

NOTICE OF LAND DEVELOPMENT APPLICATION  
IN THE STELLENBOSCH MUNICIPAL AREA

APPLICATION TYPE: ERF 3223, IDAS VALLEY, STELLENBOSCH

**Application Address:** Corner of Sonnebloem and Banhoek streets, Idas Valley

**Applicant:** Arch Town Planners (Pty) Ltd - Marike Bolz  
e-mail: [marike@archtownplanners.co.za](mailto:marike@archtownplanners.co.za)  
Contact number: 072 480 5838

**Owner:** Varkblom (Pty) Ltd

**Application Reference:** LU/ 13875

**Description of land development application:**

In terms Sections 15(2)(b) and (g) of the Stellenbosch Municipality Land Use By-Law (2015), application is made to allow for the following (to enable to property to be developed as flats):

- i) A **Permanent Departure** to allow for the following building lines:
  - o Street building line (Banhoek street): Ground floor: 1m and 2m, Floors 1 – 3: 1m (balconies) and 2m (building) in lieu of 4.5m
  - o Street building line (Sonnebloem street): Floors 1 – 3: 3m in lieu of 4.5m
  - o Street building line (Juffemburch street): Floors 1 – 3: 1m (balconies) and 2m (building) in lieu of 4.5m
  - o Common boundary building line: All floors: 1m in lieu of 4.5m (staircase) and Floors 1 – 3: 3m in lieu of 4.5m
- ii) **Permission** to substitute 6 vehicle parking bays with 36 bicycle bays

Notice is hereby given in terms of the said Bylaw that the above-mentioned application has been submitted to the Stellenbosch Municipality for consideration. The application is available for inspection on the Planning Portal of the Stellenbosch Municipal Website for the duration of the public participation process at the following address: <https://www.stellenbosch.gov.za/planning/documents/planning-notices/land-use-applications-advertisements>. If the website or documents cannot be accessed, an electronic copy of the application can be requested from the Applicant.

Written comments, which must include the reference to the application, the name, contact details and physical address of the person to submit the comments, the reasons for the comments, and the interest of the person in the application, may be submitted in terms of Section 50 of the said Bylaw to the Applicant by electronic mail as follows: **Arch Town Planners (Marike Bolz)**, [marike@archtownplanners.co.za](mailto:marike@archtownplanners.co.za). By lodging an objection, comment or representation, the person doing so acknowledges that information may be made available to the public and to the applicant.

The comments must be submitted within 30 days from the date of this notice to be received on or before the closing date of **6 June 2022**.

For any enquiries on the Application or the above requirements, or if you are unable to write and /or submit your comments as provided for, you may contact the Applicant for assistance at the e-mail address provided or telephonically at 072 480 5838 during normal office hours.

KENNISGEWING VAN GRONDONTWIKKELINGSAAANSOEK  
IN DIE STELLENBOSCH MUNISIPALE AREA

AANSOEK TIFE: ERF 3223, IDAS VALLEY, STELLENBOSCH

**Adres van eiendom:** Hoek van Sonnebloem- en Banhoekstraat, Idasvallei, Stellenbosch

**Aansoeker:** Arch Town Planners (Pty) Ltd - Marike Bolz  
e-pos: [marike@archtownplanners.co.za](mailto:marike@archtownplanners.co.za)  
Kontaknommer: 072 480 5838

**Eienaar:** Varkblom (Pty) Ltd - Earle Williams  
Kontakbesonderhede: 082 782 6625

**Aansoek Verwysing:** LU/ 13875

**Beskrywing van grondontwikkelingsaansoek:**

Aansoek word gedoen in terme van Artikel 15(2)(b) en (g) van die Stellenbosch Verordeninge op Grondgebruikbeplanning (2015) vir die volgnede (ten einde voorsiening te maak vir die oprig van 'n woonstelblok):

- i) 'n **Permanente afwyking** om toe te laat vir die volgende **boulynatwykings**:
  - o Straatboulyn (op Banhoekstraat): Grondvloer: 1m and 2m, Vloere 1 – 3: 1m (balkonne) en 2m (gebou) in stede van 4.5m
  - o Straatboulyn (op Sonnebloemstraat): Vloere 1 – 3: 3m in stede van 4.5m
  - o Straatboulyn (Juffemburch straat): Vloere 1-3: 1m (balkonne) en 2m (gebou) in stede van 4.5m.
  - o Gemeenskaplike-boulyne: Alle vloere: 1m in stede van 4.5m (staircase) en vloere 1 – 3: 3m in stede van 4.5m
- ii) **Toestemming** om 6 x motorparkeerplekke te vervang met 36 fietsparkeerplekke

Kennis word hiemeer gegee in terme van die genoemde Verordeninge dat bovermelde aansoek by die Stellenbosch Munisipaliteit ingedien is vir oorweging. Die aansoek is beskikbaar vir insae op die Beplannings Portaal van die Stellenbosch Munisipaliteit se Webtuiste vir die tydskedule van die publieke deelname proses by die volgende adres: <https://www.stellenbosch.gov.za/planning/documents/planning-notices/land-use-applications-advertisements>. Indien die webtuiste of tersaaklike dokumente nie toeganklik is nie, kan die Aansoeker versoek word om 'n elektroniese kople beskikbaar te stel.

Skriftelike kommentaar, wat besonderhede ten opsigte van die verwysings nommer van die aansoek, die name, fisiese adres en kontak besonderhede van die persoon wat die kommentaar lewer, die redes vir die kommentaar, en die belang van die persoon wat die kommentaar lewer in die aansoek, kan ingedien word in terme van Artikel 50 van genoemde Verordeninge aan die Aansoeker by wyse van elektroniese pos as volg: **Arch Town Planners (Marike Bolz)**: [marike@archtownplanners.co.za](mailto:marike@archtownplanners.co.za). Deur 'n beswaar, kommentaar of verhoë te rig, erken die persoon wat dit doen dat inligting aan die publiek en aan die aansoeker beskikbaar gestel kan word.

Die kommentaar moet binne 30 dae vanaf die datum van hierdie kennisgewing gestuur word en moet ontvang word voor of op die laaste dag van die sluitings datum van **6 Junie 2022**.

Indien daar enige navrae op die aansoek of bovermelde vereistes vir die lewer van kommentaar is, of indien dit nie moontlik is om geskrewe kommentaar te lewer of die kommentaar op die wyse te lewer soos voorsiening gemaak is nie, kan die Aansoeker geskakel word vir bystand by die vermeldde elektroniese pos adres of telefonies by 072 480 5838 gedurende normale kantoor ure.

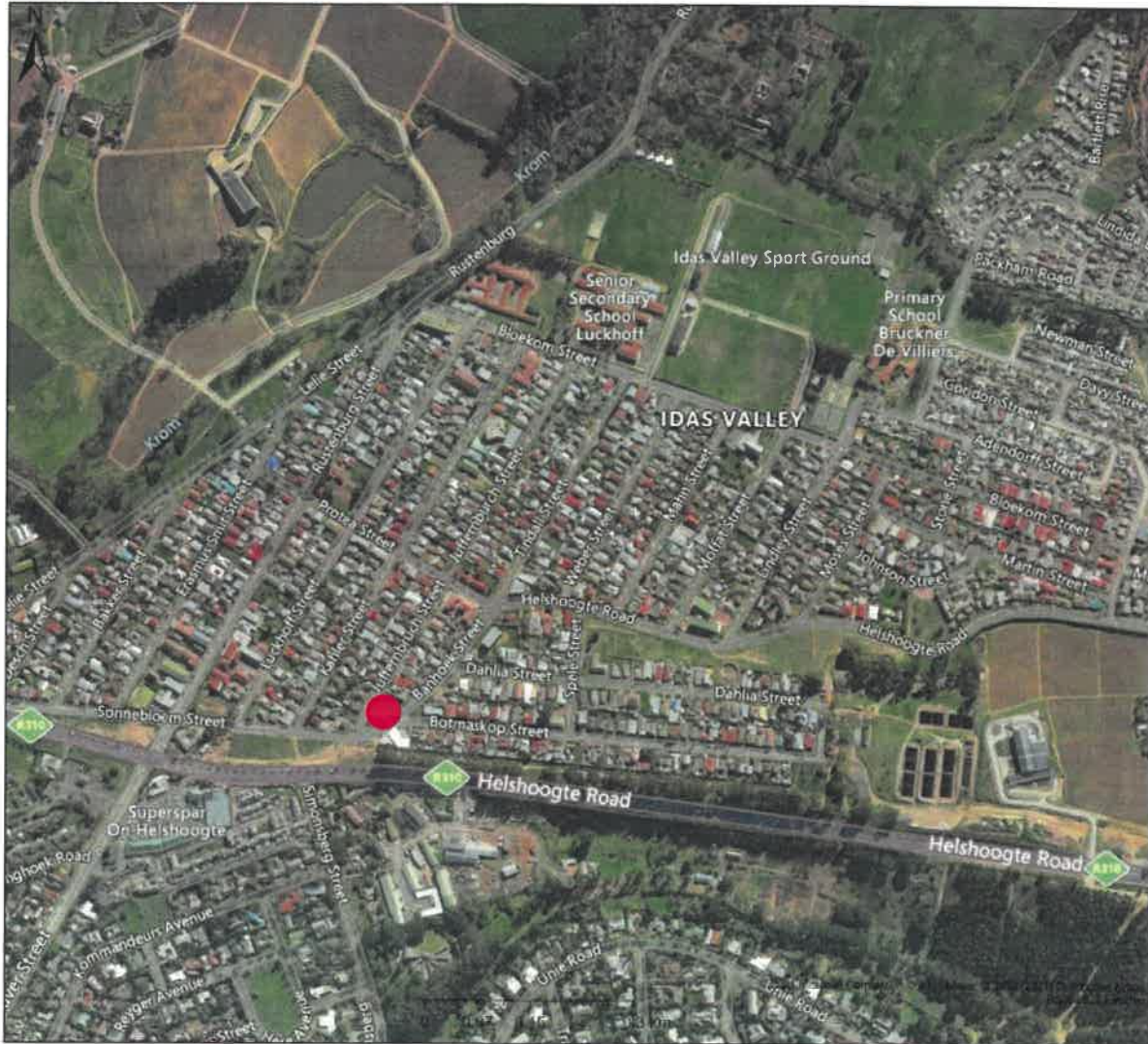






# BUILDING LINE DEPARTURE

ERF 3223 IDAS VALLEY, STELLBOSCH



December 2021

SUBMITTED TO: STELLENBOSCH MUNICIPALITY

PREPARED AND SUBMITTED BY:



Postal Address: 2<sup>nd</sup> Floor, Bakkershuis  
152 Dorp Street  
Stellenbosch, 7600

Mobile: +27 (0)72 480 5838

Email: [marike@archtownplanners.co.za](mailto:marike@archtownplanners.co.za)

Website: [www.archtownplanners.co.za](http://www.archtownplanners.co.za)



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**ANNEXURES**

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ANNEXURE D:	ZONING CERTIFICATE
ANNEXURE E:	PROPOSED FLOOR PLANS AND ELEVATIONS
ANNEXURE F:	PRE-APPLICATION SUBMISSION



## 1. Introduction

### 1.1 Background information

The owner of Erf 3223 Stellenbosch, recently bought the property with the intention to develop a block of flats, in line with the existing Mixed-Use zoning. Due to the awkward shape of the erf, the proposed building can only be accommodated through various building line departures. This report serves as the motivation report for the proposed building line departures.

### 1.2 Planning Brief

In light of the above information, Arch Town Planners (Pty) LTD has been appointed by Varkblom (Pty) Ltd to prepare and submit a building line and parking departure application to the Stellenbosch Municipality for their approval. Please refer to Annexures A and B for the Application Form and Power of Attorneys.

### 1.3 Application to Stellenbosch Municipality

Arch Town Planners hereby officially applies for the following, in terms Sections 15(2)(b) and (g) of the Stellenbosch Municipality Land Use By-Law (2015), to allow for the following:

- i) **A Permanent Departure** to allow for the following building lines:
  - Street building line (Banhoek street): Ground floor: 1m and 2m, Floors 1 – 3: 1m (balconies) and 2m (building) in lieu of 4.5m
  - Street building line (Sonnebloem street): Floors 1 – 3: 3m in lieu of 4.5m
  - Street building line (Juffernbrunch street): Floors 1 – 3: 1m (balconies) and 2m (building) in lieu of 4.5m
  - Common boundary building line: All floors: 1m in lieu of 4.5m (staircase) and Floors 1 – 3: 3m in lieu of 4.5m
- ii) **Permission** to substitute 6 vehicle parking bays with 36 bicycle bays

## 2. Property details

### 2.1 Summary of Property Information

Application Site	Erven 3223 Stellenbosch
Physical Address	Corner of Sonnebloem and Banhoek streets, Idas Valley
Property Size	1201m <sup>2</sup>
Current Ownership	Varkblom (Pty) Ltd
Title Deed No & Date	T58610/2021 (Please refer to Annexure C of a copy of the Title Deed.
Restrictive Title Deed Conditions	None (please refer to Annexure C for Conveyancer Certificate)



Current Zoning	Mixed -Use in terms of Stellenbosch Zoning Scheme By-Law (2019) (please refer to Annexure D for copy of Zoning Certificate)
Locality	Please refer <i>Figures 1 &amp; 2</i> below

Table 1: Property Details

## 2.2 Locality of Application Site

See Attached Locality Plan

## 2.3 Current Zoning

The zoning of properties in the Stellenbosch Municipal Area is regulated in terms of the Stellenbosch Municipality Zoning Scheme By-Law, 2019 (hereafter referred to as the 'Zoning Scheme'). According to the Zoning Scheme and as illustrated in Figure 5 below, erf 3223 is zoned Mixed-Use, this is also confirmed in the attached zoning certificate (please refer to Annexure D).

