663/2016 (attached hereto as Annexure C).

### **3.3 Ownership**

The application property is currently registered in the name of Simonsberg Employees Development Company (Pty) Ltd, by virtue of the deed of transfer as indicated in Table 1 above, of which a copy is attached hereto as Annexure B.

### **3.4 Size**

The subject property is  $\pm 5\,001\text{m}^2$  in extent.

### **3.5 Mortgage Bonds**

The property details search shows no Mortgage Bond registered against the property in question.

### **3.6 Conditions of Title**

Cluver Markotter Inc were requested to conduct a title deed search and they have confirmed that there are no title conditions that will restrict the proposed application on the application property. A copy of the Conveyancer Certificate confirming as much is attached hereto as Annexure B.

## **4. COMPLIANCE WITH OTHER LEGISLATIVE APPLICATION REQUIREMENTS**

### **4.1 National Environmental Management Act (107 of 1998)**

Authorisation was granted in terms of the NEMA regulations for Phases I and II of the development of Erf 1336 Klapmuts as approved by the Stellenbosch Municipality in terms of the Land Use Planning Ordinance. A copy of the Environmental Authorisation that was issued for Phase II is attached hereto as Annexure D2. As the application property was duly included within the above authorisation, it is deemed that an Amended Environmental Authorisation will not be required.

### **4.2 National Heritage Resources Act (25 of 1999)**

Approval was granted by Heritage Western Cape as part of the original application regarding Erf 1336, subject to certain conditions / setbacks being imposed. This application for rezoning does not impact or amend any of the conditions previously imposed by Heritage Western Cape and therefore no new approval is deemed to be required in terms of the National Heritage Resources Act. The relevant conditions that were imposed are also accounted for in the Design and Architectural Guideline Manual for Simonsberg Park – a copy attached hereto as Annexure G

## 5. EXISTING ZONING, LAND USE AND POLICY CONTEXT

### 5.1 Existing Zoning

Erf 2106 was originally part of the total development approval for Erf 1336, Klapmuts (approval dated 2008-09-18) and in terms of the then approval was zoned as Business Zone II in terms of the applicable Section 8 Zoning Scheme Regulations.

Subsequent hereto approval was granted for the subdivision and rezoning of Erf 2106 as depicted in letter of approval dated 2015-05-08, where Erf 2106 was subdivided into 3 portions (erven), being Erven 3382, 3383 and 3384 respectively. Simultaneously erven 3383 and 3384 was rezoned from Business Zone II to Industrial Zone I and Open Space Zone II (private road) respectively, whilst the remainder of the property remained Business Zone II [unregistered Erf 3382].

Therefore in terms of the adopted Stellenbosch Zoning Scheme Regulations (2019) it is deemed that the converted zoning is Local Business Zone for the portion of Erf 2106, depicted as unregistered Erf 3382 (SG No. 661/2016). A copy of the letter of approval dated 2015-05-08 is attached hereto as Annexure D.

Figure 2 below provides for an extract of the Stellenbosch Zoning Maps, indicating the application property's zoning being Local Business Zone.

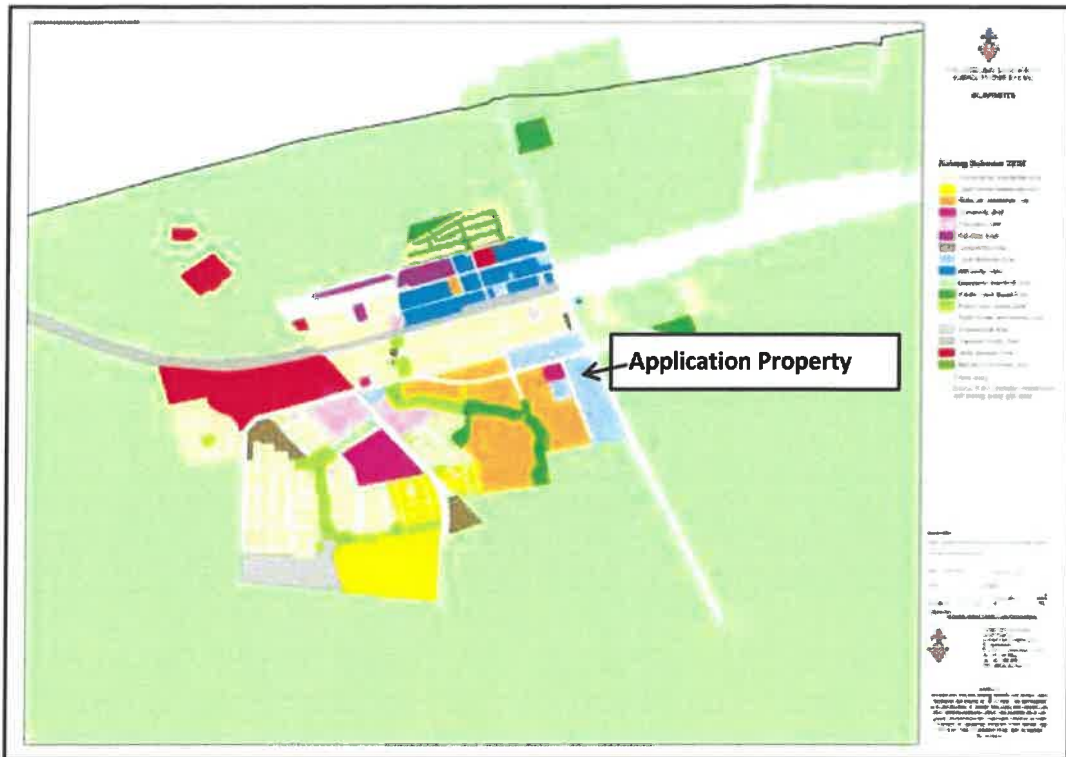


Figure 2: Stellenbosch Municipality Zoning

## 5.2 Existing and Surrounding Land Uses

The directly abutting and surrounding land use context is reflective of industrial uses, with specific reference to the properties located within the Simonsberg Business Park Unregistered Erf 3382 is currently vacant. Accordingly, the proposed rezoning is considered to be consistent and compatible with the existing and future planned surrounding development context.

The surrounding zoning and land use is by and large determined by the current development approval for Erf 1336. Figure 3 below provides for the Master Development Plan for the original Erf 1336, Klappmuts.



Figure 3: Development Master Plan, Erf 1336

### 5.3 Simonsberg Business Park [Architectural Guidelines & Building Rules]

Unregistered Erf 3382, is located within the established Simonsberg Business Park, and subject to the relevant Architectural Guidelines and Building Rules duly approved as per letter of approval dated 2015-05-08 (Annexure D), and also included within the Constitution of the Simonsberg Property Owners Association. A copy of the Design Manual and Architectural Guidelines (December 2014) is attached hereto as Annexure G.

Figure 5 below provides for the locality and extent of the Simonsberg Business Park and the locality of unregistered Erf 3382 (indicated as Erf No. 2106/1 in the table) in context thereof

The development parameters regarding the respective properties within the Business Park are reflected in Figure 5 below, of which a copy of the Simonsberg Design Manual and Architectural Guidelines is attached hereto as Annexure G.





Figure 4: View towards the west over the Business Park

At the time of the submission of the Architectural Guidelines and Building Rules (2014), unregistered Erf 3382 was depicted as Erf No. 2106/1 representing one of the portions that was subdivided from Erf 2106 as indicated above vide Municipal Letter of approval dated 2015-05-08.

The development of unregistered Erf 3382 will be done in accordance with the Design Manual and Architectural Guidelines originally prepared by Boogertman & Partners Architects, so as to ensure compliance with the development conditions (setbacks, height etc) as imposed by Heritage Western Cape as part of the original subdivision and rezoning approval for Erf 1336.

In doing so the original approved development context will not be compromised by the proposed change in zoning. The design manual and architectural guideline document as approved will be appropriately re-drafted in order to reflect the change from business to industrial related use including the development parameters reflected in Table 5 below, but the fundamental design and guiding principles will remain the same.



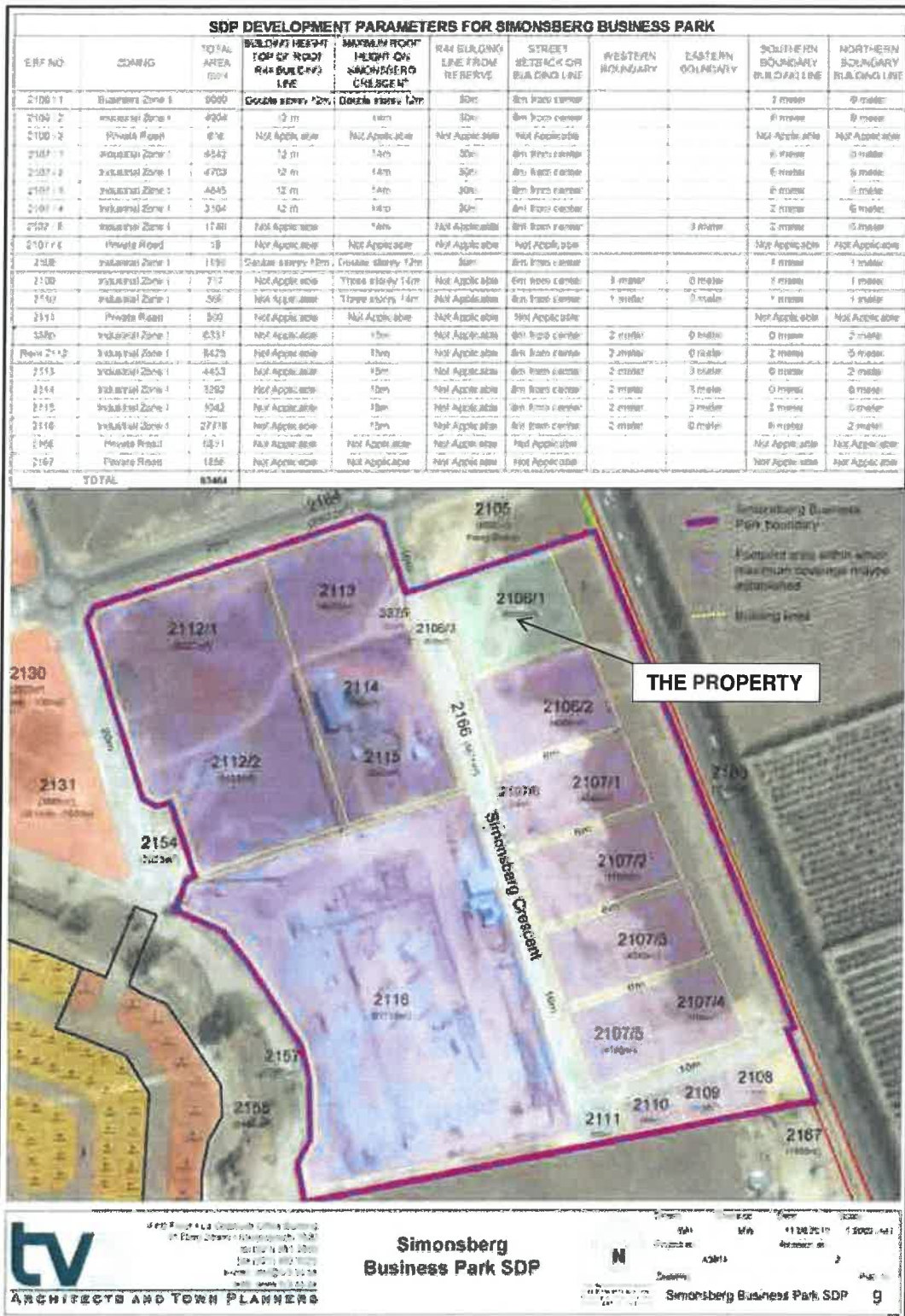


Figure 5: Extract from Simonsberg Park: Design Manual & Architectural Guidelines

#### **5.4 Simonsberg Park Landscaping Guidelines**

The abovementioned Design Manual and Architectural Guidelines are supplemented with Landscaping Guidelines so as to ensure appropriate treatment is implemented as part of the broader Simonsberg Park development. A copy of the Landscaping Guideline is included within the Design Manual and Architectural Guideline document as approved attached hereto as Annexure G

#### **5.5 Simonsberg Business Park Owners Association**

The formal consent / no objection pertaining to the application indicated above will be requested and obtained from the Simonsberg Business Park Association as part of the public notification process, after which it will be forwarded to the Stellenbosch Municipality accordingly.