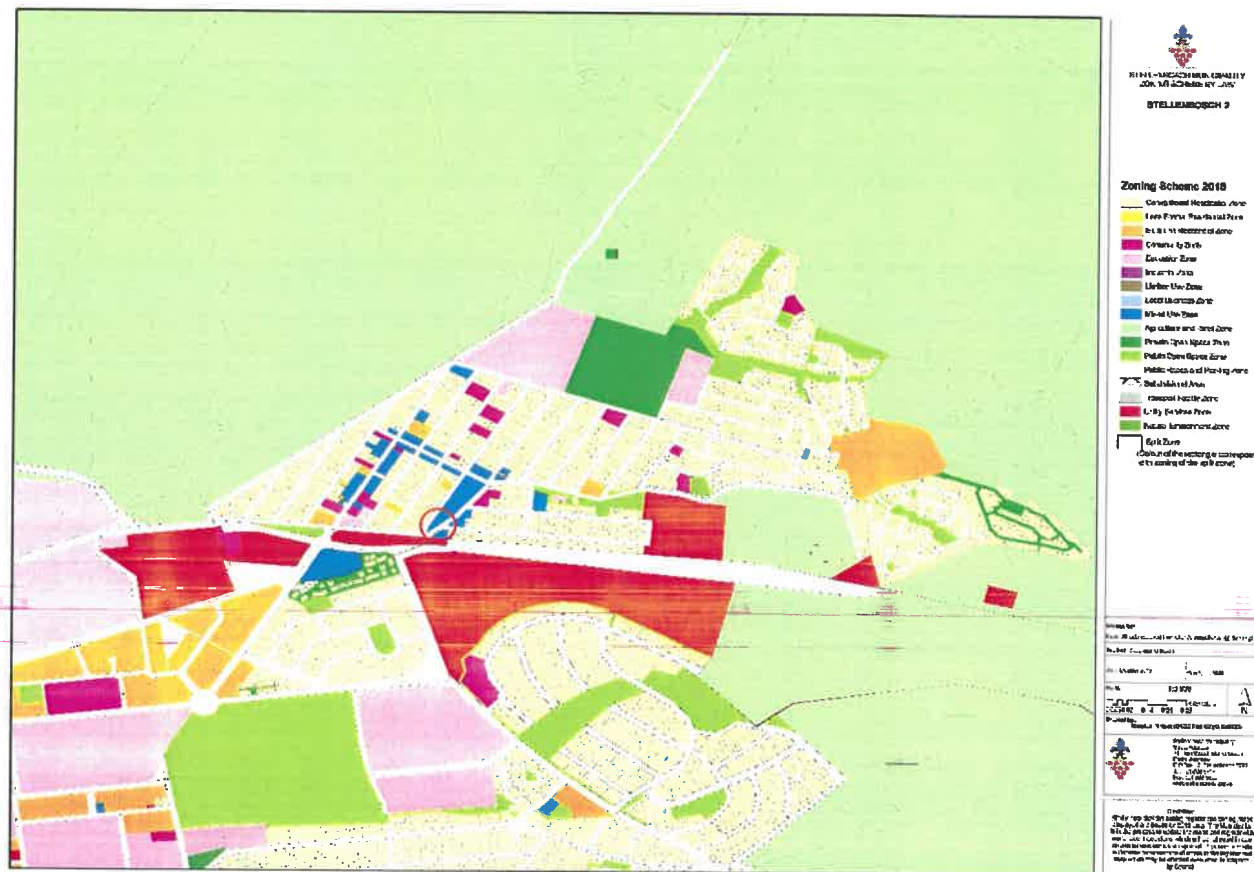


Figure 5 Zoning Map of Idas Valley



The following land uses and building parameters are applicable to erven within the **Mixed-Use Zone**:

Land Uses within the Mixed-Use Zone:				
Primary Uses	Additional Uses (technical approval)	Consent Uses (application required)		
<ul style="list-style-type: none"> <li>• Commune</li> <li>• Business premises (including shops, markets, restaurants, office)</li> <li>• Clinic</li> <li>• Community residential building</li> <li>• Extramural facility</li> <li>• Flats</li> <li>• Guest house</li> <li>• Hostel</li> <li>• Hotel</li> <li>• Occasional use (one event/year)</li> <li>• Plant nursery</li> <li>• Public institution</li> <li>• Public parking area</li> <li>• Private road</li> <li>• Tourist dwelling unit</li> <li>• Tourist accommodation establishment</li> <li>• Welfare institution</li> </ul>	None	<ul style="list-style-type: none"> <li>• Adult Entertainment</li> <li>• Builders yard</li> <li>• Commercial gymnasium</li> <li>• Conference facility</li> <li>• Day care</li> <li>• Filling station</li> <li>• Freestanding base telecommunication station</li> <li>• Funeral parlour</li> <li>• Gambling place</li> <li>• Helicopter landing pad</li> <li>• Hospital</li> <li>• Indoor sport</li> <li>• Liquor Store</li> <li>• Motor vehicle fitment centre</li> <li>• Motor showroom</li> <li>• Occasional use (&gt; one event/year)</li> <li>• Parking garage</li> <li>• Place of assembly</li> <li>• Place of education</li> <li>• Place of entertainment</li> <li>• Renewable energy structure</li> <li>• Rooftop base telecommunication station</li> <li>• Tertiary educational institution</li> <li>• Warehouse</li> </ul>		
Building Parameters applicable to the Mixed-Use zone:				
Building type	Street boundary building lines (m)	Common boundary building lines (m)	Coverage	Height
Business premises	0m	0m	85%	6 storeys
Filling station	3m	3m	85%	2 storeys
Guest house, hostel, hotel, tourist accommodation	All levels 4,5m	Ground floor: 4,5m First floor: 4,5m Second floor: 6m	50%	6 storeys
All other buildings (including Flats)	4,5m	4,5m	85%	6 storeys

Table 2: Zoning parameters of Mixed- Use Zone

### 3. Proposed Development

#### 3.1 Development Proposal

In line with the allowable primary uses of the Mixed-Use zone, the proposed development entails the development of a four storey block of 2-bedroom (9 units) and 3-bedroom (15 units) flats to provide high density residential units in Idas Vallei. Parking will be provided on ground floor, with controlled access from Jufferenbruch street. 34 Vehicle bays and 36 safe and secure bicycle parking bays are provided. Please refer to Annexure E for the proposed SDP, floor plans and elevations.

A security kiosk with bathroom is provided at the entrance gate, with a communal braai area and pool proposed on the southern boundary of the site. Two staircases on the ground floor provides access to the flats above. Landscaping is proposed along Banhoek street to enhance the street interface which will be a great improvement to the existing street scape. The proposed landscaping will present an active interface on ground level to the street.

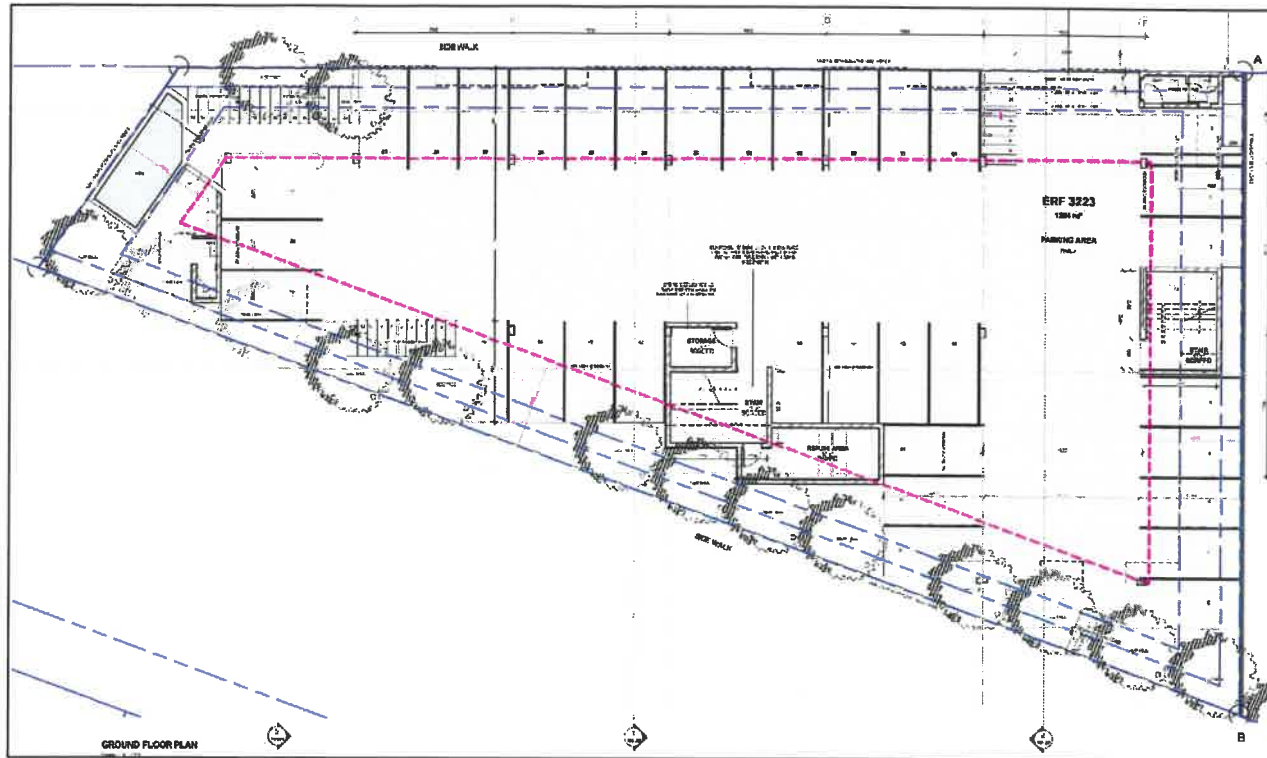


Figure 6 Proposed Ground Floor

The 24 proposed flats will be situated on the first, second and third floors, above the ground floor parking. Each floor will have 3 x 2-bedroom units and 5 x 3-bedroom units. Apart from the communal area on ground floor, each unit will have a patio to provide outdoor space.



The 2-bedroom units will each have one shared bathroom and a patio, the 3-bedroom units will have two shared bathrooms and will also have patios on each unit.