Attached hereto as Annexure G1, the following members have provided their consent by electronic correspondence:

- Pelican Property Trust (Vinimark) – Mr Jan-Linde Naude.
- Klapmuts Warehousing (Pty)Ltd – Mr Jaco Durand
- Wynlandbottelering

#### **5.6 Stellenbosch 2019 Approved MSDF Context**

The figure below depicts the application property within context of the Klappmuts area, in terms of the approved Stellenbosch Municipality Spatial Development Framework, as approved on 11 November 2019.

The property is located within the area designated for local Economic Diversification, and, and as such the proposed rezoning is deemed to be consistent with the provisions of the approved Stellenbosch MSDF.

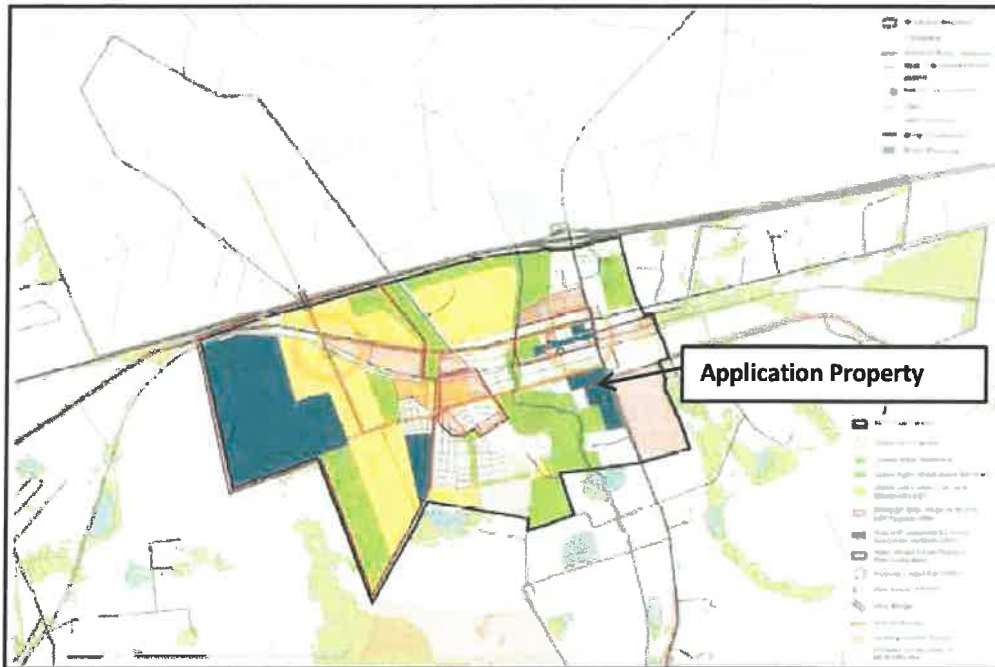


Figure 6: Stellenbosch Spatial Development Framework [Klapmuts], November 2019

## 6. THE DEVELOPMENT PROPOSAL

### 6.1 Rezoning

The development proposes the rezoning of unregistered Erf 3382 from Local Business Zone to Industrial Zone for Industry related purposes that will consist of the following uses to be conducted on the property:

- Processing of semi-final wine industry related products up to final product;
- Labelling and packaging of wine industry related products according to client specifications.
- Processing and storage of wine industry related products;
- Labelling and bottling of wine industry related products, and storage thereof.
- Bulk storage of wine industry related products in tanks to be processed / packaged and bottled;

- Storage and processing of semi-final as well as final products to be distributed.

The attached Conceptual layout (Annexure F) provides for an indication of the structure that could be constructed on the property, subject to the development parameters of the Stellenbosch Municipal Zoning Scheme By-Law relating to Industrial Zone (Industry related purposes), and development parameters as depicted in Table 4 below.

A final Site Development Plan reflecting the development parameters will be submitted as part of the building plan process following the Municipal decision of the rezoning amendment application.

As depicted in Figure 5, the only property within the Simonsberg Park that is currently not zoned for Industrial purposes is unregistered Erf 3382, and therefore is deemed to be compatible with the surrounding zoning context.

The Development parameters as reflected in the approved Design Manual & Architectural Guidelines pertaining to unregistered Erf 3382, indicated as Erf No. 2106/1 are indicated in the table below providing context with regard to the Scheme Regulation parameters applicable to Industrial Zone erven.

## **6.2 Amendment of Simonsberg Park Design Manual & Architectural Guidelines**

Application is made for the amendment of the approved Simonsberg Park Design Manual & Architectural Guidelines attached hereto as Annexure G, in order to align the development parameters according to the Industry Zone as per Scheme Regulations as well as the alignment thereof with the existing Industrial Zone properties within Simonsberg Park as indicated in Table 3 below.

SDP DEVELOPMENT PARAMETERS FOR SIMONSBURG BUSINESS PARK										
ERF NO.	ZONING	TOTAL AREA (m²)	BUILDING HEIGHT-TOP OF ROOF R44 BUILDING LINE	MAXIMUM ROOF HEIGHT ON SIMONSBURG CRESCENT	R44 BUILDING LINE FROM RESERVE	STREET SETBACK OR BUILDING LINE	WESTERN BOUNDARY	EASTERN BOUNDARY	SOUTHERN BOUNDARY BUILDING LINE	NORTHERN BOUNDARY BUILDING LINE
2106 / 1	Business Zone II	5000	Double storey 12m	Double storey 12m	30m	8m from center			3 meter	0 meter
2106 / 2	Industrial Zone I	4904	12 m	14m	30m	8m from center			6 meter	0 meter
2106 / 3	Private Road	616	Not Applicable	Not Applicable	Not Applicable	Not Applicable			Not Applicable	Not Applicable
2107 / 1	Industrial Zone I	4542	12 m	14m	30m	8m from center			6 meter	0 meter
2107 / 2	Industrial Zone I	4703	12 m	14m	30m	8m from center			6 meter	0 meter
2107 / 3	Industrial Zone I	4845	12 m	14m	30m	8m from center			6 meter	0 meter
2107 / 4	Industrial Zone I	3104	12 m	14m	30m	8m from center			2 meter	0 meter
2107 / 5	Industrial Zone I	1740	Not Applicable	14m	Not Applicable	8m from center		0 meter	2 meter	0 meter
2107 / 6	Private Road	18	Not Applicable	Not Applicable	Not Applicable	Not Applicable			Not Applicable	Not Applicable
2108	Industrial Zone I	1185	Double storey 12m	Double storey 12m	30m	6m from center			1 meter	1 meter
2109	Industrial Zone I	717	Not Applicable	Three storey 14m	Not Applicable	6m from center	1 meter	0 meter	1 meter	1 meter
2110	Industrial Zone I	596	Not Applicable	Three storey 14m	Not Applicable	6m from center	1 meter	0 meter	1 meter	1 meter
2111	Private Road	500	Not Applicable	Not Applicable	Not Applicable	Not Applicable			Not Applicable	Not Applicable
3380	Industrial Zone I	6337	Not Applicable	15m	Not Applicable	8m from center	2 meter	0 meter	0 meter	2 meter
Rem 2112	Industrial Zone I	8425	Not Applicable	15m	Not Applicable	8m from center	2 meter	0 meter	2 meter	0 meter
2113	Industrial Zone I	4453	Not Applicable	15m	Not Applicable	8m from center	2 meter	3 meter	0 meter	2 meter
2114	Industrial Zone I	3992	Not Applicable	15m	Not Applicable	8m from center	2 meter	3 meter	0 meter	0 meter
2115	Industrial Zone I	3042	Not Applicable	15m	Not Applicable	8m from center	2 meter	3 meter	2 meter	0 meter
2116	Industrial Zone I	27718	Not Applicable	15m	Not Applicable	8m from center	2 meter	0 meter	6 meter	2 meter
2166	Private Road	5971	Not Applicable	Not Applicable	Not Applicable	Not Applicable			Not Applicable	Not Applicable
2167	Private Road	1856	Not Applicable	Not Applicable	Not Applicable	Not Applicable			Not Applicable	Not Applicable
<b>TOTAL</b>		<b>83464</b>								

**Table 3:** Extract of the Development Parameters for Simonsburg Business Park

For ease of reference the development parameters as approved in terms of the Design Manual & Architectural Guidelines are depicted in Table 3 above, which indicates the development parameters for all the properties that are included within Simonsburg Park.

Unregistered Erf 3382, is reflected (highlighted in yellow) in Table 3 above as Erf No 2106/1 (Business Zone II), that depicts a subdivided portion of the approved subdivision of Erf 2106.

The remainder of the properties reflect the Industrial Zone I allocation, with the respective development parameters applicable to each property.

This application for the amendment of the approved Design Manual & Architectural Guidelines is required in order to align the development parameters and zoning of unregistered Erf 3382 with the properties indicated in the table above accordingly and the Stellenbosch Municipality Zoning Scheme By-Law.

In this regard, Table 4 below provides for the respective development parameters relevant to the application property, and the proposed context of the amendment as indicated under the Proposed Industrial Zone column. These development parameters are indicative of the approved development parameters for Simonsburg



Park and are in accordance with, and in some instances more restrictive than the Stellenbosch Municipality Zoning Scheme By-Law.

Development Parameters	Approved Development parameters vide Design Guidelines	Zoning Scheme By-Law parameters (2019)	Proposed Industrial Zone Development Parameters (unregistered Erf 3382)
<b>Zoning</b>	Business Zone II <sup>1</sup>	Local Business Zone <sup>2</sup>	Industry
<b>Erf Size</b>	±5001m <sup>2</sup>	±5001m <sup>2</sup>	±5001m <sup>2</sup>
<b>Street building line</b>	8 metres from the centre of Simonsberg Crescent (16m)	3 metres	3 metres
<b>Southern common boundary building line [bordering erf 3964]</b>	3 metres	0 metres	0 metres
<b>Northern common boundary building line [bordering erf 2105]</b>	0 metres	3 metres	3 metres
<b>R44 building line setback</b>	30 metres	n/a	30 metres
<b>Coverage</b>	±2 000m <sup>2</sup>	75%	±3 750m <sup>2</sup>
<b>Height</b>	12 metres [double storey]. Building height – top of roof R44 building line	4 storeys	12 metres Building Height [top of roof R44 building line]
	12 metres [double storey]. Maximum roof height on Simonsberg Crescent		14 metres [Maximum Roof Height on Simonsberg Crescent]
<b>Gross leasable Area</b>	n/a	n/a	Proposed GLA = ±2205m <sup>2</sup>
<b>Parking</b>	n/a	1,5 bays/100m <sup>2</sup> GLA	±33 parking bays (1,5bays/ 100m <sup>2</sup> GLA)

Table 4: Proposed Development Parameters [unregistered Erf 3382]

- As depicted in the table above, it is proposed to align the development with the surrounding Industrial Zoned properties and in terms of the Stellenbosch Zoning Scheme parameters accordingly.
  - The proposed height restrictions, being 12metres from the R44 and 14metres from Simonsberg Crescent as well as the 30metres building offset from the

<sup>1</sup> Zoning in terms of Section 8 Zoning Scheme Regulations

<sup>2</sup> Deemed to be converted zoning in terms of Stellenbosch Municipality Zoning Scheme By-Law (2019)

- R44 are according to the conditions of Heritage Western Cape that were duly incorporated within the Design Guidelines of Simonsberg Park.
- The southern boundary line of 0 metres with Erf 3964 (Industrial Zone) as depicted in terms of the Zoning Scheme parameters.
  - The northern building line of 3 metres with Erf 2105 (Business Zone) as depicted in terms of the Zoning Scheme parameters.
- The land use proposed within is deemed to be complimenting to the existing zoning and land uses located within the Simonsberg Business Park, and would be of similar design and architectural design as the existing structures located on Erf 3964 which represents a consolidation of erven 3383, 3385 and 3386.