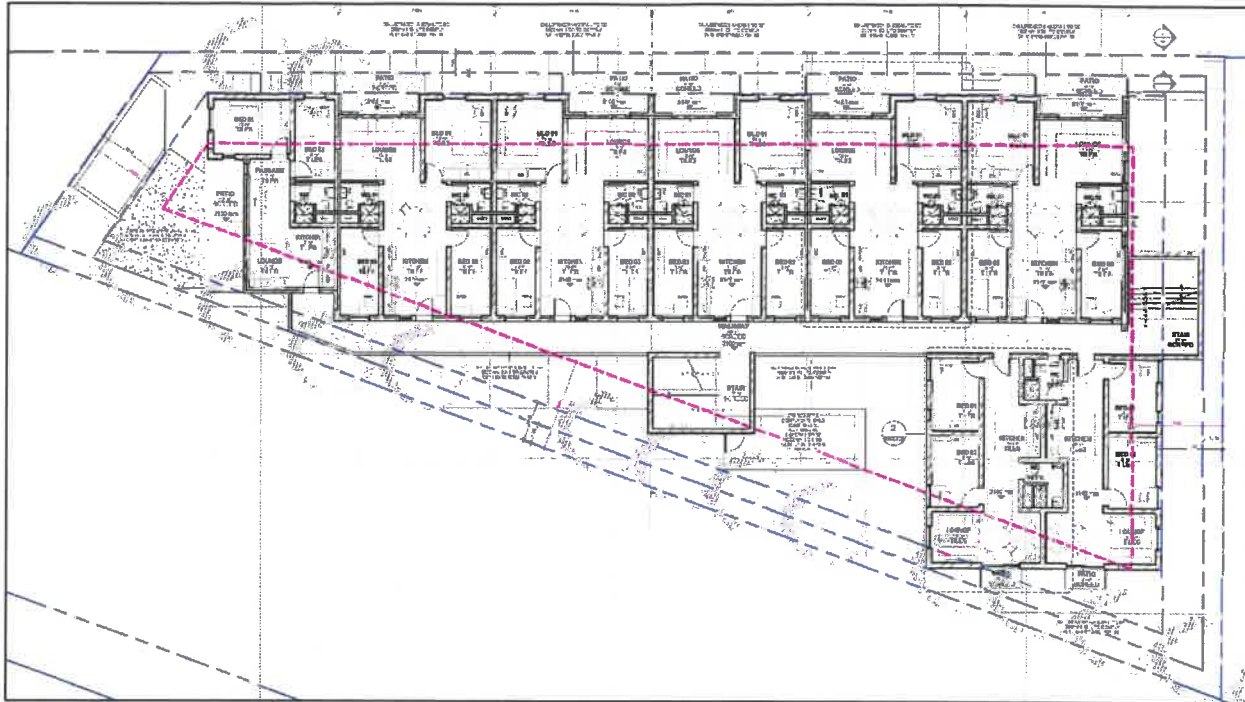


Figure 7 Layout of proposed first, second and third floors

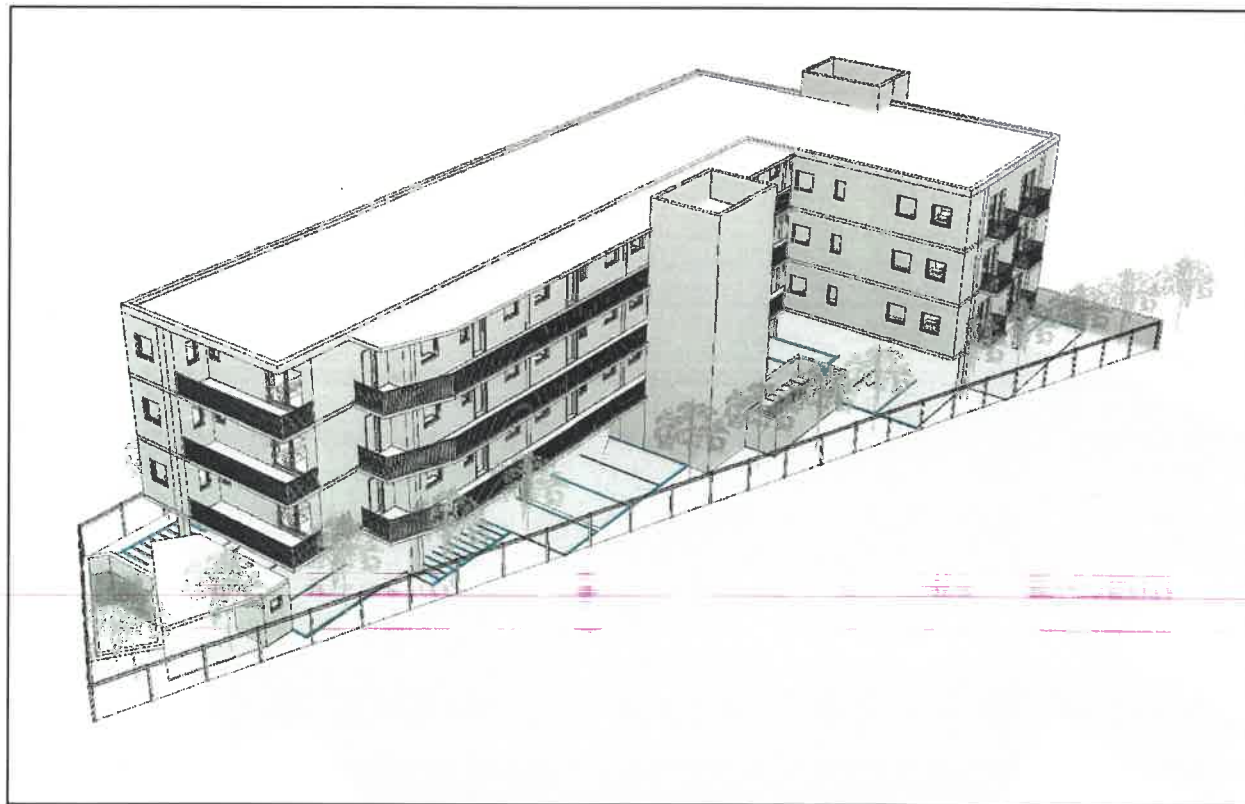


Figure 8 Proposed Elevation along Banhoek street

As mentioned above, the shape and dimensions of the application site limits development of the site if the 4.5m building lines are to be complied with. The following building lines are proposed:

- **Western boundary (Juffenbruch street):**

In order to allow for a viable development, the proposal is to push the bulk of the building onto Juffernbruch street, with the building (on first, second and third floors only) build up to a 2m building line and the balconies up to the 1m building line. No building line departures are required on ground floor on this boundary. Juffernbruch street is approximately 16m wide which is considered an excessive street width for a cul-de-sac, especially as this road only serves the few single residential houses along the road. The houses on the western boundary of Juffernbruch street, opposite the proposed development, are all approximately 500m<sup>2</sup>, with required street building line setbacks of 3m. This results in the proposed balconies being set back a minimum of 20m from the nearest residential houses, which is considered more than sufficient. It is therefore motivated that the locality of the street, being situated between the proposed development and the nearest residential houses enforces an automatic setback of 16-20m. This is considered to be more than sufficient to prevent loss of privacy or any detrimental effect on the properties towards the west of the proposed development. It is future motivated that the proposed patios will increase passive observation along this boundary to the benefit of the surrounding area.

- **Corner of Sonnebloem and Banhoek streets (southern boundary):**

There is no building line departure on ground floor on this boundary. However, a small section of the building (first, second and third floors) extends beyond the 4.5m building line, being 3m from the erf boundary. It is considered that this proposed projection is insignificant as it will have no impact on the surrounding properties.

- **Banhoek Street (eastern boundary):**

On ground floor, the proposed bathroom of the braai area and a small portion of the staircase and refuse area projects beyond the 4.5m building line. The proposed bathroom will extend up to the 1m building line, and a small portion of the staircase and refuse area will extend up to the 2m building line. Again, it is considered that these sections of the building are so small and insignificant that it will have no detrimental impact to warrant refusal. It will not be visible from the street scape and will be shielded by landscaping. It will also have no impact on any sightlines for traffic along Banhoek street.

On the first, second and third floors, small sections of the building (including a portion of the staircase) will be build up to the 2m building line, with a very small section (of the units situated on the northern boundary) extending up the 1m building line. As with Juffernbruch street, Banhoek street's road reserve is approximately 16m, with a wide sidewalk between the application site and the black top of the road. There are only two properties situated directly opposite the application site along Banhoek street, Erf 3193 (single residential house) and Remainder Erf 3152 (commercial building (Okkasie warehouse)). It is not considered that these very slight departures will have any detrimental effect on these or any of the surrounding properties to warrant refusal. It is argued that the passive observation from these units will greatly enhance the safety in the area. It will also have no impact on any sightlines for traffic along Banhoek street.



- **Erf 3222 (northern boundary):**

The bulk of the building, apart from the staircase and a portion of the units facing Banhoek street will be within the 4.5m building line on this boundary. The staircase will be built up to the 1m building line and the units will be build up to 3m, therefore only requesting a 1.5m departure. There will be no windows on the staircase facing Erf 3222, therefore there will be no loss of privacy as a result of the placement of the staircase.

As the proposed development is situated south of Erf 3222, this proposed section of the building, projecting 1.5m beyond the building line, will not result in any loss of light.

It is important to note that though Erf 3222 currently has a single residential house, this erf is also zoned Mixed-use and can therefore also be developed according to the building parameters of the Mixed-use zone. It is also important to note, that if the proposed development was for a business premisses, the building could be build up to the 0m building line, thus on the erf boundary with Erf 3222 (as Erf 3222 is also zoned for Mixed-Use). It is therefore argued that the limited building encroachment on this boundary would not have a detrimental effect on either Erf 3222 or the street scape to warrant refusal.

### 3.2 Building Development Parameters

Table 3, below, is a summary of the applicable building development parameters pertaining to development on this site.

Land Use Parameters (flats)	Mixed-Use Zone	Proposed Development	Compliance/ Application Required
Street Building Line (Juffernbruch)	4.5m	1m (balconies), 2m (building): Floors 1 – 3	Departure
Street Building Line (Corner Sonnebloem and Banhoek)	4.5m	3m : Floors 1 - 3	Departure
Street Building Line (Banhoek)	4.5m	1m (balconies), 2m (building): Floors 1 – 3	Departure
Common Boundary (Erf 3222)	4.5m	1m staircase (all floors) 3m building : Floors 1 – 3	Departure
Max Coverage	85%	64%	Complies
Max Height	6 Storeys	4 storeys	Complies
Total Number of Flats		24 x units	
Parking	1.5 bays / 2-bed flat (9) = 13.5 1.75 bays/3-bed flat(15) = 26.25 = 40 bays	40 = 34 (vehicle bays) + 6 (36 bicycle bays)	Permission required

Table 3 Compliance with Development Parameters

It is important to note that the proposed development complies with ALL OTHER building development parameters.

### 3.3 Traffic Impact Statement

The proposed development does not entail a rezoning. The proposed development is allowed for under the existing zoning and it is argued that a TIS is therefore not required.

### 3.4 Availability of Services

The proposed development does not entail a rezoning. The proposed development is allowed for under the existing zoning and does not exceed the permissible height or coverage. All the services will tie into the existing Municipal services.

## 4. Motivation

### 4.1 Stellenbosch Municipality Land Use By-Law (2015)

As set out in Section 65(1) of the By-law, certain criteria need be met in consideration of an application by the decision-making authorities. In line with this section, Table 4, below, sets out the criteria and assesses the application accordingly:

Section 65(1) Criteria	Assessment of Proposal
a. Application submitted in terms of the By-law.	The application is submitted in terms of Sections 15(2)(b) and (g) of the By-law.
b. Procedure followed in processing the application.	To be decided. The proposed development was tested with the Municipality by means of pre-application consultation. See <b>Annexure F</b> for feedback received during the pre-application scrutiny process. All relevant and required documentation are attached to this application and motivation.
c. Desirability of land use	<p>The application site is zoned mixed use, which allows for flats as a primary use. The application for the proposed departures and permission to substitute vehicle parking are considered to be favorable as motivated for in <b>Section 3.1</b> above. Future motivations can be summarized as follows:</p> <ul style="list-style-type: none"> <li>- Section 36(3) of the Zoning Scheme allows for the substitution of vehicle parking bays with bicycle bays, with council's permission, to support the NMT policy of the Municipality. The proposed development will provide 34 motor vehicle bays, thus all 24 proposed flats have at least one motor vehicle parking bay, with a parking ratio of 1.42 bays per flat. This is very close to the 1.5 requirement for 2-bedroom flats. Though there are 3-bedroom flats proposed, it is considered that the 1.75 bays per flat can be accommodated by providing bicycle bays, as promoted for by the Stellenbosch Municipality in their IDP and SDF. It is also important to note that the application site is within walking distance from surrounding schools, commercial uses (Spar shopping centre), public transport and the</li> </ul>



University and therefore the use of bicycles in lieu of motor vehicles should be promoted. It is therefore argued that 6 vehicle bays are substituted by 36 bicycle bays.

- It is important to note that the proposed building line departures will not result in an increase in coverage or height, the proposed coverage of 64% is still well below too allowable 85% and the proposed 4 storeys are less than the allowable 6 storeys. If the proposed building lines are not supported, the building design would have to be amended which could result in a higher building (5 – 6 floors) to ensure that the development is still financially viable. As discussed under Section 3.1, the shape of the site makes it extremely difficult to stay within the 4.5m building lines.
- As the proposed development complies with the coverage, height and parking (with the bicycle bays included) the proposed building line departures will not result in the over development of the site.
- The proposed building line departures along Banhoek street allows the bulk of the building to be broken, thus creating a less bulky and more aesthetically pleasing building, which would greatly enhance the character of the area.
- Though the majority of the surrounding buildings are 1 storey buildings, it should be noted that most of these buildings along Banhoek street is zoned Mixed-Use. It can therefore be expected that these erven will also be redeveloped in future to the same (or more) height as the proposed building.
- The parking on ground floor will be shielded from view by the communal braai area on the southern boundary and landscaping along the street boundaries. It is motivated that the landscaping will greatly enhance the character of the surrounding street scape.
- The proposed building is not considered to be visually intrusive and will enhance the character of the area, especially as this site is currently vacant and derelict.
- The development of the site will greatly improve the safety of the area and could be seen as a catalyst for future development.
- The proposed development, situated within the urban edge will provide new upmarket, housing opportunities in Idas Valley.