## **7. SPECIALIST REPORTS: FINDINGS AND RECOMMENDATIONS**

### **7.1 Civil Engineering services report**

Klomp Consult Western Cape (Pty)Ltd were requested to investigate the availability of civil engineering services (water, sewerage, stormwater, etc.) for the proposed rezoning. The engineering report covers aspects for the impact of services to amend the existing approved zoning of unregistered erf 3382 in the Simonsberg Business Park, forming part of the larger Klapmuts development. A copy is attached hereto as Annexure H.

#### **7.1.1 Water Supply**

In terms of the Engineering Services Report the average daily water demand for Erf 3382 if rezoned to Industrial purposes, together with Erf 3383 will be less than for the original proposed commercial development that was planned for the original Erf 2106, pre- subdivision thereof. Water usage will be metered accordingly.

#### **7.1.2 Sewerage**

It is deemed that the daily sewage flow for Erf 3382, together with the already rezoned Erf 3383, will be less than for the original proposed commercial

development that was planned for the original erf 2106, pre- subdivision thereof. The erf is fully serviced and will link to the existing sewer pipeline

### **7.1.3 Storm Water**

Stormwater are depicted in the attached Engineering Service Report, indicating that the property is serviced with a stormwater connection to the existing stormwater system

### **7.1.4 Electricity**

The Engineering services report provides for a analysis of the electrical infrastructure that was constructed and upgraded regarding the original development of Erf 1336, as follow:

- Construction of phase 1.1L 2MVA Groenfontein substation between erven 2117 and 2118 opposite the Primary School;
- Construction of further 2MVA capacity for the Groenfontein substation (4 MVA total capacity in 2015) substation;
- Construction of (2x) link 11KV lines between the Regional Klapmuts station and the Groenfontein substation in 2015;
- Construction of (2x) link 11KV link lines from the Regional Klapmuts substation to the Groenfontein substation and then alongside the Groenfontein road to the low-cost housing scheme area next to the proposed development.
- Construction of further link by Eskom and Simonsberg to close link from Medicine to R44 supply.

The Groenfontein substation has been upgraded to 4MVA by Simonsberg. The reserve electrical capacity from the Groenfontein substation upgraded for the Phase 1 and Phase 2 proposed development of Erf 13336 development has sufficient capacity for the existing 4MVA available from the existing substation.

The Engineering Services Report concludes that the change of zoning has a lower impact on the sewage flow and on water demand.



The reserve electrical capacity from the Groenfontein substation upgraded for the proposed development as the additional link between the Medicine mini-sub installed by ESKOM to supply the Simonsberg Erf 1336 development is sufficient.

## **7.2 Transport Impact Assessment**

DECA Consulting Engineers were requested to prepare a traffic statement for the proposed rezoning of unregistered Erf 3382. According to the traffic statement the proposed industrial land use will generate fewer trips than the original approved commercial land use, and that it could be concluded that the traffic impact of the application will be lower than the original approved proposal, and that no additional road or transport infrastructure will be required to accommodate the proposal (a copy is attached hereto as Annexure I).

## **8. MOTIVATION AND BURDEN OF PROOF**

### **8.1 Need**

The application for the rezoning of unregistered Erf 3382 is prompted by the need for additional industrial related uses within the area that is compatible with the existing Industrial Zone within the Simonsberg Park. The design ethic of Simonsberg Park is that of an industrial business estate within the broader Klapmuts development node and which intention is to form a distinctive node and landmark within the area.

Accordingly, the proposed rezoning is considered to be consistent and compatible with the existing and future planned surrounding development context.

### **8.2 Desirability**

The proposed rezoning is duly aligned with the provisions / land use designations as contained in the Stellenbosch approved 2019 MSDF.

The proposed rezoning is considered to be compatible with the existing surrounding developed land use.

The proposed rezoning of erf 3382 will have a lower impact on engineering services than before, and could therefore be accommodated from an engineering services perspective.

There is no indication / anticipation based on the available information that the proposed rezoning will negatively impact on the safety, health and wellbeing of the surrounding community.

The potential transport impact assessment arising from the proposed rezoning has been duly assessed and it is indicated that the proposed rezoning can be duly accommodated from a transport impact perspective.

### **8.3 Compliance with Stellenbosch Municipality's Spatial Development Framework**

The application property is located within the approved urban edge of Klapmuts, as identified by the Stellenbosch Municipality's Spatial Development Framework (MSDF- 11 November 2019), and duly indicated within as a site with potential for local economic diversification.

In terms of the Greater Cape Metro Regional Spatial Implementation Framework (RSIF, 2019) both Stellenbosch and Drakenstein Municipalities have identified Klapmuts as a prospective sub-regional urban node along the N1. Residential and industrial development opportunities have been identified north and south of the N1.

In this regard, Klapmuts has been identified as a Catalytic Initiative in terms of the MSDF that is indicative of the importance that Klapmuts offers the Stellenbosch Municipal area from a space economy perspective, and the importance thereof as a regional economic node.

## 9. CONCLUSION

The subject property is located in an area characterised by Industrial development, within Simonsberg Park, that is designed as an industrial park within the greater Klapmuts development node.

The design ethic of the Simonsberg Park is such that the respective structures within forms and reinforces an overall identity with regard to architecture, colour, material, texture and scale. This is controlled by means of the design guidelines, which intention is to optimise flexibility while remaining sensitive to the character of the surrounding landscape.

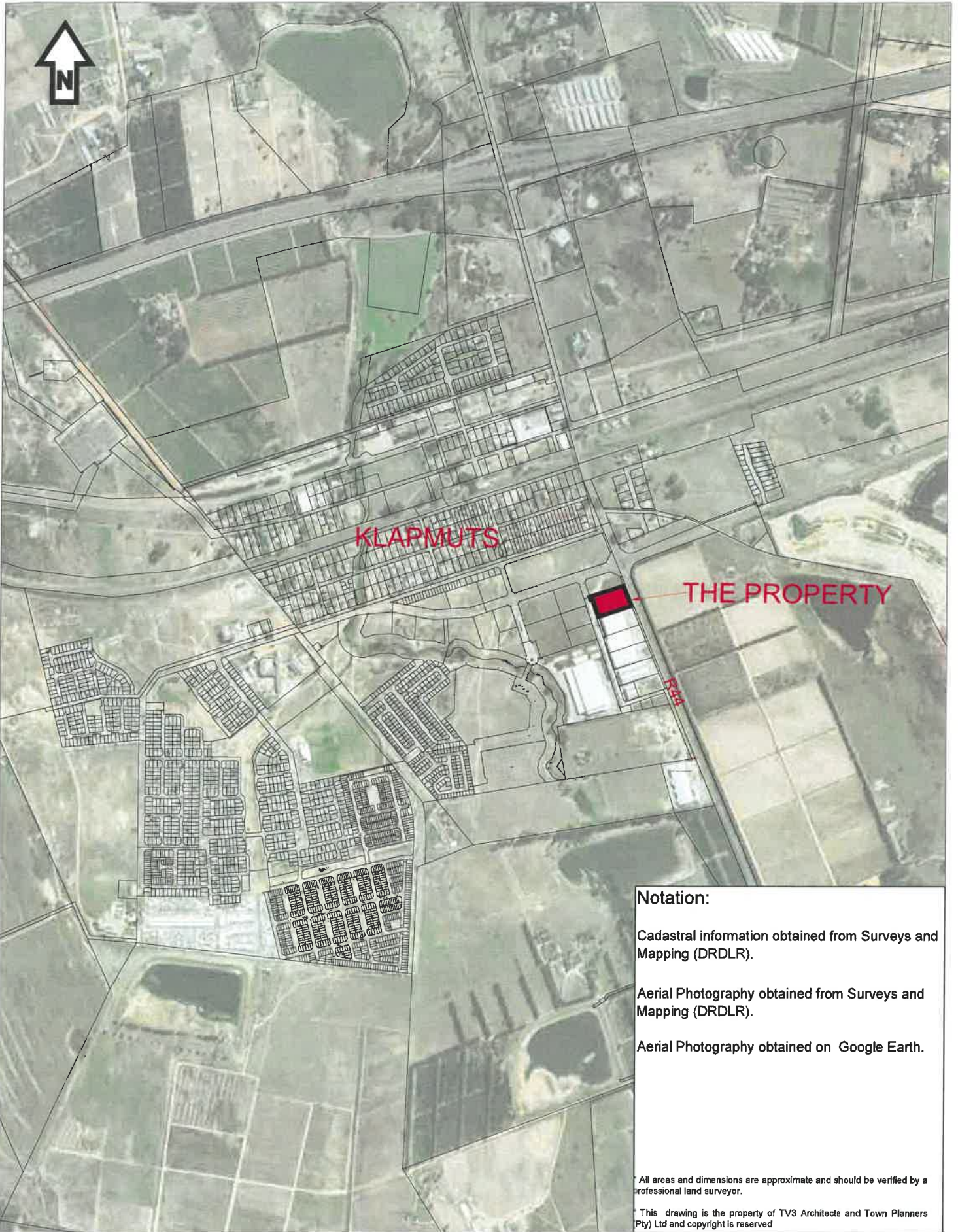
It is deemed that the proposed rezoning will have a positive impact on the local economy, and provide economic opportunity and diversification, insofar as to enhance the sustainability and economic prosperity for the Klapmuts area.

In conclusion it could be seen that the proposed rezoning and amendment of the application property as contemplated above is deemed to be compatible with the existing development approval of Erf 1336.

In view of the above motivating considerations the application is deemed to be desirable and can accordingly be considered for approval by your Council.

**ANNEXURE E**

**PLANS**



**Notation:**

Cadastral information obtained from Surveys and Mapping (DRDLR).

Aerial Photography obtained from Surveys and Mapping (DRDLR).

Aerial Photography obtained on Google Earth.

All areas and dimensions are approximate and should be verified by a professional land surveyor.

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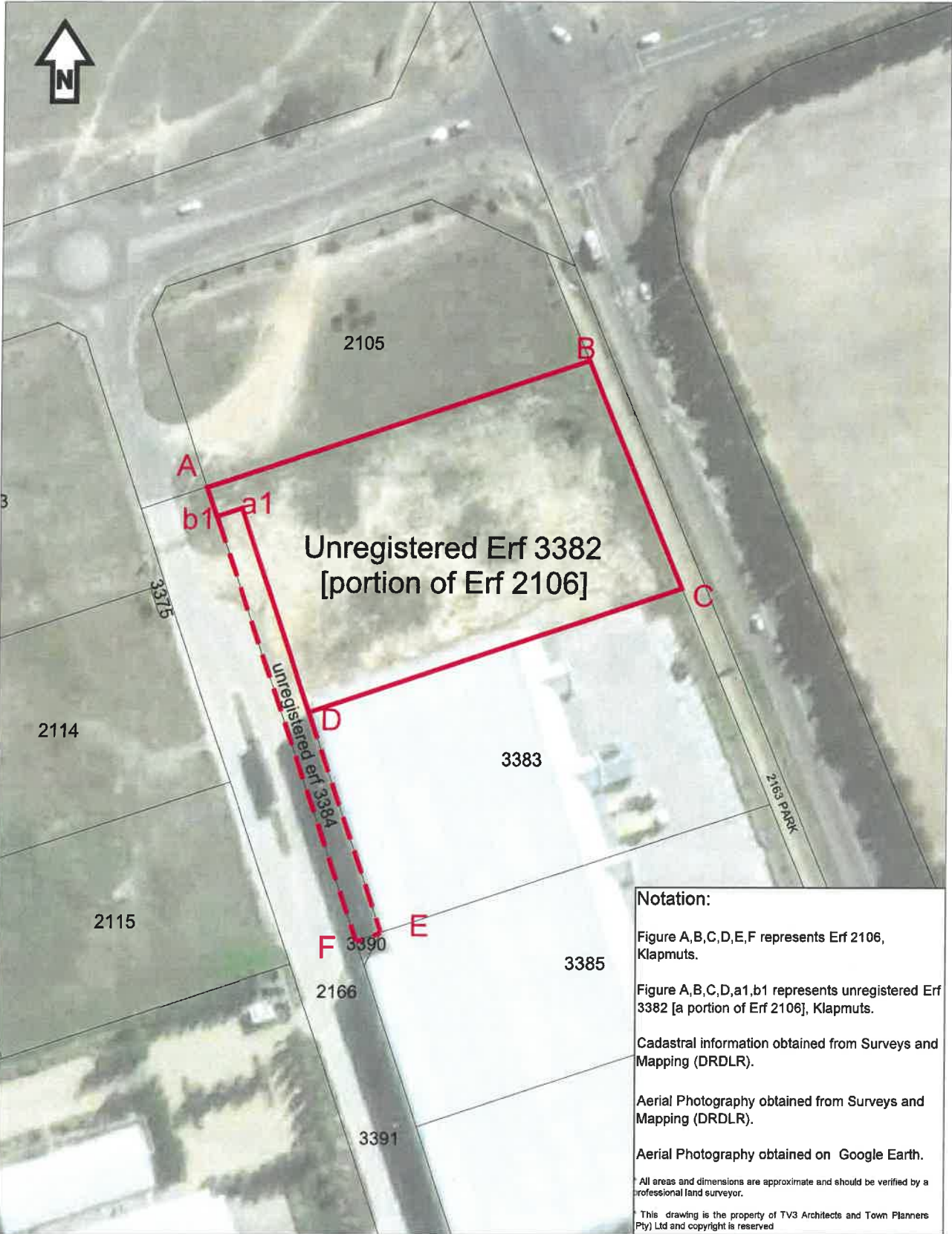
**Unregistered Erf 3382,  
Klapmuts**

Property Description:

**Unregistered Erf 3382, Klapmuts**

Drawing:		Plan no.:
Broad Locality		1
Date:	Scale:	nts
21/05/2021		
Project no.:	Drawn:	Checked:
P3693	AP	####





**Notation:**

Figure A,B,C,D,E,F represents Erf 2106, Klapmuts.

Figure A,B,C,D,a1,b1 represents unregistered Erf 3382 [a portion of Erf 2106], Klapmuts.

Cadastral information obtained from Surveys and Mapping (DRDLR).

Aerial Photography obtained from Surveys and Mapping (DRDLR).

Aerial Photography obtained on Google Earth.

\* All areas and dimensions are approximate and should be verified by a professional land surveyor.

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**Rezoning, Unregistered Erf 3382, Klapmuts**

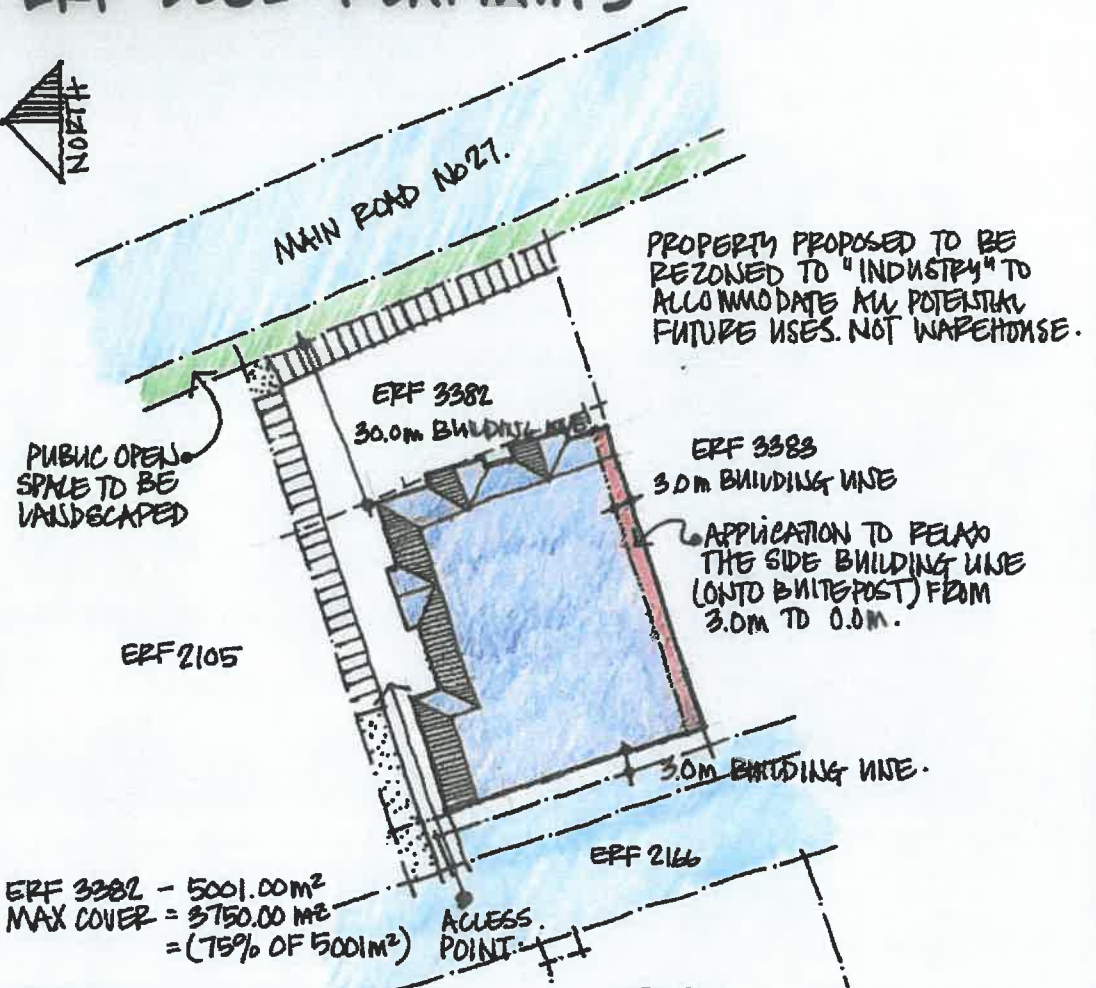
Property Description:  
**Unregistered Erf 3382, Klapmuts**

Drawing:		Plan no.:	
Locality		2	
Date:	Scale:		
21/05/2021	1:###		
Project no.:	Drawn:	Checked:	
#####	AP	#####	

**ANNEXURE F**

**CONCEPTUAL ARCHITECTURAL LAYOUT**

# CONCEPTUAL LAYOUT ERF 3382 - KLAPMITS



ERF 3382 - 5001.00m<sup>2</sup>  
 MAX COVER = 3750.00 m<sup>2</sup>  
 = (75% OF 5001m<sup>2</sup>)

PROPOSAL:  
 INDUSTRIAL BUILDING = ± 2450m<sup>2</sup>  
 PROPOSED GUA (@ 90.00%) = ± 2205 m<sup>2</sup>  
 PARKING (@ 1.5 BAYS/100m<sup>2</sup> GUA) = 33.00 PARKING BAYS  
 LOADING BAYS (@ 1.0 BAY/200m<sup>2</sup> GUA) = 5.00 LOADING BAYS



## SITE LAYOUT DIAGRAM



**ANNEXURE G**

**SIMONSBERG PARK:  
APPROVED DESIGN MANUAL  
&  
ARCHITECTURAL GUIDELINES**



BOOGERTMAN  
+ PARTNERS  
ARCHITECTS

# SIMONSBERG PARK: DEVELOPMENT OF ERF 1336 KLAPMUTS



**DESIGN MANUAL & ARCHITECTURAL GUIDELINES**

prepared

by

**BOOGERTMAN + PARTNERS ARCHITECTS**

October 2013 (First Revision)  
December 2014 (Second Revision)

## **INDEX**

- 1.0 THE DESIGN ETHIC OF SIMONSBERG BUSINESS PARK DEVELOPMENT**
- 2.0 DEVELOPMENT RIGHTS**
- 3.0 THE PLAN REVIEW PROCESS**
- 4.0 SITEWORKS & SITE LAYOUT**
- 5.0 PARKING**
- 6.0 FENCING & SECURITY**
- 7.0 ARCHITECTURE**
- 8.0 LANDSCAPING**
- 9.0 SIGNAGE, GRAPHICS & LIGHTING**
- 10.0 DUE PERFORMANCE**
- 11.0 ARCHITECTURAL GUIDELINES & MATERIALS**
- 12.0 PICTORIAL GUIDELINES**
- 13.0 SITE DEVELOPMENT PLAN AND SITE LAYOUT**
- 14.0 LANDSCAPING GUIDELINES**

## **1.0 THE DESIGN ETHIC OF SIMONSBERG PARK.**

- 1.1 The Simonsberg Park is an industrial business estate within the Klipmuts development node and is intended to form a distinctive node and landmark within this zone. The design guideline is intended to reinforce these qualities by:
  - 1.1.1 consolidating the area as an easily recognised node having a sense of place and memorability
  - 1.1.2 establishing a superior quality of environment through a high standard of landscaping of the public environment and buildings governed by a simple set of development parameters and guidelines
  - 1.1.3 carrying through a simple code of colours and materials that creates an overall integrity
  - 1.1.4 undertaking all development with attention to quality through a simple plan review process.
- 1.2 It is essential to achieve an identity for the area as a whole. The group form of the architecture in terms of colour, material, texture, scale, signage and lighting, must therefore reinforce an overall identity.
- 1.3 The Sensitive nature of the site at an entrance to Stellenbosch requires a consistent architectural style and use of building materials throughout the development: the intention of the guideline is to optimise flexibility while remaining sensitive to the character of the surrounding landscape.
- 1.4 The architectural language is a response to the location and surrounding and can be broadly described as Cape Agricultural.
- 1.5 It is therefore the intention to promote discipline and integrity of development through the control of form, roof form and scale, parking and carports, screening of yards and storage, the use of materials, and, most importantly, colour, signage and lighting. The colour code for all buildings is predominantly in the off-white, earth, light grey, cool grey and medium grey range of colours with proportions of these being required as primary and secondary colours. Accent colours to specific areas like entries and features (picking up on the corporate colours) are encouraged throughout. De Hoop red clay brick pavers and charcoal cobbles are preferred throughout for accent features.

## **2.0 DEVELOPMENT RIGHTS**

- 2.1 See annexure A:
  - 2.1.2 In order to optimize the manner in which the buildings on the estate use their individual locations it is a requirement that the architect employed by the erf owner visit the site, familiarize themselves with the site constraints and opportunities vis a vis (among others but not limited to) access, existing infrastructure, topography, prevailing weather conditions, summer and winter sun angles, distant views and adjacent views and view corridors. It is also a requirement that a sketch illustrating the analysis of the site and the predominant building responses to the specific site conditions accompany the final building plan submission to illustrate this process. This sketch may be rough but should provide sufficient information to clearly illustrate how the building submission responds to the specific site and may be accompanied by photographs, charts or any other relevant information which informed the design. (rule)

General Notes:

- \* The buildings/ masses are to be positioned to create the outdoor spaces and visual corridors and features as per the overall SDP.
- \* The typical cross section for determining the building mass.

Special Conditions: Site Development and Landscape Plans are required to be approved prior to building plans.

- 2.2 Site owners are obliged to be members of the Simonsberg Business Park Property Owners Association .
- 2.3 Passive stormwater management principles are encouraged in leading stormwater either into the piped stormwater system. These principles should allow for stormwater flows to be minimised and attenuated on-site for as long as possible within driveway and parking areas, paths, decks, terraces, balconies and hard or soft landscaped areas before being discharged either into the piped system or adjacent open spaces. The impact of discharge into adjacent open spaces is also to be minimised and properly engineered.