	<ul style="list-style-type: none"> <li>- It is clear that that the building line departures will not result in an intrusive, overbearing building. As the proposed development complies with all the other building parameters, it is clear that the development cannot be considered as over development of the site.</li> <li>- It is considered that the proposed development an tie into the existing services network and no services upgrades are required to accommodate the proposed development.</li> <li>- The proposed development is considered as sensible infill development which will make optimal use of existing infrastructure within the urban edge.</li> <li>- The approval of the application will not have a negative impact on the surrounding properties.</li> </ul>
d. Comment in response to public participation.	The application to be advertised in accordance with the Stellenbosch Municipality's requirements.
e. Applicants response to comments received.	To be submitted as part of the Portfolio of Evidence upon conclusion of the Public Participation Process.
f. Investigations in terms of other laws.	Not Applicable.
g. Written assessment by planner.	To be done by the Stellenbosch Municipality.
h. Impact on municipal engineering services.	The proposed development will not have a negative impact on the Stellenbosch municipal engineering services, it will make use of the existing services. It is seen as a The development is considered a form of sensitive densification within the existing development rights of the property (being zoned Mixed-Use).
i. The IDP and SDF	See Section 4.2 below
j. Applicable structure plans	N/A
k. Applicable policies for decision making	Aligned.
l. Provincial spatial development framework	The application is in line with the Municipal and District SDF and IDP, which is informed by the provincial IDP and SDF which all promotes densification. Thus, the application is in line with the provincial SDF. Please also refer to Section 4.2 below.
m. Regional spatial development framework.	N/A
n. National policies, norms, and criteria.	N/A



<p>o. Chapter VI of the Land Use Planning Act</p>	<p><b>Spatial Justice:</b> The proposed development is situated within the urban edge, in an area earmarked for high density infill development.</p> <p><b>Spatial Sustainability:</b> Spatial sustainability would prioritise land use decisions that allow individuals to live close to where they work or study. As a result of the locality of the proposed development, it may contribute to relief the traffic congestion whilst allowing for more dense and efficient settlements.</p> <p><b>Efficiency:</b> This development is proposed on a brownfield site that will make use of the existing urban infrastructure. No services upgrades are required to accommodate the proposed development, it will result in the more efficient use of well-located land and existing infrastructure.</p> <p><b>Good Administration:</b> The proposed flats are in-line with the municipality's existing densification policies. The building presents an aesthetically pleasing public street interface. The approval of this application will be in the best interest of the Stellenbosch Municipality.</p> <p><b>Spatial Resilience:</b> It should be noted that this development is a brownfield development in an area of town that has already been urbanized. Thus, through this development, there will be no negative impact on vulnerable agricultural and/or natural areas; nor would there be any additional risk to the resilience of human residents in the area.</p>
<p>p. Applicable provisions of the zoning scheme</p>	<p>As discussed, the proposed development is in line with the provisions of the Zoning Scheme. The application is for building line departures only and permission to substitute vehicle parking with bicycle parking (in line with the Municipal Policies).</p>

Table 4 Assessment of Application in terms of Section 65 of the By-law

## 4.2 Consistency with the Applicable Spatial Development Frameworks

### 4.2.1 Western Cape Provincial Spatial Development Framework, 2014

The Western Cape Spatial Development Framework (hereafter referred to as 'the PSDF') identifies densification as one of the provincial objectives. The PSDF specifies that the residential density in urban areas be increased to 25 dwellings per hectare. This density should be achieved by means of urban development tools such as sectional title developments. This application complies with the PSD as it is proposed the development of a block of flats comprising 24 dwelling units on an erf of 1 201m<sup>2</sup>.

### 4.2.2 The Stellenbosch Municipality Integrated Development Plan, 2017

The current Stellenbosch Integrated Development Plan (hereafter referred to as "the IDP"), approved in May 2017 (and updated in May 2018), provides the detailed development plans for the Stellenbosch Municipal Area, over the short term (2017 – 2022) and long term; as well as reviewing some of the challenges and

opportunities experienced by the municipality. The IDP has also informed the municipality's recent Draft Spatial Development Framework (2019).

Overall, the IDP prioritises the densification of existing urban areas, by "focusing development in low-density areas, infill, and brownfield land before considering greenfield sites." Given that the site is currently vacant and not utilized at all, in combination with its ideal location near the town centre and university, the area is well-aligned with the IDP strategy of densifying brownfield sites.

Similarly, the IDP prioritises the objective of "Car Free Living" which refers to strategies that encourage more sustainable modes of travel such as public transportation, non-motorised transportation and other mechanisms to increase the number of passengers per vehicle. For such a strategy to be attained, the municipality must allow for the densification of areas of town that are easily accessible by pedestrians and cyclists and support the use of bicycles and motorbikes in lieu of motor vehicles.

#### 4.2.3 The Stellenbosch Municipality Spatial Development Framework, 2019

As indicated in the Stellenbosch Municipal Spatial Development Framework, the erven lie well within the urban edge of Stellenbosch Municipality, in an urban development area and within close proximity of an Activity Road (Rustenberg Road).

The SDF promotes densification and infill development within the urban edge and the following statements of the SDF should be noted:

- Managing residential growth of the town, through providing more inclusive house at higher densities than the norm, is vital. This can and must bring significant reductions in commuting by private vehicles to and within Stellenbosch town, and provide the preconditions for sustainable public transport and NMT to and within the town;
- Unless more opportunity is provided for both ordinary people working in Stellenbosch, and students, it will be difficult to impact on the number of people commuting to and from Stellenbosch town in private vehicles on a daily basis.
- Pro-actively support higher density residential infill development in the town centre, areas immediately surrounding it and along major routes (with consideration of historic areas and structures).

It is clear that the SDF supports and promotes infill development and densification.

In terms of access and movement, the SDF identifies Helshoogte Road, within close proximity of the site, as functioning beyond its capacity. It is the responsibility of development to ensure that non-motorised transport modes be promoted such as bicycles and walking. The development of this site will support non-motorised transport as the site is ideally situated within walking distance from all surrounding amenities although ample off-street parking is provided.

The SDF points out that the Municipality should "Pro-actively support higher density infill residential opportunity in the town centre and areas immediately surrounding it". Furthermore, and as part of the SDF's Implementation Framework, the Municipality must assist in the "broadening of residential opportunity for lower income groups, students, and the lower to middle housing market segments."

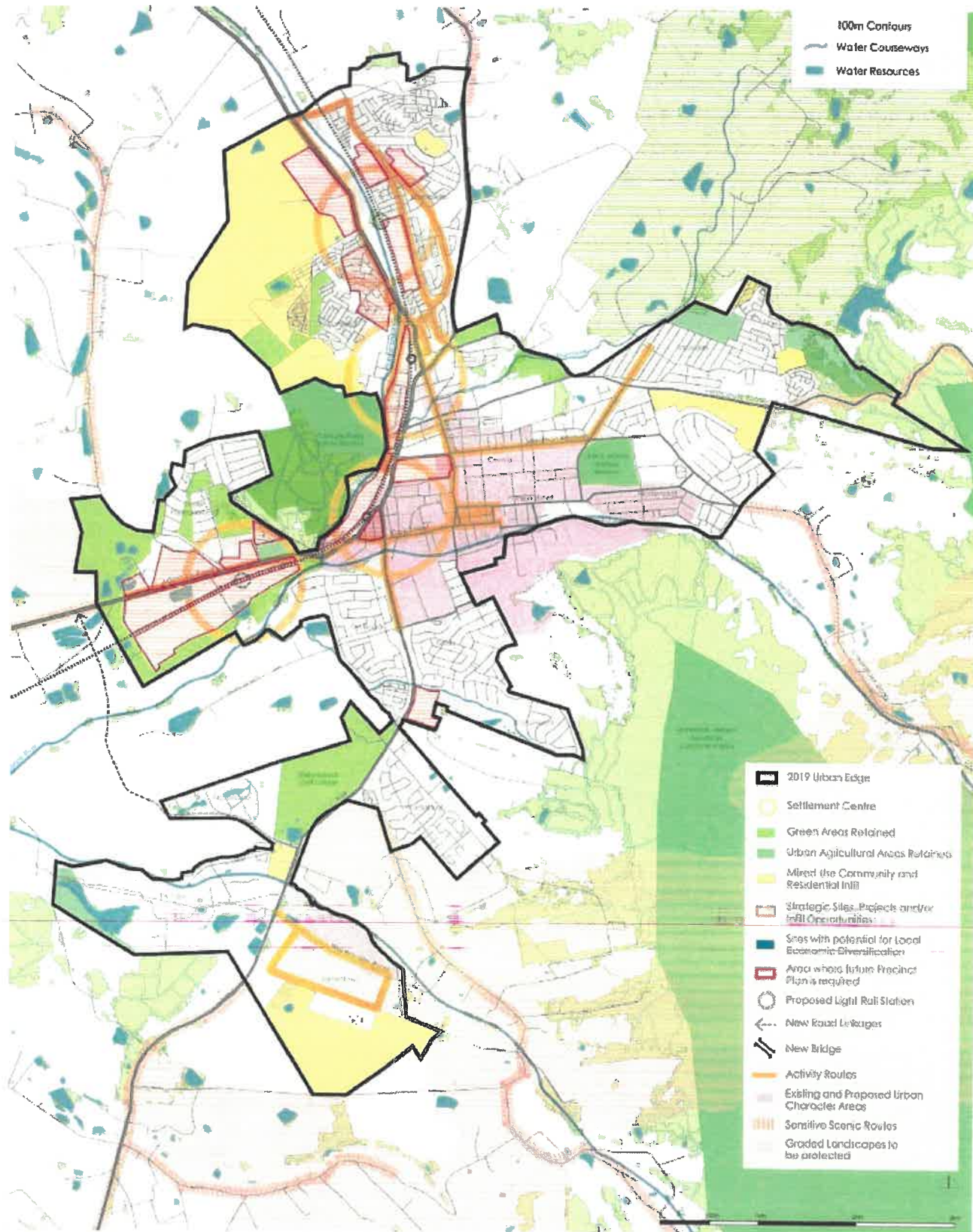


Figure 9 Stellenbosch SDF (2019)



To summarize:

- The proposed development complies with the National, Provincial and Local policy landscape, which all promote urban densification; particularly in centrally located areas.
- The proposed development is seen as sensible infill development within the urban edge.
- The proposed departures will not have a significant impact on adjoining or surrounding properties with regards to the loss of privacy.
- The proposed departures will not result in a visually intrusive building.
- The proposed building was designed in such a way to contribute to the visual character of the area and is considered to enhance and uplift the surrounding area.
- The proposed development is not seen as overdevelopment of the site.
- The proposed development allows for a higher-density residential development without compromising the character of the area.

## 5. Conclusion

In light of the above, Council is respectfully requested to approve the following:

i) A **Permanent Departure** to allow for the following building lines:

- Street building line (Banhoek street): Ground floor: 1m and 2m, Floors 1 – 3: 1m (balconies) and 2m (building) in lieu of 4.5m
- Street building line (Sonnebloem street): Floors 1 – 3: 3m in lieu of 4.5m
- Street building line (Juffernbrunch street): Floors 1 – 3: 1m (balconies) and 2m (building) in lieu of 4.5m
- Common boundary building line: All floors: 1m in lieu of 4.5m (staircase) and Floors 1 – 3: 3m in lieu of 4.5m

ii) **Permission** to substitute 6 vehicle parking bays with 36 bicycle bays

---

Report compiled by:



Marike Bolz (Pr. Plan A/060/2008)

for Arch Town Planners (Pty) Ltd

**COUNCIL STAMP BLOCK**

**BUILDING LINE NOTE**  
 THE RECORD PERMISSIBLE SET BUILDING LINE AS STIPULATED IN THE BY-LAW IS ILLUSTRATED IN PINK ON ALL PLANS. REFER TO THE SCHEDULE OF RIGHTS/DRAWINGS FOR THE NEWLY PROPOSED BUILDING LINES

**GENERAL NOTES**

NO REPRODUCTIONS ARE PERMITTED WITHOUT WRITTEN CONSENT. THE CLIENT ACCEPTS THE RESPONSIBILITY OF MATERIALS, THE CLIENT ACCEPTS THE RESPONSIBILITY OF MATERIALS, CONTENT AND STATEMENT.

**GENERAL NOTES:**  
 1.1.1 ALL BUILDING WORK TO COMPLY WITH SANS 10400 MUST BE CARRIED OUT IN ACCORDANCE WITH LOCAL AUTHORITIES BUILDING BY-LAWS AND REGULATIONS.  
 1.2 THIS DRAWING IS NOT TO BE SCALED, USE FIGURED DIMENSIONS ONLY.

1.3 THE CONTRACTOR, SUB-CONTRACTOR AND SUPPLIERS MUST VERIFY ALL DIMENSIONS, LEVELS, HEIGHTS OF PLUMBS, DEPTH OF EXCAVATIONS AND NUMBER OF STEPS ON SITE, BEFORE COMMENCING ANY WORK. DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY.