### **3.0 THE PLAN REVIEW PROCESS**

3.1 The Simonsberg Park Property Owners POA ( The POA ) is represented by its Design Review Committee (the Committee).

3.2 The plan review process is as follows:

- 3.2.1 Presentation of a conceptual design together with the guideline checklist and scrutiny fee of R5000.00 excl VAT.and a site development plan prepared by a SACAP registered architect – (PrArch) If changes are required the POA may request that the submission be tabled again.
- 3.2.2 Where the concept design is approved the POA may authorise the controlling architect to endorse council submission drawing prepared in accordance with the approved sketch plan.
- 3.2.3 Rider plans or amendments to approved submissions are to be submitted as for new submissions and will attract a fee of R2500.00 excl VAT.
- 3.2.4 After inspection of the completed development including installation of landscaping, signage and lighting, and provided that this is in accordance with the approved drawings, a certificate of "Final Approval" will be issued by the POA and the deposit refunded.
- 3.2.5 No POA approval shall imply local authority approval which remains the responsibility of the designer/applicant.

### **3.3 Site Development plan requirements**

- 3.3.1 the envelope intended for accommodating the office component of the development
- 3.3.2 the envelope intended for accommodating the warehouse component of the development
- 3.3.3 the zones intended for accommodating the loading, offloading, car parking and service yard components of the development
- 3.3.4 the points at which it is intended that entrance for various classes of traffic be taken to each site

- 3.3.5 any non-user servitudes that may apply to individual sites
- 3.3.6 landscaping zones to be planted by individual developers and any Estate landscaping that is to be augmented by developers
- 3.3.7 building lines, build-to lines and points of architectural accentuation that may be required
- 3.3.8 All elevations complete with material / finishes specification and colours
- 3.3.9 Countour plan of existing site and all details of finished level.
- 3.3.10 Full details of signage proposal

#### **4.0 SITE WORKS AND SITE LAYOUT**

- 4.1 While earth platforming is necessary in respect of individual sites, this is to be undertaken within the following guidelines:
  - 4.1.1 Extensive earth retaining structures are discouraged and should be ameliorated into several smaller changes in level.
  - 4.1.2 Earth retaining systems such as Terraforce ( or similar approved ) are permitted, together with reinforced concrete or clay masonry retaining walls, although these must be amply planted to allow for the substantial screening of such systems by sustainable vegetation.
  - 4.1.3 No retaining structure or embankment may be constructed on a site so as, in the Committee's view, to create an injurious condition to an adjacent site.
- 4.2 No open-air storage nor outdoor working areas other than service yards are permitted, providing that the committee may waive this requirement in cases of individual merit. Any storage of goods in the form of containers, crates, boxes, palettes or stacking is to take place within a suitably screened and approved area and may not exceed a height of 4m provided that the Committee may consent to a waiver in cases of individual merit. Outdoor storage or yard areas whether covered or uncovered, are to comply with the following:
  - 4.2.1 the area designated for such use may not be visible from any adjacent roads
  - 4.2.2 the area must be suitably screened from adjacent developments where there is, in the committee's view, the threat of compromising the outlook of an adjacent development
  - 4.2.3 any structure erected to provide cover to outdoor storage areas is to be of a substantial nature and in keeping with the overall integrity of the development
  - 4.2.4 any outdoor storage area must be suitably screened with well-lawned earth mounds and swales, planting and/or screen walls designed in the ethic of the overall development.

#### **5.0 PARKING**

- 5.1 Embayment parking provided by the land owner is to be sympathetic to the electrical lightpole layout.
- 5.2 Parking is to be provided in accordance with the provisions of the Applicable zoning scheme.
- 5.2 All shadeport structures are to be approved by the committee. Where the committee is satisfied that the scale and intensity of tree planting within parking areas warrants it, the

requirements for covered parking may be reduced or waived at the discretion of the committee.

- 5.3 All uncovered surface parking areas for cars are encouraged to be constructed of high quality tarmac or concrete brick pavers. All driveways, pavements and walkways are encouraged to be constructed from light grey or earth coloured concrete interlocking pavers or De Hoop red clay pavers with edgings. Where such driveways and parking areas are also required to cope with heavy-duty vehicles, concrete paving blocks, tarmac or interlocking blocks are permitted.
- 5.4 All trucking areas and areas used for loading and off-loading purposes are to be suitably screened from adjacent developments and roads constructed of suitably durable and easily maintained materials such as concrete block, concrete pavers or tarmac with concrete edge restraints.

## **6.0 FENCING AND SECURITY**

- 6.1 The intention is to use generally walling as per the drawing guidelines and lightweight palisade fencing systems in the colour range of dove grey. Where walls are to be used along boundaries, these may not be of a precast system variety but must be plastered or scratch plastered block or brick rendered off-white or grey incorporating with wall elements and piers. See attached detail of boundary wall detailing to the entry road areas, boundaries and pergola elements. Full height masonry walls are to be built around all yard and delivery/receiving areas.6.2
- 6.2 Additional security related to the perimeter fence, if desired by individual developers, is to be separate from the perimeter fence and should observe the following guidelines:
  - 6.2.1 No barbed nor razor wire is permitted on road frontages or in public view along other boundaries.
  - 6.2.2 Security gates to all front doors are to be approved by the Committee.
  - 6.2.3 solid sections of the boundary treatment should not exceed 2.4m high at any point relative to the neighbouring finished ground level and should not exceed lengths of 15m for any single section
  - 6.2.4 the height of the general side-boundary treatment should not exceed 2.5m at any point relative to the neighbouring finished ground level
  - 6.2.5 barbed and razor wire is not allowed.
  - 6.2.6 electrification above boundary walls or fences should consist of no more than 3 horizontal electric strands.
  - 6.2.7 all boundary treatment is to be suitably landscaped as an integral part of the overall site's landscape design.
- 6.3 All entrance gates, security gates, gatehouses and arrangements for security personnel dealing with the security of individual sites are to be designed as integral parts of the site's development and approved during "Plan approval" by the Committee.

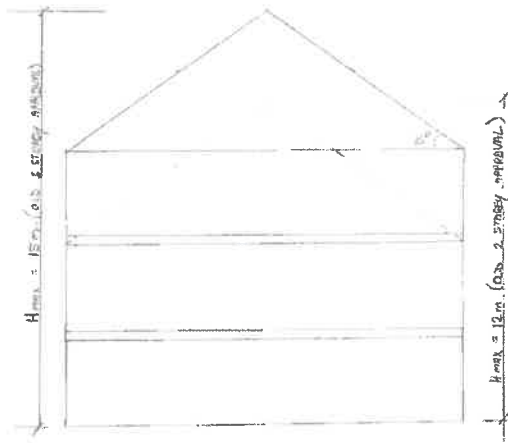
## **7.0 ARCHITECTURE**

- 7.1 The ethic of a "colour-coded architecture" applies to all buildings within the Business Park. Primary, secondary and accent colours set the basic colour code for all architecture. The primary colour defines either a "off-white/earth colour" architecture, broadly defined as follows:

- 7.1.1 "Off-white/earth" architecture is a building or complex of buildings rendered in the colour range of off-white and tones of earth for example stone and sand (including electro-polished stainless steel, natural aluminium and/or tones of grey painted surfaces and galvanised sheeting or steel members).
- 7.2 In respect of more detailed attention to the colour code: All percentages of colour are to the discretion of the Committee.
- 7.2.5 All sheeted roofs are to be in a tone of dove grey, silver or very light grey colouring by virtue of the reduced heat absorption associated with these.
- 7.2.6 Accent or corporate colours may only be approved as a waiver by the committee where the committee deems appropriate. This applies to both colour and extent.
- 7.2.7 Smooth DeHoop red clay (or similar approved) are the permitted facebricks. Where the local plaster construction is used, these can be plastered/scratch plastered and painted in keeping with the colour code adopted for the development. Where concrete block or brick products are to remain unplastered, they must be rendered as high-quality, finished and suitably pointed or jointed elevations and finished to fit into the colour code requirements of the building.
- 7.3 The roof is a dominant element in the architecture associated with the Simonsberg Park Development and the use of roof forms and elements as per the attached pictorial is encouraged. Where a roof is to be substantially of a low double or mono pitch, the maximum height of a roof structure may not exceed 12m on the R 44 and not more than 15 m on the roofs that do not border the R 44. See attached typical section
- 7.4 The scale of the architectural elements associated with a business park requires particular attention and must adhere to NB Regulations:
- **height** – as far as possible the maximum heights permitted are encouraged in respect of the front of building component of the development in order to bring the height into scale with the remainder of the development. The warehouse component of a development at eaves and pitch of the roof must adhere to the attached drawing.
  - **expansE** – the horizontal extent of the building component of the development should be consciously modulated to de-emphasise the scale of elements
  - **meeting the ground** – it is important to address the way in which the ground plane is designed as a conscious aspect of the development's architecture
  - **meeting the sky** – the tendency to blur the distinction between façade and roof element requires that particular attention be paid to the architecture of the roof of the back of house component
  - **attention to scale** – under-scaled or non-existent fenestration in facades not required to provide interior natural light means that many facades tend to be bland, featureless planes and need to be addressed as a conscious design concern
  - **roofs designed to provide top-lighting** – the roofscape derived from top-lighting concerns has the ability to bring dynamic possibilities to the architecture of components and needs careful attention in the overall design of the development
  - **careful integration of mechanical plant** – mechanical ventilation is an important element and the plant associated with this must be considered as a conscious aspect of the design
- **airconditioning units screening** – all externally mounted ac units and condensers are to be screened by means of louvers to the satisfaction and discretion of the Committee.

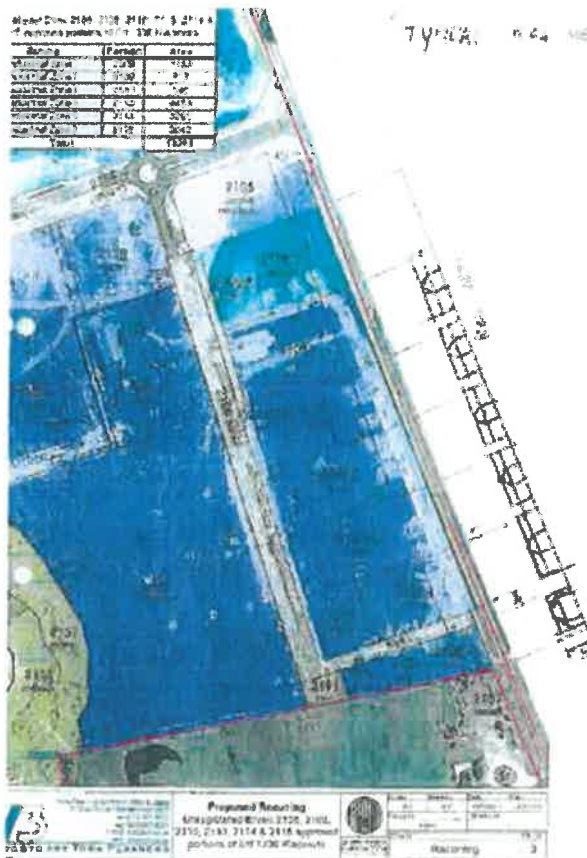


- MAXIMUM HEIGHT FOR BUILDINGS

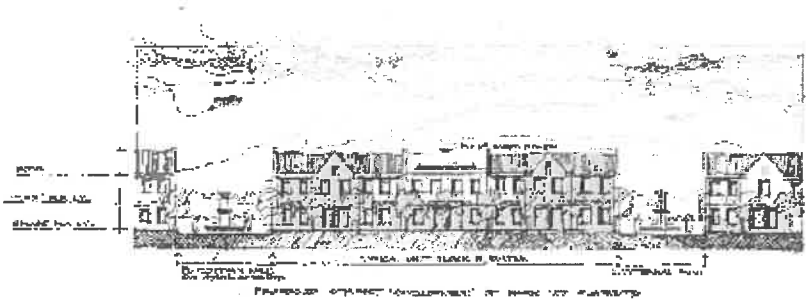


HEIGHT FOR BUILDINGS  
(AS APPROVED FIRST LPO + ROB)

TYPICAL VIEW FROM R44



HISTORICAL VIEW FROM R44/ HISTORICAL SECTIONAL ELEVATION



Elevation view from the street



Sectional Elevation view from the R44 to the service street

## **8.0 LANDSCAPING**

8.1 Landscape architect guidelines to be adhered to.

## **9.0 SIGNAGE, GRAPHICS, LIGHTING AND MECHANICAL PLANT**

9.1 A major reason for purchasing a business site is to capitalise on exposure. It is therefore important that companies be permitted to display signage on those facades facing surrounding roads, that signage does not become cluttered and that size be limited within reason, to prevent signage "out-shouting" other signs. All signage on the R44 road on buildings that are situated on the required 30 meters setback must have signage that complies with municipal bylaws.

9.2 In this regard, signage must be governed by the following guidelines:

9.2.1 no sign may appear on a building or any component thereof other than as an integral part of the building's design and each building or complex of buildings must be designed with signage as a conscious aspect and a policy governing signage into the future for inclusion in lease documentation must accompany the approved design

9.2.2 only the name of the company having naming rights to the building may display its name on the building's façade

9.2.3 no sign may project above the point at which the façade of a building meets the roof of the building (being that point where the vertical face of any elevation transitions to constitute the roofing element of the building). No signage may be painted onto the roof of a building nor erected on any roof other than being an integral part of the design of the roof.

9.2.4 no characters nor items of a sign may exceed 1.2m in height and the sign may not exceed 10m in length provided that the Committee may, in the individual circumstances of a development, decide that such size may be inappropriate and reduce such sizing parameters

9.2.5 where, in cases of individual merit and deemed appropriate by the Committee, approval of more than one sign on any one elevation is possible.

9.2.6 the favoured fixing method of signs discourages backing boards affixed to a building and prohibits signwriting directly onto the façade, roof or any other surface of a building

9.2.7 the favoured fixing method of a sign, whether comprising individual cut-out letters or a backing board, encourages each character of a sign or its backing board to be pin mounted at least 20mm from the surface of the façade

9.2.8 where backing boards are to be used as the basis of a sign, such boards are to be designed as integral parts of the building's architecture or individually detailed and framed so as to create an elaborate signboard affixed to the building

9.2.9 lighting of signage, unless designed as a conscious and integral part of the building and the sign's design, is to be in the form of concealed lighting only and may not shine directly through the material forming the sign

9.2.10 no flashing nor moving components on signage is permitted

9.2.11 the signage on buildings to be approved by the Committee

- 9.2.12 materials used in the manufacture of signs are to be of high quality, matt finish and of enduring materials and colourings
- 9.3 All mechanical plant, masts, and antennae are to be designed and placed as an integral part of the overall development of a site and no such plant or services are to be surface mounted on the outside facades of a building other than as a conscious expression of the building's architecture. Airconditioning equipment is to be screened to the Committees's approval.
- 9.4 Lighting, whether for architectural, functional or security purposes is to be discreet with an emphasis on uplighting in a way that does not contribute to light pollution of the sky nor overspill into the adjacent natural habitats and disturb the light qualities of the natural habitat.
- 9.5 Floodlighting is discouraged and all lighting should be considered in terms of the extent to which it contributes to surveillance and security, promotes the ambiance of the park as a whole, accentuates individual developments without 'out-shouting' the neighbouring developments and does not cause glare onto conservation areas, the highway, main roads and into the sky. Floodlighting is to the Committees approval.
- 10.0 DUE PERFORMANCE**
- 10.1 It is in the interests of the POA and tenants within individual buildings, that the conduct and performance of on-site contractors are exemplary throughout the development. To this end it is required that certain matters related to tendering and construction procedures come before the Committee.
- 10.2 In all instances a building deposit is to be lodged by the developer with the POA, in the form of a bank guarantee, to cover damages to the public and semi-public domain and/or failure to comply with due performance criteria, late finish or failure to complete any aspect of the development satisfactorily. This sum has currently been set at R30 000.00 or other amount to be determined by the POA.
- 10.3 Prior to commencing on site, all contractors are to furnish to the POA, for approval of the Committee, full particulars of their intended site establishment, arrangements for contractors entrances, materials and plant storage, fencing details, site office arrangements, security of the site and ensuring security for adjacent sites, and site management procedures.
- 10.4 As contractors proceed on-site they are to furnish to the POA updated copies of work programmes and a receipt for the deposit as well as sub-contractors responsibilities to enable the POA to monitor progress and report back to the Committee.
- 10.5 On completion of the development, the Committee will, if satisfied, issue a certificate of "Final Development Approval" in respect of all aspects of the development of the site. Such certificate of Final Development Approval is a pre-requisite for official hand-over and the repayment of the building deposit noted in Point 10.2 above or the cancellation of the guarantee that was lodged. This certificate will be issued once the POA has signed off the issue of development certificate.

**Note:** Plan Approval by the Committee constitutes approval of plans only in order to commence local authority planning application. Final Development Approval will only be issued after approval of the installation of landscaping, signage and lighting to the satisfaction of the Committee. Unless Final Development Approval is granted, in writing, the deposit or guarantee will not be refunded and the Development will be considered "incomplete" in terms of the Constitution of the POA.

## **11.0 ARCHITECTURAL GUIDELINES AND MATERIALS LIST.**

### **11.1 ROOFS**

#### **11.1.1 Form:**

- Saw tooth and pitched roofs are encouraged.
- Double pitch roofs up to 30 degrees max will be allowed.
- Verandah, canopy type or lean-to type roofs with a maximum width of 10m will be allowed as a detail element but cannot be enclosed. All to the Committees approval.
- Flat concrete roofs with pebbles will be allowed as secondary roof for certain areas, but not more than 25% of total floor area.
- No vertical cladding of any sort will be allowed on elevations facing roadways or greenspaces.
- Slow curved roof allowed on Erf 2116 as well as a height of 15 meters for the roof pitch.

#### **11.1.2 Material:**

- Roof material must be non-reflective.
- Roof material profiled precoloured metal roof sheet
- Roofs must be in sheet profiles: corrugated, IBR, Saflok, Kliplok.

#### **11.1.3 Colour:**

- Only dove grey will be allowed
- Gutters to match colour of roof. GMS gutters and downpipes can be utilised.

#### **11.1.4 Roof Furniture:**

- Roof lights, ventilators and extractors must be integrated in the design of the structure and match the colour of the roof finish.

#### **11.1.5 Exclusions:**

- No slow curved roofs are allowed.
- No fibre cement roofing.
- No reflective materials
- No tiled roofs are allowed.

### **11.2 FACADES AND WALLS:**

#### **11.2.1 Materials:**

- External walls to be plastered and painted or De hoop red clay ( or similar approved by the committee ) brick. Natural stone cladding to walls is encouraged.
- Where vertical cladding is allowed it must be in the same material and colour as the roof. No vertical cladding of any sort will be allowed on elevations facing roadways or green spaces.
- Plastered details to be provided to all windows and doors on street elevations and to be painted same colour as walls. Depending on the design alternative details can be provided but must be submitted for approval..
- Natural stone cladding will be allowed – up to 20% of facade. Natural stone gabion walls are encouraged.
- Natural tile (sandstone or earth coloured slate) cladding will be allowed – must be submitted for approval. No diagonal tiling will be allowed.
- Nutec “handyplanks” or shiplapped timber boarding may be used as a design detail only. Colour must match window frames or wall colour. Sketch plan design must be submitted for approval.

### **11.2.2 Colours:**

- Walls and plastered details to be one colour only:
- Face brick: Corobrick red smooth clay de hoop face brick as detail elements only.
- Natural stone, earth and slate colour

### **11.2.3 Exclusions:**

- No shiny, metallic reflective surfaces or reflective type glass.
- No other colours than mentioned above.
- No multicoloured face brick to be used – one colour and texture only
- No exposed concrete, block work (bagged or painted) or raw block work or other face bricks except those mentioned above are allowed.
- No imitation stone or tile claddings will be allowed.

## **11.3 WINDOWS AND DOORS:**

### **11.3.1 Form:**

- Must be vertical (ie height exceeds width) or square proportions
- Windows and doors must line up on elevations to form a unit.
- Windows used in a series behind verandahs or pergolas may form larger openings.
- Entrance doors must be recessed a minimum of 800mm on plan or provided with veranda or pergola detail.

### **11.3.2 Materials:**

- Natural anodized aluminium or powder coated aluminium.
- Galvanized roller shutter doors – powder coated to match windows – factory finished in colour.
- Pre-cast concrete window and door frames (“win block” type excluded)
- No external windows or doors to be in natural timber finish. Fire escape doors and other doors to match colour of building or window frames.

### **11.3.3 Colours:**

- Dove grey or light grey anodized aluminium
- Powder coated aluminium in dove grey or white only.
- All timber doors and roller shutter doors to be finished to match window colours or painted finish of building.

### **11.3.4 Exclusions:**

- No small pane cottage window frames.
- Timber windows are not allowed.
- No glass bricks.
- No “WINBLOCK TYPE” concrete window frames will be permitted.
- No external burglar proofing will be allowed. Security gates to front doors are all to the Committee’s approval.

## **11.4 OUTBUILDINGS, SCREENING:**

### **11.4.1 Visual:**

- Outbuildings such as refuse enclosures and guardhouses must be compatible in style and material to main building.
- All rear yard and side yard loading and refuse areas shall be screened with walls all to the Committee’s approval in materials to match the building.
- No exposed/visible services areas will be allowed on any street elevation.

- **Other boundary walls:** Boundary walls on street elevations must be plastered and painted built walling or palisade fencing. 350x350 columns facing the street must be provided at 5.0m centres. See attached detail dwg.

#### **11.4.2 Exclusions:**

- No precast (vibacrete type or similar) walling will be allowed.
- No bagged boundary or yard walls to be visible from street.
- No razor or barbed wire fencing is allowed.

### **11.5 SERVICING:**

#### **11.5.1 Services:**

- No services to be visible on any street elevations or residential properties. Plumbing and rainwater down pipes to be integrated into structural design.

#### **11.5.2 Antennae:**

- No radio or television antennae or other similar equipment shall be located on the roof or street elevation of any building. Such equipment shall be located in the side or rear yard area.

#### **11.5.3 Signage:**

- All signage will comply with the Signage Guidelines and are to be submitted for approval.
- No billboard or third party signage will be permitted.
- Only traffic signs will be permitted on the road verge areas.

#### **11.5.4 Local Authority requirements:**

- All the above to comply with local authority requirements.

### **11.6 Parking & Road reserve treatment**

#### **11.6.1 Parking Bays**

- 1.0m Wide pavement to be concrete interlocking pavers in light grey or earth colour. Rest of road reserve to be landscaped – minimum 1x tree in 50kg bags to be planted per 2 parking bays. An engineers certificate shall be required, certifying that the parking has been constructed in accordance with the requirements of the council.

#### **11.6.2 Loading Bays**

- loading bays to be fully descriptive and dimensioned and indicated as such on the site development plan of individual sites. All loading bays to conform to NBR.