1.4 THE SITE TO BE TREATED IN ACCORDANCE WITH SANS CODE OF PRACTICE NO. 0124-1877 WITH 150L/DRAIN/100M<sup>2</sup> PERMEABLE SOIL COVER. 1.5.1 ALL LEVELS SHOWN ARE FINISHED FLOOR LEVELS UNLESS OTHERWISE STATED.

**STRUCTURAL NOTES:**  
 2.1.1 ALL STRUCTURAL WORK TO BE EXECUTED IN STRICT ACCORDANCE WITH ENGINEERS DETAILS & SPECIFICATIONS.

2.2.2.2 ALL FOUNDATIONS, FOUNDATION WALLS, STRUCTURAL CONCRETE WORK AND SUB SOIL FORMWATER DRAINAGE TO CIVIL AND STRUCTURAL ENGINEERS SPECIFICATIONS.

2.3.3 CONCRETE SURFACE BEDS ON 250 mm GREEN POLY-ETHYLENE DAMP PROOF MEMBRANE TO COMPLY WITH SANS 902, ON MIN 150mm LAYERS OF HARDOORE COMPACTED TO STRUCTURAL ENGINEERS DETAILS & SPECIFICATIONS.

**WALL NOTES:**  
 3.1.1 230mm BRICK WALLS WITH GUNDE BRICKWORK DPC FOR EXTERNAL WALLS UNLESS SPECIFIED OTHERWISE.

3.2.2 110mm BRICK WALLS WITH GUNDE BRICKWORK DPC FOR INTERNAL WALLS UNLESS SPECIFIED OTHERWISE.

3.3.3 ALL BRICKWORK MIN 7 MPa CLASS 3.4 WIRE TIES TO BE PLACED EVERY 3 BRICK COURSES.

3.4 IN FOUNDATION WALLS, THERE AFTER EVERY 5 BRICK COURSES, OR TO END SPECIFICATION.

3.5 CAVITY WALLS TO BE CLEAR OF DEBRIS AND TRASH.

3.6 ALL WINDOWS TO HAVE DPC ALL AROUND.

**PLUMBING AND DRAINAGE NOTES:**  
 4.1 ALL PLUMBING AND DRAINAGE WORKS NOT SPECIFIED BELOW MUST BE EXECUTED IN STRICT ACCORDANCE WITH SANS 10400 PART P.

4.2 ALL SUB-SOIL SEWER DRAINS TO HAVE A MINIMUM INTERNAL DIAMETER OF 100mm AND BE LAD AT A GRADIENT NOT LESS THAN 1:40 TOWARDS AN INTERCEPTING MANHOLE OR MUNICIPAL CONNECTION.

4.3 ACCESS POINTS TO BE PROVIDED INTO ALL DISCHARGE STACKS AT ANY SUITABLE HEIGHT, NOT EXCEEDING 2m ABOVE FINISHED GROUND LEVEL.

4.4 INSPECTION EYES TO ALL BENDS AND JUNCTIONS IN SOIL AND WASTE PIPES 45 DEGREE EYES AT HEAD OF DRAIN AT ALL CHANGES OF DIRECTION AND AT MAX OF 25m INTERVALS.

4.5 DRAIN PIPE TO BE ENCASED IN MIN 100mm CONCRETE.

4.7 ALL WASTE PIPE TO HAVE 65mm RE-SEAL TRAPS. ALL WASTE PIPES TO BE ACCESSIBLE OVER ENTIRE LENGTH FOR REPAIRS AND CLEANING.

4.8 ALL WASTE PIPES UNDER FLOOR SLAB TO BE SILENCED.

4.9 ALL SOIL FITTINGS WITH VERTICAL DISCHARGE GREATER THAN 1200mm TO HAVE ANTI-SIPHON VENTPIPPES. RAINWATER DOWNPIPES TO DISCHARGE A MIN OF 240mm FROM ANY OPEN SURFACES.

4.10 AGRICULTURAL DRAINS TO ENGINEERS SPECIFICATIONS. ALL DRAINAGE TO COMPLY WITH MUNICIPAL BY-LAWS.

4.11 AND ENGINEERS SPECIFICATIONS.

4.12 PIPE SIZES: BATH 50mm@ SHOWER 50mm@ BATH 50mm@ SINK 50mm@ W.C. 100mm@ C.V.P. 100mm@

**SIGNATURE BLOCK**

CLIENT	ARCHITECT	ENGINEER
company name: Varkloem PTY LTD	company: GASS Architecture Studios	company: XX
name: Earle Williams	name: Wessel van Dyk PrArch 7039	name: XX
signature: 	signature: 	signature: 

**SCHEDULE OF RIGHTS**

**PROPERTY DESCRIPTION**

Erf Numbers: ERF 3223      Site Area: 1204 m<sup>2</sup>  
 Township: Stellenbosch      Title Deed No: T8160/1928

**ZONING INFORMATION**

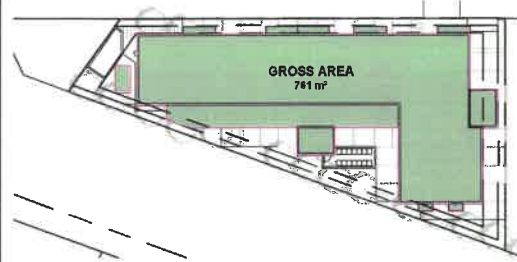
Town Planning Scheme	Stellenbosch	Amendment to scheme no.	NA
Use zone	Mixed Use Zone	Annexure number	NA

**DEVELOPMENT CONTROL MEASURES**

Permissible/ Required	Control	Actual/ Proposed
6 Storeys	Height	4 Storeys
85%	Coverage	64%
4.5m	Street Building Line (Helshoogte)	3m
4.5m	Street Building Line (Juffernbruch)	2m Building, 1m Balconies
4.5m	Street Building Line (Juffernbruch)	2m Building, 1m Balconies
4.5m	Common Building Line	3m Building, 1m Circulation
	Total Number of Apartments	24 Apartments
	Number of 3 Bed Apartments	15 x 3Bed Apartments
	Number of 2 Bed Apartments	9 x 2Bed Apartments
1.75 Bays per Apartment	3 Bed Apartment Parking Requirement	26,25 Bays
1.5 Bays per Apartment	2 Bed Apartment Parking Requirement	13,5 Bays
38,75 (40 Bays)	Total Parking Bays Provided	34 Bays + 36 Bicycle Bays = 40 Bays Provided

**OCCUPANCY CLASSIFICATIONS**

H3 (Domestic Residence) as per Table 1 in SANS 10400 Part A



**GROSS BUILDING AREA**  
Scale - 1 : 500

**SITE PLAN**  
Scale - 1 : 200



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**GENERAL NOTES**

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- THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL THE RELEVANT DRAWINGS AND SPECIFICATIONS ISSUED BY QUALIFIED ARCHITECTS, ENGINEERS, AND OTHER CONSULTANTS.
- ALL DIMENSIONS AND LEVELS MUST BE CHECKED ON SITE BY THE CONTRACTOR BEFORE PUTTING WORK IN HAND.

**REVISIONS**

NUMBER	REVISION DESCRIPTION	DATE	ISSUED BY
A	Base Documentation	2021-12-10	TS
B	Building Line Updates, Design Updates	2021-12-13	TS
C	Building Line & Parking Updates	2021-12-14	TS
D	Room Detail Drawings	2021-12-15	TS
E	Pool & Security Kiosk Design Update	2021-12-15	BS



**PROJECT DETAILS**

**ISSUED FOR INFORMATION**

PROJECT NAME VARKLOEM	PROJECT ADDRESS ERF 3223 ERASVALLE STELLENBOSCH
CLIENT EARLE WILLIAMS	GASS PROJECT NUMBER: -

**DRAWING TITLE**

SITE PLAN

**DRAWING INFO**

DRAWN	CHECKED	DATE	SCALE
TS	WVD	2021-12-15	As Indicated @ A1

**DRAWING NUMBER**

PROJECT CODE	ORIG.	ZONE	LEVEL	TYPE	ROLE	SERIES NUMBER	REV
-	-	-	-	-	-	-	000SP - E



JHB: +27 11 482 2045 CT: +27 21 001 0210 F: +98 888 4999  
 E: gvg@gass.co.za W: www.gass.co.za prArch: tg van gass - SACAP # 6802

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**COUNCIL STAMP BLOCK**

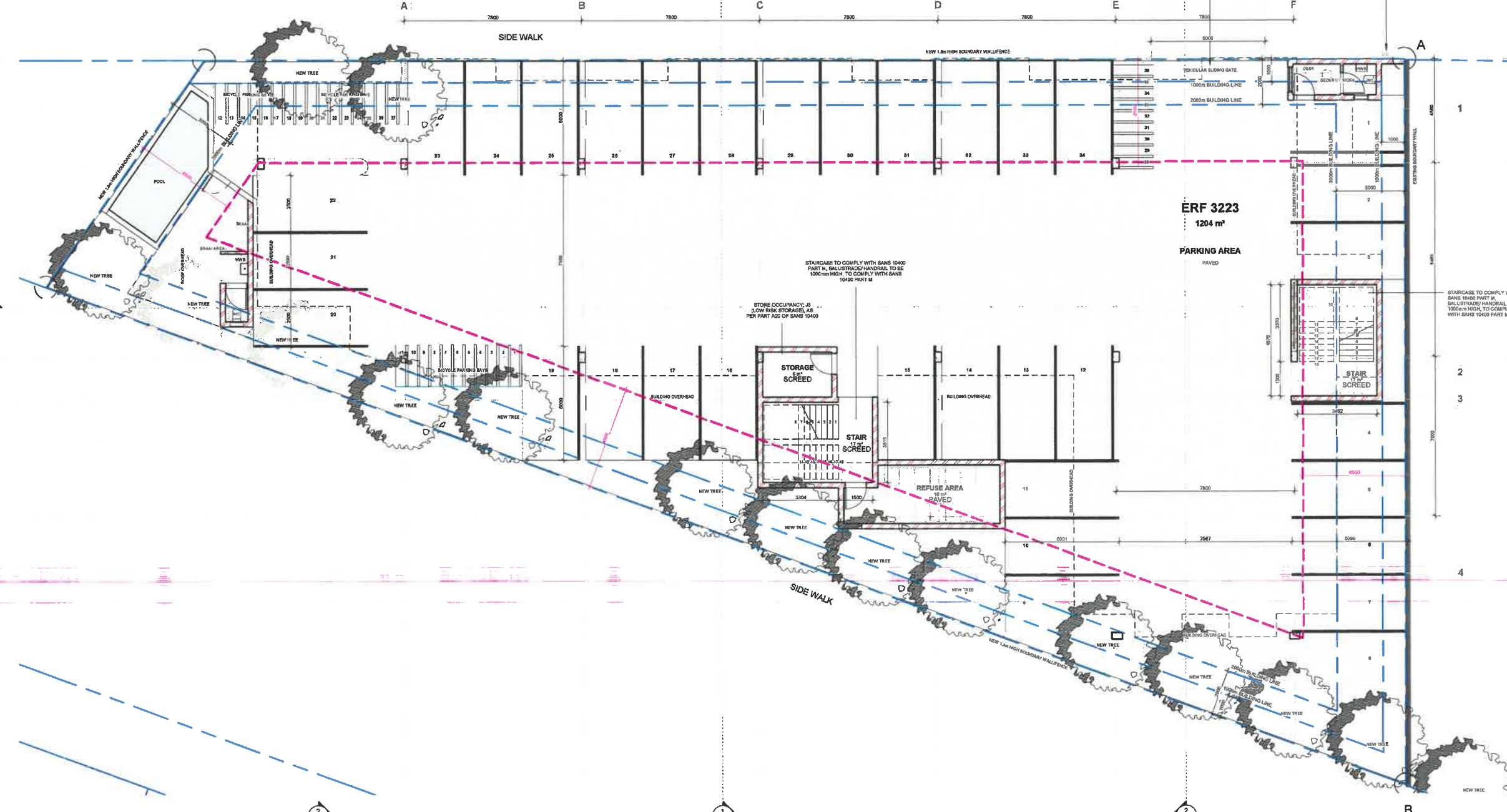
**BUILDING LINE NOTE**  
 THE RED LINE INDICATES THE BUILDING LINE AS STIPULATED IN THE BY-LAW IS ILLUSTRATED IN PINK ON ALL PLANS. REFER TO THE SCHEDULE OF PLOT/DRAWINGS FOR THE NEWLY PROPOSED BUILDING LINES

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  - 1.4.1.4 THE SITE TO BE TREATED IN ACCORDANCE WITH SABS CODE OF PRACTICE NO. 0124-1977 WITH SHELL-DRENTE TERTIARY SOIL POSSESSOR 1.5.1.5 ALL LEVELS SHOWN ARE FINISHED FLOOR LEVELS UNLESS OTHERWISE STATED.
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  - 2.3.1 CONCRETE SURFACE BEFOR ON 200mm GREEN POLY-ETHENE DAMP PROOF MEMBRANE TO COMPLY WITH SABS 952, ON MIN 150mm LAYERS OF HARDCORE COMPACTED TO STRUCTURAL ENGINEERS DETAILS & SPECIFICATIONS.
- WALL NOTES:**
- 3.1.1 230mm BRICK WALLS WITH GUNCLE BRICKWRP DPC FOR EXTERNAL WALLS UNLESS SPECIFIED OTHERWISE
  - 3.2.1 110mm BRICK WALLS WITH GUNCLE BRICKWRP DPC FOR INTERNAL WALLS UNLESS SPECIFIED OTHERWISE
  - 3.3.1 ALL BRICKWORK MIN 7 Mpa CLASS 2.3.4 WIRE TIES TO BE PLACED EVERY 3 BRICK COURSES
  - 3.4.1 IN FOUNDATION WALLS, THERE AFTER EVERY 5 BRICK COURSES, OR TO ENG SPECIFICATION.
  - 3.5.1 CAVITY WALLS TO BE CLEAR OF DEBRIS AND TRASH
  - 3.6.1 ALL WINDOWS TO HAVE DPC ALL AROUND
- PLUMBING AND DRAINAGE NOTES:**
- 4.1.1 ALL PLUMBING AND DRAINAGE WORKS NOT SPECIFIED BELOW MUST BE EXECUTED IN STRICT ACCORDANCE WITH SABS 10400 PART P.
  - 4.2.1 ALL SUB-SOIL SEWER DRAINS TO HAVE A MINIMUM INTERNAL DIAMETER OF 100mm AND BE LAID AT A GRADIENT NOT LESS THAN 1:40 TOWARDS AN INTERSECTING MANHOLE OR MULTIPLE CONNECTION.
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  - 4.4.1 INSPECTION EYES TO ALL BENDS AND JUNCTIONS IN SOIL AND WASTE PIPES 45 DEGREE EYES AT HEAD OF DRAIN AT ALL CHANGES OF DIRECTION AND AT MAX OF 25m INTERVALS.
  - 4.5.1 DRAIN PIPE TO BE ENCASED IN MIN 100mm CONCRETE
  - 4.6.1 ALL WASTE PIPE TO HAVE 65mm RE-SEAL TRAPS, ALL WASTE PIPES TO BE ACCESSIBLE OVER ENTIRE LENGTH FOR REPAIRS AND CLEANING.
  - 4.7.1 ALL WASTE PIPES UNDER FLOOR SLAB TO BE FLEEVED.
  - 4.8.1 ALL SOIL FITTINGS WITH VERTICAL DISCHARGE GREATER THAN 1200mm TO HAVE ANTISYPHON VENT PIPES. RAINWATER DOWNPIPES TO DISCHARGE A MIN OF 300mm FROM ANY OPEN GULLY.
  - 4.9.1 AGRICULTURAL DRAINS TO ENGINEERS SPECIFICATIONS. ALL DRAINAGE TO COMPLY WITH MUNICIPAL BY-LAWS
  - 4.10.1 AND ENGINEERS SPECIFICATIONS.
  - 4.11.1 PIPE SIZES: BATH 50mm@ W.C. 100mm@ C.V.P. 100mm@ 150mm@ SINK 50mm@ W.C. 100mm@ C.V.P. 100mm@

**SIGNATURE BLOCK**

CLIENT	ARCHITECT	ENGINEER
company name: Verblom PTY LTD	company: GASS Architecture Studios	company: XX
name: Earle Williams	name: Wessel van Dyk PrArch 7039	name: XX
signature: 	signature: 	signature: 



**GROUND FLOOR PLAN**  
 Scale - 1 : 100

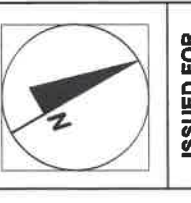
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**REVISIONS**

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A	Basic Documentation	2021-12-10	TS
B	Building Line Updates, Design Updates	2021-12-13	TS
C	Building Line & Parking Updates	2021-12-14	TS
D	Room Detail Drawings	2021-12-15	TS
E	Pool & Security Kiosk Design Update	2021-12-15	BS



**PROJECT DETAILS**

PROJECT NAME VERBLOM	SCALE As indicated @ A1
PROJECT ADDRESS ERF 3223 DASVALLEI STELLENBOSCH-1	DATE 2021-12-15
CLIENT EARLE WILLIAMS	SCALE As indicated @ A1
GASS PROJECT NUMBER: -	SCALE 1000PL - E

**DRAWING TITLE**

GROUND FLOOR PLAN	
<b>DRAWING INFO</b>	
DRAWN TS	CHECKED WVD
DATE 2021-12-15	SCALE As indicated @ A1
<b>DRAWING NUMBER</b>	
PROJECT CODE	ORIG. ZONE LEVEL TYPE ROLE SERIES NUMBER REV
-	- - - - - 1000PL - E



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JHB: +27 11 482 2045 CT: +27 21 001 0210 F: +86 689 4999  
 E: gvp@gass.co.za W: www.gass.co.za prArch: lg van gass - SACAP # 8602



**COUNCIL STAMP BLOCK**

**BUILDING LINE NOTE**  
 THE REDUCED PERMISSIBLE SET-BACK BUILDING LINE AS STIPULATED IN THE BY-LAW IS ILLUSTRATED IN PINK ON ALL PLANS. REFER TO THE SCHEDULE OF FIGURE DRAWINGS FOR THE NEWLY PROPOSED BUILDING LINES

**GENERAL NOTES**

1.1.1.1 ALL BUILDING WORK TO COMPLY WITH SABS 10400 AND BE CARRIED OUT IN ACCORDANCE WITH LOCAL AUTHORITIES BUILDING BY-LAWS AND REGULATIONS.

1.1.1.2 THIS DRAWING IS NOT TO BE SCALED, USE FIGURED DIMENSIONS ONLY.

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1.1.1.4 THE SITE TO BE TREATED IN ACCORDANCE WITH SABS CODE OF PRACTICE NO. 0124-1877 WITH SHELLDRYD THERMOSTATIC SOIL POSSENER. 1.5.1.5 ALL LEVELS SHOWN ARE FINISHED FLOOR LEVELS UNLESS OTHERWISE STATED.

1.2.1 ALL STRUCTURAL WORK TO BE EXECUTED IN STRICT ACCORDANCE WITH ENGINEERS DETAILS & SPECIFICATIONS.

1.2.2 ALL FOUNDATIONS, FOUNDATION WALLS, STRUCTURAL CONCRETE WORK AND SUB SOIL DRAINAGE TO CIVIL AND STRUCTURAL ENGINEERS SPECIFICATIONS.

1.2.3 CONCRETE SURFACE BEDS ON 250 micron GREEN POLY-THENE DAMP PROOF MEMBRANE TO COMPLY WITH SABS 802, ON MIN 150mm LAYERS OF HARDCORE IMPACTED TO STRUCTURAL ENGINEERS DETAILS & SPECIFICATIONS.

1.2.4 ALL BRICKWORK MIN 7 MPa CLASS 2.4 WIRE TIES TO BE PLACED EVERY 3 BRICK COURSES.

1.2.5 IN FOUNDATION WALLS, THERE AFTER EVERY 5 BRICK COURSES, OR TO ENG SPECIFICATION.

1.2.6 CAVITY WALLS TO BE CLEAR OF DEBRIS AND TRASH.

1.2.7 ALL WINDOWS TO HAVE DPC ALL AROUND.

1.2.8 PLUMBING AND DRAINAGE NOTES:  
 1.1 ALL PLUMBING AND DRAINAGE WORKS NOT SPECIFIED BELOW MUST BE EXECUTED IN STRICT ACCORDANCE WITH SABS 10400 PART 7.  
 1.2 ALL BURIED SEWER DRAINS TO HAVE A MINIMUM INTERNAL DIAMETER OF 100mm AND BE LAID AT A GRADIENT NOT LESS THAN 1:40 TOWARDS AN INTERSECTING MANHOLE OR MUNICIPAL CONNECTION.  
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 1.5 DRAIN PIPE TO BE ENCASED IN MIN 100mm CONCRETE.  
 1.6 ALL WASTE PIPE TO HAVE 65mm RE-SEAL TRAPS. ALL WASTE PIPES TO BE ACCESSIBLE OVER ENTIRE LENGTH FOR REPAIRS AND CLEANING.  
 1.7 ALL WASTE PIPES UNDER FLOOR SLAB TO BE SILEVED.  
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 1.6 ALL WASTE PIPE TO HAVE 65mm RE-SEAL TRAPS. ALL WASTE PIPES TO BE ACCESSIBLE OVER ENTIRE LENGTH FOR REPAIRS AND CLEANING.  
 1.7 ALL WASTE PIPES UNDER FLOOR SLAB TO BE SILEVED.  
 1.8 ALL SOIL FITTINGS WITH VERTICAL DISCHARGE GREATER THAN 1200mm TO HAVE ANTIBACKFLOW VALVES. RAINWATER DOWNPIPES TO DISCHARGE A MIN OF 450mm FROM ANY OPEN SPACES.  
 1.9 AGRICULTURAL DRAINS TO ENGINEERS SPECIFICATIONS. ALL DRAINAGE TO COMPLY WITH MUNICIPAL BY-LAWS.  
 1.10 AND ENGINEERS SPECIFICATIONS.  
 1.12 PIPE SIZES: BATH 50mm @ SHOWER 50mm @ BATH 50mm @ SINK 50mm @ W.C. 100mm @ O.V.P. 100mm @

1.3.8 ALL BRICKWORK MIN 7 MPa CLASS 2.4 WIRE TIES TO BE PLACED EVERY 3 BRICK COURSES.

1.3.9 IN FOUNDATION WALLS, THERE AFTER EVERY 5 BRICK COURSES, OR TO ENG SPECIFICATION.

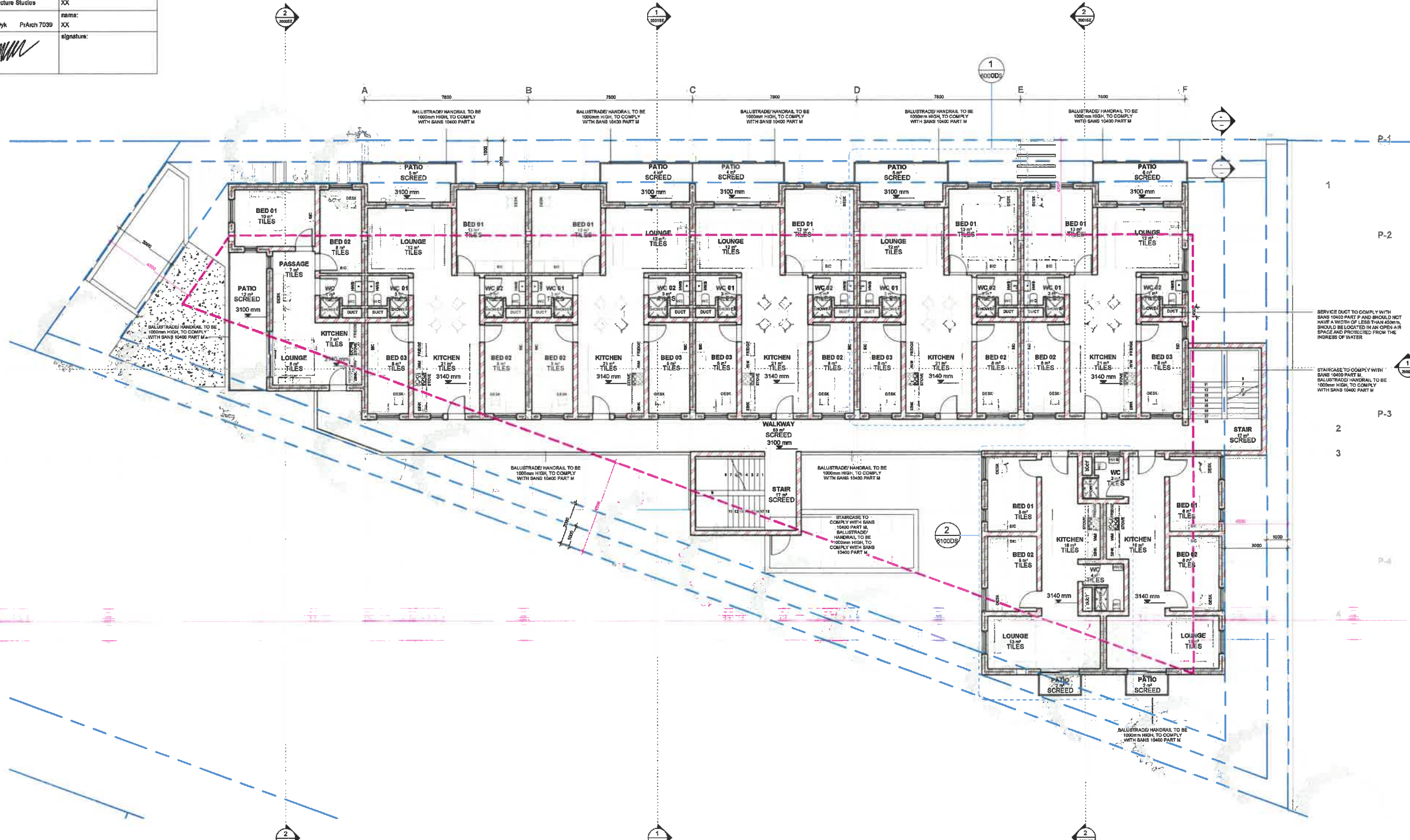
1.3.10 CAVITY WALLS TO BE CLEAR OF DEBRIS AND TRASH.