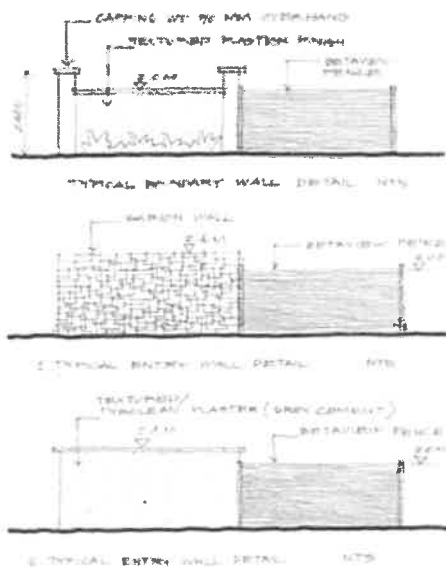
## 12.0 PICTORIAL GUIDELINES

### 12.1. Heritage Western Cape proposals and conditions

Heritage Western Cape commented in their report of June 2007 that the development proposals be approved and that the following conditions be imposed:

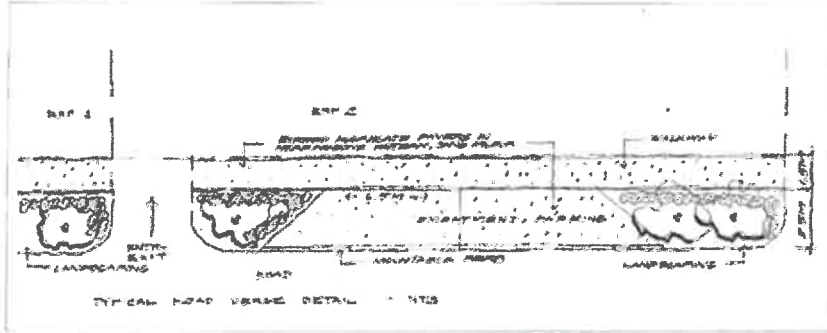
1. A set back line of a minimum of 30m be established from the R44.(Comment 1 : Was done as per LG plan)
2. A landscaping strip of a minimum of 5 m be established along the R44. (Comment 2 : Was done as per LG plan)
3. The edge of boundary treatment be visually permeable along the length.(Comment 3 : Betafence alongside R44)
4. The height of buildings on erven facing the R44 should not exceed two storeys.Buildings along this edge should be fragmented in form.(Comment 4 : Height limit = 12 m)
5. The height limit for the development (Comment 5: Area of 39 Ha) as a whole should not exceed two storeys. However,to enable a fragmented skyline three storeys should be permitted over a maximum of 35% of the site. (Comment 6 : Area of 13.65 Ha)  
(Comment 6 : In the final approved Lupo Approval as well as Environmental Authorisation buildings of 4 storeys was allowed in the block where erf 2113 is situated to the west of Simonsberg Crescent)  
(Comment 7 : The buildings on erf 2106 and 2107 on the eastern side of Simonsberg Crescent was also 3 storey buildings - Max roof height limit = 14 m )
6. The proposed parking area between the R44 and the retail strip should be carefully landscaped. Belts of trees should be used to compartmentalize the area. Low-level lighting should be used. Signage should be incorporated as part of the architecture. Freestanding advertising signs or third party advertising should be avoided.
7. A recessive form of architecture should be encouraged. The slavish replication of "Cape Dutch" architectural forms should be avoided. Colours should not be predominantly white but sandy or earth cloured tones. Bright colours on walls or roofs should not be permitted.
8. A minimum 30 meter corridor should be established for the Klapmuts river which should be incorporated into an integrated open space. (Comment 8:A 50 m wide corridor was allowed for as public open spaces (next to erf 2117, 2118, 2119, 2120, 2125, 2126,and 2127), and as private open spaces next to erf 2116, 2121, 2122, 2123, 2128, 2129 and 2131).

### 12.2 Boundary walls

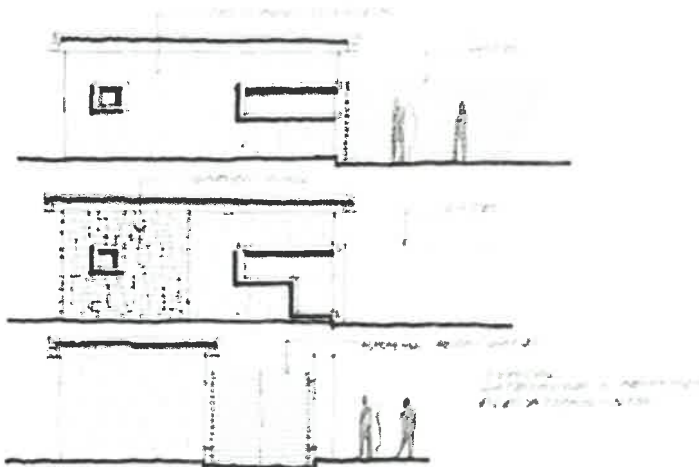




## 12.3 Typical road verge details



## 12.4 Gatehouses



## 13.0. SITE DEVELOPMENT PLAN AND SITE LAYOUT

### 13.1. Building Lines

Annexure A: BUILDING LINES/ZONING FOR SIMONSBERG BUSINESS PARK DATED: NOV 2014													
LG ERF NRS	OLD SUBDM/PORT NR	ESTATE	SERVICES	STATUS OF ELECTRICITY SERVICES	DESCRIPTION OF ACTIVITY	TOTAL AREA	BUILDING HEIGHT- TOP OF ROOF R44 Build Line	MAXIMUM ROOF HEIGHT on Simonsberg Crescent	R44 Building Line from Reserve	SIMONSBERG Crescent BUILDING LINE	WESTERN BOUNDARY	SOUTHERN BOUNDARY BUILDING LINE	NORTHERN BOUNDARY BUILDING LINE
Port 2106/1	3252	Simonsberg Business Park	Fully Serviced	AVAILABLE	RETAIL	5000	Double storey 12m	Double storey 12m	30m	8m from center		3 meter	0 meter
Port 2106/2	3252	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	4904	12 m	14m	30m	8m from center		6 meter	0 meter
Port 2107/1	326	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	4542	12 m	14m	30m	8m from center		6 meter	0 meter
Port 2107/2	326	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	4703	12 m	14m	30m	8m from center		6 meter	0 meter
Port 2107/3	326	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	4845	12 m	14m	30m	8m from center		6 meter	0 meter
Port 2107/4	326	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	3104	12 m	14m	30m	8m from center		2 meter	0 meter
Port 2107/5	326	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	1740	Not Applicable	14m	Not Applicable	8m from center		2 meter	0 meter
2108	327	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	1185	Double storey 12m	Double storey 12m	30m	6m from center	0 meter	1 meter	2 meter
2109	328	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	717	Not Applicable	Three storey 14m	Not Applicable	6m from center	0 meter	1 meter	2 meter
2110	329	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	596	Not Applicable	Three storey 14m	Not Applicable	6m from center	0 meter	1 meter	2 meter
2111	330	Simonsberg Business Park			Private Road	500	Not Applicable	Not Applicable	Not Applicable	Not Applicable			
Port 2112/1	334	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	6337	Not Applicable	15m	Not Applicable	8m from center	2 meter	0 meter	2 meter
Port 2112/2	334	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	8425	Not Applicable	15m	Not Applicable	8m from center	2 meter	2 meter	0 meter
2113	333	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	4453	Not Applicable	15m	Not Applicable	8m from center	2 meter	0 meter	2 meter
2114	332	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	3282	Not Applicable	15m	Not Applicable	8m from center	2 meter	0 meter	0 meter
2115	331	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	3042	Not Applicable	15m	Not Applicable	8m from center	2 meter	2 meter	0 meter
Port 2116	326	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	27718	Not Applicable	15m	Not Applicable	8m from center	2 meter	6 meter	2 meter
<b>TOTAL</b>						85103							

### 13.2. Typical Positioning of Buildings



### 13.3 ZONING PLAN ATTACHED IN REZONING APPLICATION ( NOV 2014 ) ( ANNEXURE A )



### 13.4. SIMONSBERG BUSINESS PARK SDP

SDP DEVELOPMENT PARAMETERS FOR SIMONSBERG BUSINESS PARK										
ERF NO.	ZONING	TOTAL AREA (m <sup>2</sup> )	COVERAG E (m <sup>2</sup> )	BUILDING HEIGHT- TOP OF ROOF R44 BUILDING LINE	MAXIMUM ROOF HEIGHT ON SIMONSBERG CRESCENT	R44 BUILDING LINE FROM RESERVE	STREET 1 SETBACK OR BUILDING LINE	WESTERN BOUNDARY	SOUTHERN BOUNDARY BUILDING LINE	NORTHERN BOUNDARY BUILDING LINE
2108 / 1	RETAL	500C	2090	Double storey 12m	Double storey 12m	30m	8m from center		3 meter	0 meter
2106 / 2	Industrial Zone I	4904	2055	12 m	14m	30m	8m from center		6 meter	0 meter
2108 / 3	Private Road	618	0	Not Applicable	Not Applicable	Not Applicable	Not Applicable			
2107 / 1	Industrial Zone I	4542	2080	12 m	14m	30m	8m from center		6 meter	0 meter
2107 / 2	Industrial Zone I	4702	2230	12 m	14m	30m	8m from center		6 meter	0 meter
2107 / 3	Industrial Zone I	4840	2240	12 m	14m	30m	8m from center		6 meter	0 meter
2107 / 4	Industrial Zone I	3104	1300	12 m	14m	30m	8m from center		2 meter	0 meter
2107 / 5	Industrial Zone I	1740	1200	Not Applicable	14m	Not Applicable	8m from center		2 meter	0 meter
2107 / 6	Private Road	18	0	Not Applicable	Not Applicable	Not Applicable	Not Applicable			
2106	Industrial Zone I	1185	265	Double storey 12 m	Double storey 12m	30m	8m from center	0 meter	1 meter	1 meter
2109	Industrial Zone I	717	425	Not Applicable	Three storey 14m	Not Applicable	8m from center	0 meter	1 meter	1 meter
21 / 0	Industrial Zone I	595	380	Not Applicable	Three storey 14m	Not Applicable	8m from center	0 meter	1 meter	1 meter
21 / 1	Private Road	503	0	Not Applicable	Not Applicable	Not Applicable	Not Applicable			
2112 / 1	Industrial Zone I	6337	3802	Not Applicable	15m	Not Applicable	8m from center	2 meter	0 meter	2 meter
2112 / 2	Industrial Zone I	8425	5055	Not Applicable	15m	Not Applicable	8m from center	2 meter	2 meter	0 meter
21 / 3	Industrial Zone I	4452	2672	Not Applicable	15m	Not Applicable	8m from center	2 meter	0 meter	2 meter
21 / 4	Industrial Zone I	3292	1975	Not Applicable	15m	Not Applicable	8m from center	2 meter	0 meter	0 meter
21 / 5	Industrial Zone I	3042	1825	Not Applicable	15m	Not Applicable	8m from center	2 meter	2 meter	0 meter
21 / 6	Industrial Zone I	27718	9535	Not Applicable	15m	Not Applicable	8m from center	2 meter	6 meter	2 meter
2166	Private Road	5871	0	Not Applicable	Not Applicable	Not Applicable	Not Applicable			
<b>TOTAL</b>		<b>91606</b>	<b>38948</b>							



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**ARCHITECTS AND TOWN PLANNERS**

### Simonsberg Business Park SDP



Drawn:	Checked:	Date:	Scale:
MM	MM	23/01/2016	1:2000 (A1)
Project no.:	Revision no.:		
A5074	1		
Drawing:	Simonsberg Business Park SDP		Plan no.:
			9

## 14.0 LANDSCAPING GUIDELINES



**LANDSCAPE ARCHITECTURAL GUIDELINES FOR THE R44 INTERFACE**  
**Compiled by DCL Landscape Architects – Stellenbosch**  
**June 2010 (1<sup>st</sup> Edition)**

## **LANDSCAPE DESIGN GUIDELINES**

### **INTRODUCTION**

Landscape design plays an important role in shaping our urban environments into visually pleasing and socially accessible places where community interaction can be fostered.

#### **Landscape Character**

Considered design and placement of coordinated landscape elements will contribute in creating an identity for Stellengate, Klapmuts that responds to the architecture and is appropriate to the Cape Wine lands/ Boland setting.

These include elements such as focal points in squares; defined edges and routes; external furniture and lighting; structured planting and integrated services.

#### **Design Restrictions**

Materials and colours should be limited to a selected palette that responds to the architecture and surrounding natural environment in order to obtain continuity within the urban place.

#### **Coordination and Integration**

The landscape design forms part of the overall urban framework and gives coherence and legibility to the development. Individual landscape elements should not stand in isolation, but form part of an integrated open space system, where all the elements are collectively considered and relate to the surrounding architecture. Basic guidelines for each type of landscape element are addressed in the following sections. These deal with the practicalities of function, materials, selection and siting of the various elements.

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## **SOFT LANDSCAPE ELEMENTS/ PLANTING**

### **General**

Planting in the Stellengate development offers the opportunity to provide an identity that relates to the surrounding winelands and Boland character of the area. Soft landscaping also provides cohesiveness and a sense of place. The attached plant list has been selected to reflect plants that are both waterwise and appropriate to Stellengate's setting.

### **Planting along the R44 Interface**

- A continuous row of evergreen *Quercus canariensis* (Canary Oak) is to be planted at 11m centers along the entire length of the development boundary that interfaces the R44 (as indicated on the plan and section).
- These Oak trees are to have a minimum size of 40litre bags (with strong stems).
- All trees are to be staked and irrigated for a 4 to 5 year minimum.
- It is recommended that the entire row of *Quercus canariensis* immediately adjacent to the R44 (within the 5m green buffer zone) be planted as soon as possible so as to have sufficient time to mature (before the bulk of the development commences).
- A secondary row of evergreen indigenous trees (selected from the accompanying plant list) is to be planted in the parking area at  $\pm 7.5$ m centers (as indicated on the plan and section once the parking area has been developed).
- The Oak trees are to be under planted with a selection of shrubs and ground covers (from the plant list) within the 5m green buffer area once the parking area has been developed.

### **Prohibited Plant Species**

- All declared invasive alien plants listed in the "Conservation of Agricultural Resources Act, 1983", (Act No. 43 of 1983) and subsequent amendments to Act No. 43 of 1983 are not permitted within the Estate and may not be cultivated in private gardens.
- The establishment of an indigenous plant community is encouraged throughout Stellengate.
- No exotic invader species as promulgated by law are to be introduced.
- The planting of Palm trees will not be permitted.
- In response to the historical context of the environment as well as the envisaged vernacular/theme, certain exotic tree species will be permitted as indicated in the plant list.

### **Irrigation**

- Irrigation systems should be as inconspicuous as possible.
- All trees are to be irrigated for the first 5 years.
- Shrubs and groundcovers should have continuous irrigation when necessary.

## **HARD LANDSCAPE ELEMENTS**

### **Paving**

- Paving layouts should be designed using consistent materials and patterns in order to achieve a unique identity for the Stellengate streetscapes.
- A single material can be used to define edges and channels so that continuity is created between different areas.
- Subtle variations in colour and texture can provide interest, richness and a sense of scale.
- Engineers are to specify all the construction details, including:
  - Sub-base
  - Bedding
  - Expansion joints
  - Edge restraints
- **Pedestrian routes**
  - Surface textures should respond to the various type/speed of pedestrian movement.
    - Textured surfaces should be used for slow moving pedestrians or stationary pedestrians e.g. where benches occur.
    - Even/smooth surfaces should be used for faster moving pedestrians e.g. along desire lines and sidewalks.
  - Expansion joints should be integral within the paving design.
  - The following materials may be used for pedestrian areas:
    - Tinted cement / exposed aggregate pavers
    - Exposed aggregate concrete
    - Gravel
- **Vehicular routes and parking**
  - Intersections and pedestrian crossings should be highlighted by using a different material/ texture and/or elevated to slow down traffic.
  - Main vehicular routes can be of asphalt, but secondary/ private roads should be exposed aggregate pavers.
  - The following materials may be used for parking areas:
    - In-situ exposed aggregate concrete/ pavers
    - Grass-blocks for less frequently used/ multi-functional parking areas.

### **Manhole covers**

- Where possible the position of manhole covers should be integrated into the paving pattern and aligned with buildings, so that brick and slab cutting is kept to a minimum.
- Manhole covers are to be recessed to accommodate pavers or the applicable matching material for continuity of paving.



### **Edgings and channels**

- Edgings contain the paving, prevent lateral movement and are an essential part of flexible paving construction.
- The surface drainage arrangements should be designed to avoid visible/ awkward furrows and high points.
- Paving should be designed with cross-falls to act as self-cleaning mechanisms and to limit water retention which could result in discoloration and slippery surfaces.
- Channels may be incorporated in the edge/ center patterning to drain away surface water.

### **Steps and ramps**

- Steps and ramps should be seen as a dimension of paving, which accommodates level changes.
- They can also double up as space definers and provide outdoor seating.
- In the interest of safety, the treads should be identified by a change in pattern, material/texture or colour.
- Illumination of a change of level is encouraged, particularly at the base and top of a flight.
- All steps and ramps should adhere to the Standard Building Regulations.

### **Fencing and walls**

- Fencing and walls shall match the style and materials used in the building as determined by the Architectural Guidelines.
  - No artificial stone is to be used in lieu of genuine stone.
  - No 'Vibracrete' walls, face brick, exposed masonry or walls in an unsuitable style, colour or texture will be allowed.
  - High walls will not be allowed other than around service areas or areas that require screening.
  - Generally, fences and walls shall NOT obstruct views from other properties.
  - The use of climbing plants on walls, trellises and fences is encouraged.
- A choice can be made from plastered 340mm wide "werf" walls in a broomed finish painted one of the stipulated tonal shades, wire mesh fencing in an approved colour that is to be screened by vegetation, or planted hedges with a maximum height of 1 meter.
- Additional appropriate materials (e.g. dressed stone) may be used in low retaining walls and building plinths only.
- There are a variety of types of enclosure that require different responses:
  - Low 340mm wide werf walls enclosing any external spaces e.g. around parking areas in the commercial strip. These walls are used to create external "rooms" associated with and directly linked to buildings to form courtyards. These low walls may only be a maximum of 1.2m in height.
  - 1.8-2m walls around service areas.



- Perimeter fencing onto open public space. This includes any other fencing along the cadastral perimeters where walls are not permitted. All fencing to be of wire mesh or palisade and to a maximum height of 2m.
- Stone walls may be built entirely of stone or with stone facings to a masonry backup wall. The stone may be laid in random rubble or coursed rubble pattern with recessed cement mortar joints.

## **EXTERNAL FURNITURE**

All external furniture including lighting and signage should form a kit of parts which is designed in accordance with the general character and identity of Stellengate, using similar materials and colours in order to provide continuity within the development.

### **Tree surrounds**

- Trees in parking areas or other vehicle zones are to be protected by raised edges of pavers/cobbles or low seating walls.
- Some tree surrounds may be at seat height, especially in pedestrian areas; to accommodate seating as well as tree protection.
- A minimum of 1m square should be left open around the tree to allow for sufficient aeration of the soil.

### **Seating**

- Seating is selected for short or long term use. Long-term seating has greater comfort requirements, such as a more moulded shape with back and arm rests for park and village square seating.
- Short-term seating can be simpler and more modular, but keeping within the overall design vocabulary of the development.
- Design considerations for seating should include:
  - Comfort
  - Stability
  - Heat absorption
  - Water run off efficiency
  - Low maintenance
- The following options may be considered for seating in communal spaces:
  - Timber benches
  - Built benches
  - Low walls with integral seating
- Benches in public areas are to be bolted down for theft prevention and vandalism.

### **Litterbins**

- Litterbins should be visible and convenient, but not obtrusive.
- Design considerations may include:
  - Robustness against vandalism and wear
  - Low maintenance materials
  - Ease of emptying and cleaning
  - Theft proof
  - Fireproof
  - Concealment of contents
  - Colour coordination with other streetscape elements
  - Drainage
  - Mounting and fixing components
- Minimum capacity: 50 litres and placed at 30m intervals.

### **Planters**

- Plant containers may be used where trees and shrubs cannot be planted directly in to the ground and in conjunction with seating, steps and retaining walls.
- They may also be used to form barriers, provide screening or soften high walls.
- Painted, plastered masonry/ stone faced planters may be used.

### **Bollards**

- Bollards form a useful barrier for vehicles but should be located to direct rather than obstruct.
- They may be combined with low-level lighting in specific areas.

### **Water features**

- Water features may be constructed with painted plastered / stone faced brickwork.

### **Lighting**

- A standard system of supports should be used for all lampposts.
- These in turn should be coordinated with bin and signage supports to minimize the number of poles.
- The level and type of lighting should express the function and character of the development.
- A higher level of lighting may be considered for illuminating squares and wide pathways.
- Low-level lighting may be considered for more intimate lighting of narrow pathways, seating, eating or planting areas.
- Decorative floodlighting lighting may be considered for illumination of special sculptures, water features or planting.

### **Signage**

- Signage should be incorporated with lighting where possible and the same guidelines apply.

## PROPOSED PLANT LIST

### TREES

Brachylaena discolor – Wild silver oak  
Calodendrum capense  
Celtis Africana – White stinkwood  
Cunonia capensis – Rooi-els  
Dais cotonifolia – Pompom tree  
Ekebergia capensis – Cape Ash  
Ficus natalensis – Natal fig  
Harpephyllum caffrum  
Kiggelaria Africana – wild peach  
Nuxia floribunda – forest elder  
Olea Africana – Olienhout  
Podocarpus falcatus -

Podocarpus henkelii –  
Quercus canariensis – Canary oak  
Quercus nigra – Water Oak  
Quercus robur English Oak  
Quercus Suber – Cork Oak  
Rapanea Melanophloeos – Cape Beech  
Rhus Dentata  
Rhus lancea – Karee  
Rhus pendulina – White karee  
Salix mucronata – Wilgerboom  
Syzigium cordatum – Waterberry  
Virgilia Oroboides - Keurboom

### SHRUBS

Aloe arborescens  
Anisodonteia scabrosa  
Barleria obtusa spp.  
Buddleja spp. - False olive  
Carissa spp. Num-num  
Chrysanthemoides monilifera - Bietou  
Chondropetalum tectorum - Dekriet  
Clivia miniata  
Coleonema spp. - Confetti bush  
Dodonea angustifolia - Wild sand olive  
Eriocephalus africanus - Wild rosemary  
Euryops spp  
Halleria lucida - Tree Fuschia  
Felicia spp. - Blue daisy  
Hypoestes aristata

Leonotis leonorus spp. - Wild dagga  
Leucospermum cordifolium – Pin cushion  
Mackaya bella - River bells  
Metalasia muricata - Blombos  
Pelargonium spp. - Malva  
Plumbago auriculata spp.  
Podalyria spp.  
Polygala spp.  
Rhus crenata  
Rumorha adiantiformis - Seven week fern  
Salvia spp. - Salie bos  
Strelitzia spp.  
Tarchonanthus camphorates  
Tecoma spp. - Cape Honeysuckle

### FYNBOS

Agathosma spp. - Boegoe  
Athanasia dentate - Coulter bush

Berzelia spp. - Kolkol  
Chironia baccifera - Christmas berry

Erica spp.  
Leucadendron spp. - Conebush  
Leucospermum spp. - Pincushion  
Myrsine africana - Cape myrtle  
Nemesia spp. – Bloubekkie

Phyllica spp.  
Protea spp.  
Psoralea spp.  
Salvia spp.

#### GROUNDCOVERS

Agapanthus africanus spp.  
Arctotis spp  
Aristea major  
Carpobrotus edulis  
Crassula multicava  
Diets spp. - Wild iris  
Dierama pendulum  
Dymondia margaretae  
Falkia repens  
Ficinia spp.  
Gazania spp.

Geranium incanum  
Helichrysum spp.  
Jasminum multipartitum  
Kniphofia uvaria  
Lampranthus spp.  
Moraea spp.  
Osteospermum fruticosum  
Plectranthus spp.  
Sutera spp.  
Watsonia spp.  
Zantedeschia aethiopica

#### CREEPERS

Jasminum angulare  
Podraria ricasoliana  
Rhoicissus tomentosa  
Thunbergia alata