1.3.11 ALL WINDOWS TO HAVE DPC ALL AROUND.

1.3.12 PLUMBING AND DRAINAGE NOTES:  
 1.1 ALL PLUMBING AND DRAINAGE WORKS NOT SPECIFIED BELOW MUST BE EXECUTED IN STRICT ACCORDANCE WITH SABS 10400 PART 7.  
 1.2 ALL BURIED SEWER DRAINS TO HAVE A MINIMUM INTERNAL DIAMETER OF 100mm AND BE LAID AT A GRADIENT NOT LESS THAN 1:40 TOWARDS AN INTERSECTING MANHOLE OR MUNICIPAL CONNECTION.  
 1.3 ACCESS POINTS TO BE PROVIDED INTO ALL DISCHARGE STACKS AT ANY SUITABLE HEIGHT, NOT EXCEEDING 2m ABOVE FINISHED GROUND LEVEL.  
 1.4 INSPECTION EYES TO ALL BENDS AND JUNCTIONS IN SOIL AND WASTE PIPES 45 DEGREE EYES AT HEAD OF BRAN AT ALL CHANGES OF DIRECTION AND AT MAX OF 2m INTERVALS.  
 1.5 DRAIN PIPE TO BE ENCASED IN MIN 100mm CONCRETE.  
 1.6 ALL WASTE PIPE TO HAVE 65mm RE-SEAL TRAPS. ALL WASTE PIPES TO BE ACCESSIBLE OVER ENTIRE LENGTH FOR REPAIRS AND CLEANING.  
 1.7 ALL WASTE PIPES UNDER FLOOR SLAB TO BE SILEVED.  
 1.8 ALL SOIL FITTINGS WITH VERTICAL DISCHARGE GREATER THAN 1200mm TO HAVE ANTIBACKFLOW VALVES. RAINWATER DOWNPIPES TO DISCHARGE A MIN OF 450mm FROM ANY OPEN SPACES.  
 1.9 AGRICULTURAL DRAINS TO ENGINEERS SPECIFICATIONS. ALL DRAINAGE TO COMPLY WITH MUNICIPAL BY-LAWS.  
 1.10 AND ENGINEERS SPECIFICATIONS.  
 1.12 PIPE SIZES: BATH 50mm @ SHOWER 50mm @ BATH 50mm @ SINK 50mm @ W.C. 100mm @ O.V.P. 100mm @

**SIGNATURE BLOCK**

CLIENT	ARCHITECT	ENGINEER
company name: Verkblom PTY LTD	company: GASS Architecture Studios	company: XX
name: Earle Williams	name: Wessel van Dyk PrArch 7039	name: XX
signature:	signature: 	signature:



**FIRST FLOOR PLAN**  
 Scale - 1 : 100

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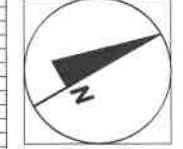
IN ACCORDANCE WITH THE RELEVANT CLAUSES OF THE COPYRIGHT ACT 1978 (ACT 96 OF 1978) RELATING TO ASSIGNMENT, ALL DOCUMENTS PREPARED BY GASS IN CONNECTION WITH THE PROJECT REMAIN THE PROPERTY AND COPYRIGHT OF GASS, SUBJECT TO THEIR USE BY THE CLIENT FOR THE PARTICULAR PROJECT TO WHICH THIS DOCUMENT RELATES, AND THE CLIENT SHALL NOT BE ENTITLED, EITHER DIRECTLY OR INDIRECTLY, TO MAKE USE OF THE DOCUMENT(S) FOR THE CARRYING OUT OF ANY ADDITIONAL OR SIMILAR WORKS OR PUBLISH THE SAME EXCEPT WITH THE PRIOR CONSENT FROM GASS.

**GENERAL NOTES**

1. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS.  
 2. ALL MATERIALS AND WORKMANSHIP ARE TO COMPLY WITH THE RELEVANT S.A.N.S. CODES.  
 3. THIS DRAWING IS NOT TO BE SCALED. FIGURED DIMENSIONS TO BE USED.  
 4. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL THE RELEVANT DRAWINGS AND SPECIFICATIONS ISSUED BY QUALIFIED ARCHITECTS, ENGINEERS, AND OTHER CONSULTANTS.  
 5. ALL DIMENSIONS AND LEVELS MUST BE CHECKED ON SITE BY THE CONTRACTOR BEFORE PUTTING WORK IN HAND.

**REVISIONS**

NUMBER	REVISION DESCRIPTION	DATE	ISSUED BY
A	Issue Documentation	2021-12-10	TS
B	Building Line Updates, Design Updates	2021-12-13	TS
C	Building Line & Parking Updates	2021-12-14	TS
D	Room Detail Drawings	2021-12-15	TS
E	Pool & Security Kiosk Design Updates	2021-12-15	BS



ISSUED FOR INFORMATION

**PROJECT DETAILS**

PROJECT NAME VARKBL
PROJECT ADDRESS ERF 3223 (EASVALLEI) STELLENBOSCH
CLIENT EARLE WILLIAMS
GASS PROJECT NUMBER: -

**DRAWING TITLE**

FIRST FLOOR PLAN			
<b>DRAWING INFO</b>			
DRAWN: TS	CHECKED: WVD	DATE: 2021-12-15	SCALE: As indicated @ A1
<b>DRAWING NUMBER</b>			
PROJECT CODE	ZONE	LEVEL	TYPE
- 1100PL - E			





**COUNCIL STAMP BLOCK**

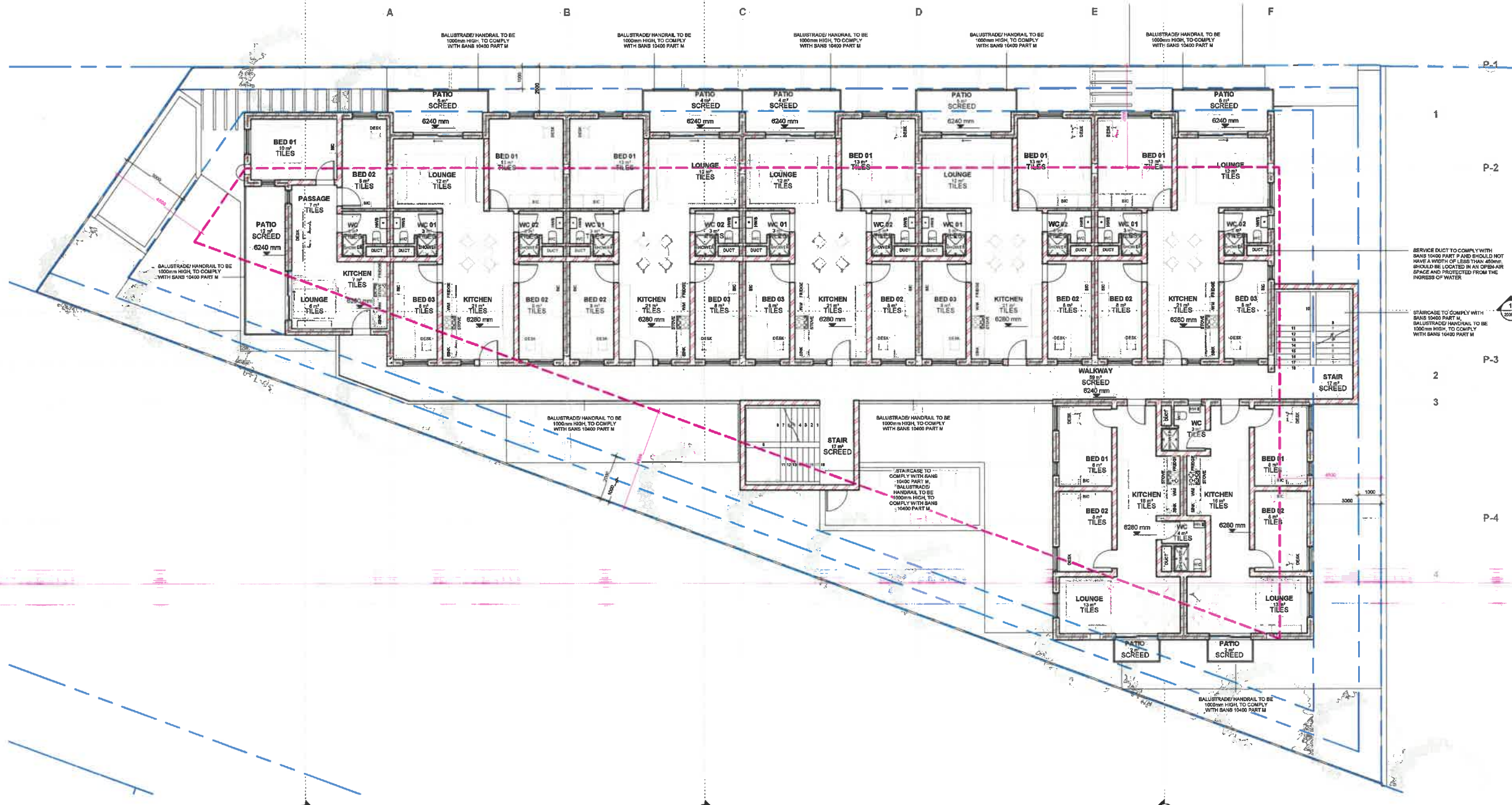
**BUILDING LINE NOTE**  
 THE REDUCED DIMENSIONED BUILDING LINE AS STIPULATED IN THE BY-LAW IS ILLUSTRATED IN PINK ON ALL PLANS. REFER TO THE SCHEDULE OF CONDITIONS DRAWINGS FOR THE NEWLY PROPOSED BUILDING LINES

**GENERAL NOTES**

- REPRODUCTIONS ARE PERMITTED WITHOUT WRITTEN CONSENT. THE CLIENT ACCEPTS THE RESPONSIBILITY OF MATERIALS, CONTENT AND STATEMENT.
- GENERAL NOTES:**
- 1.1.1 ALL BUILDING WORK TO COMPLY WITH SABS 10400 AND BE CARRIED OUT IN ACCORDANCE WITH LOCAL MUNICIPALITIES AUTHORITY'S BUILDING BY-LAWS AND REGULATIONS.
  - 1.2.1.2 THIS DRAWING IS NOT TO BE SCALED, USE FIGURED DIMENSIONS ONLY.
  - 1.2.1.3 THE CONTRACTOR, SUB-CONTRACTOR AND SUPPLIERS MUST VERIFY ALL DIMENSIONS, LEVELS, HEIGHTS OF PLINTHS, DEPTH OF EXCAVATIONS AND NUMBER OF STEPS ON SITE, BEFORE COMMENCING ANY SHOP DRAWINGS, MANUFACTURE AND/OR WORK. ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY.
  - 1.4.1.4 THE SITE TO BE TREATED IN ACCORDANCE WITH SABS CODE OF PRACTICE NO. 0124-1977 WITH SHELLDRIE TREATMENT SOIL. POSIBLER 1.5.1.5 ALL LEVELS SHOWN ARE FINISHED FLOOR LEVELS UNLESS OTHERWISE STATED.
- STRUCTURAL NOTES:**
- 2.1.2.1 ALL STRUCTURAL WORK TO BE EXECUTED IN STRICT ACCORDANCE WITH ENGINEERS DETAILS & SPECIFICATIONS.
  - 2.2.2.2 ALL FOUNDATIONS, FOUNDATION WALLS, STRUCTURAL CONCRETE WORK AND SUB SOIL DRAIN/WATER DRAINAGE TO CIVIL AND STRUCTURAL ENG. SPECIFICATIONS.
  - 2.2.2.3 CONCRETE SURFACE BEDS ON 250mm GREEN POLY-ETHYLENE DAMP PROOF MEMBRANE TO COMPLY WITH SABS 952, ON MIN 150mm LAYERS OF HARDCORE COMPACTED TO STRUCTURAL ENGINEERS DETAILS & SPECIFICATIONS.
- WALL NOTES:**
- 3.1.1 230mm BRICK WALLS WITH GUNDE BRICKRDP DPC FOR EXTERNAL WALLS UNLESS SPECIFIED OTHERWISE.
  - 3.2.2.2 110mm BRICK WALLS WITH GUNDE BRICKRDP DPC FOR INTERNAL WALLS UNLESS SPECIFIED OTHERWISE.
  - 3.3.2.3 ALL BRICKWORK MIN 7mm CLASS 2.4 WIRE TIE TO BE PLACED EVERY 3 BRICK COURSES.
  - 3.4 IN FOUNDATION WALLS, THERE AFTER EVERY 3 BRICK COURSES, OR TO ENG SPECIFICATION.
  - 3.5 CAVITY WALLS TO BE CLEAR OF DEBRIS AND TRASH.
  - 3.6 ALL WINDOWS TO HAVE DPC ALL AROUND.
- PLUMBING AND DRAINAGE NOTES:**
- 4.1 ALL PLUMBING AND DRAINAGE WORKS NOT SPECIFIED BELOW MUST BE EXECUTED IN STRICT ACCORDANCE WITH SABS 10400 PART P.
  - 4.2 ALL SUB-SOIL SEWER DRAINS TO HAVE A MINIMUM INTERNAL DIAMETER OF 100mm AND BE LAD AT A GRADIENT NOT LESS THAN 1:40 TOWARDS AN INTERSECTING MANHOLE OR MUNICIPAL CONNECTION.
  - 4.3 ACCESS POINTS TO BE PROVIDED INTO ALL DISCHARGE STACKS AT ANY SUITABLE HEIGHT, NOT EXCEEDING 2m ABOVE FINISHED GROUND LEVEL.
  - 4.4 INSPECTION EYES TO ALL BENDS AND JUNCTIONS IN SOIL AND WASTE PIPES 45 DEGREE EYES AT HEAD OF PIPES AT ALL CHANGES OF DIRECTION AND AT MAX OF 2.5m INTERVALS.
  - 4.5 DRAIN PIPE TO BE ENCASED IN MIN 100mm CONCRETE.
  - 4.7 ALL WASTE PIPE TO HAVE 85mm RE-SEAL TRAPS. ALL WASTE PIPES TO BE ACCESSIBLE OVER ENTIRE LENGTH FOR REPAIRS AND CLEANING.
  - 4.8 ALL WASTE PIPES UNDER FLOOR SLAB TO BE BELIEVED.
  - 4.9 ALL SOIL FITTINGS WITH VERTICAL DISCHARGE GREATER THAN 1200mm TO HAVE ANTI-VIBRATION MOUNTING. RAINWATER DOWNPIPES TO DISCHARGE A MIN OF 300mm FROM ANY OPEN GALLEY.
  - 4.10 AGRICULTURAL DRAINS TO ENGINEERS SPECIFICATIONS. ALL DRAINAGE TO COMPLY WITH MUNICIPAL BY-LAWS.
  - 4.11 AND ENGINEERS SPECIFICATIONS.
  - 4.12 PIPE SIZES: BATH 50mmØ SHOWER 60mmØ BASIN 80mmØ SINK 60mmØ W.C. 100mmØ O.V.P. 100mmØ

**SIGNATURE BLOCK**

CLIENT	ARCHITECT	ENGINEER
company name: Verdiom PTY LTD	company: GASS Architecture Studios	company: XX
name: Earle Williams	name: Wessel van Dyk PrArch 7039	name: XX
signature: 	signature: 	signature: XX



**SECOND FLOOR PLAN**  
 Scale - 1 : 100

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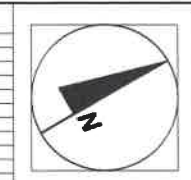
IN ACCORDANCE WITH THE RELEVANT CLAUSES OF THE COPYRIGHT ACT 1978 (ACT 96 OF 1978) RELATING TO ASSIGNMENT, ALL DOCUMENTS PREPARED BY GASS IN CONNECTION WITH THE PROJECT REMAIN THE PROPERTY AND COPYRIGHT OF GASS, SUBJECT TO THEIR USE BY THE CLIENT FOR THE PARTICULAR PROJECT TO WHICH THIS DOCUMENT RELATES, AND THE CLIENT SHALL NOT BE ENTITLED, EITHER DIRECTLY OR INDIRECTLY, TO MAKE USE OF THE DOCUMENT(S) FOR THE CARRYING OUT OF ANY ADDITIONAL OR SIMILAR WORKS OR PUBLISH THE SAME EXCEPT WITH THE PRIOR CONSENT FROM GASS.

**GENERAL NOTES**

- 1. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS.
- 2. ALL MATERIALS AND WORKMANSHIP ARE TO COMPLY WITH THE RELEVANT S.A.N.S. CODES.
- 3. THIS DRAWING IS NOT TO BE SCALED. FIGURED DIMENSIONS TO BE USED.
- 4. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL THE RELEVANT DRAWINGS AND SPECIFICATIONS ISSUED BY QUALIFIED ARCHITECTS, ENGINEERS, AND OTHER CONSULTANTS.
- 5. ALL DIMENSIONS AND LEVELS MUST BE CHECKED ON SITE BY THE CONTRACTOR BEFORE PUTTING WORK IN HAND.

**REVISIONS**

NUMBER	REVISION DESCRIPTION	DATE	ISSUED BY
A	Issue Documentation	2021-12-10	YS
B	Building Line Updates, Design Updates	2021-12-13	YS
C	Building Line & Parking Updates	2021-12-14	YS
D	Part A Security Kiosk Design Update	2021-12-15	BS



**ISSUED FOR INFORMATION**

PROJECT NAME  
 VARKELOM

PROJECT ADDRESS  
 ERF 323  
 (DARYVALLEI)  
 STELLENBOSCH

CLIENT  
 EARLE WILLIAMS

GASS PROJECT NUMBER: -

**PROJECT DETAILS**

PROJECT CODE	ORD.	ZONE	LEVEL	TYPE	ROLE	SERIES NUMBER	REV
-	-	-	-	-	-	-	-

**DRAWING TITLE**

SECOND FLOOR PLAN

**DRAWING INFO**

DRAWN	CHECKED	DATE	SCALE
TS	WVD	2021-12-15	As indicated @ A1

**DRAWING NUMBER**

PROJECT CODE ORD. ZONE LEVEL TYPE ROLE SERIES NUMBER REV

- - - - - 1200PL - D



JHB: +27 11 482 2045 CT: +27 21 001 0210 F: +86 686 4999  
 E: gvp@gass.co.za W: www.gass.co.za pr Arch: fg van gass - SACAP # 6602

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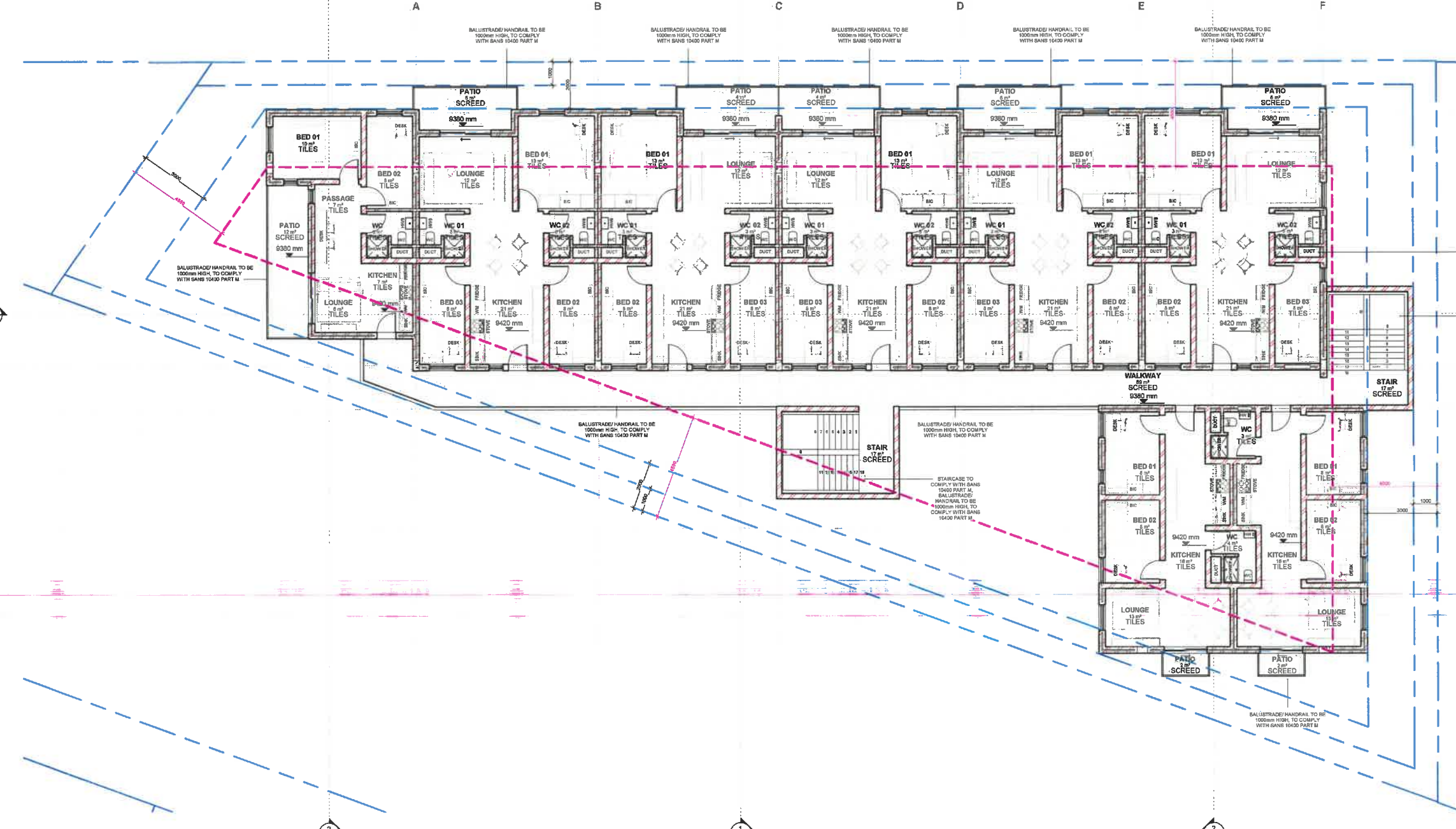
**BUILDING LINE NOTE**  
 THE REQUIRED PERMITTED 4.0m BUILDING LINE AS STIPULATED IN THE BY-LAW IS ILLUSTRATED IN PINK ON ALL PLANS. REFER TO THE SCHEDULE OF RIGHTS/SCHEMINGS FOR THE NEWLY PROPOSED BUILDING LINES

**GENERAL NOTES**

- NO REPRODUCTIONS ARE PERMITTED WITHOUT WRITTEN ASSIGNMENT. THE CLIENT ACCEPTS THE RESPONSIBILITY OF MATERIALS. THE CLIENT ACCEPTS THE RESPONSIBILITY OF MATERIALS, CONTENT AND STATEMENT.
- GENERAL NOTES:**
- 1.1.1 ALL BUILDING WORK TO COMPLY WITH SABS 10400 AND BE CARRIED OUT IN ACCORDANCE WITH LOCAL AUTHORITIES AUTHORITY BUILDING BYLAWS AND REGULATIONS.
  - 1.2.1.2 THIS DRAWING IS NOT TO BE SCALED. USE FIGURED DIMENSIONS ONLY.
  - 1.3.1.3 THE CONTRACTOR, SUB-CRONTACTOR AND SUPPLIERS MUST VERIFY ALL DIMENSIONS, LEVELS, HEIGHTS OF PLINTHS, DEPTH OF EXCAVATIONS AND NUMBER OF STEPS ON SITE, BEFORE COMMENCING ANY SHOP DRAWINGS, MANUFACTURE AND/OR WORK. ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY.
  - 1.4.1.4 THE SITE TO BE TREATED IN ACCORDANCE WITH SABS CODE OF PRACTICE NO. 0124-1977 WITH HILLDRITE TERTIARY SOIL. FORMER 1.5.1 ALL LEVELS SHOWN ARE FINISHED FLOOR LEVELS UNLESS OTHERWISE STATED.
- STRUCTURAL NOTES:**
- 2.1.1 ALL STRUCTURAL WORK TO BE EXECUTED IN STRICT ACCORDANCE WITH ENGINEERS DETAILS & SPECIFICATIONS.
  - 2.2.2 ALL FOUNDATIONS, FOUNDATION WALLS, STRUCTURAL CONCRETE WORK AND BUS SOIL STRORMWATER DRAINAGE TO CIVIL AND STRUCTURAL ENG. SPECIFICATIONS.
  - 2.3.2.3 CONCRETE SURFACE BEDS ON 200mm GREEN POLY-THERM DAMP PROOF MEMBRANE TO COMPLY WITH SABS 902. ON MIN 150mm LAYERS OF HARD CORE COMPACTED TO STRUCTURAL ENGINEERS DETAILS & SPECIFICATIONS.
- WALL NOTES:**
- 3.1.1.1 230mm BRICK WALLS WITH GUNDE BRICKGRIP DPC FOR EXTERNAL WALLS UNLESS SPECIFIED OTHERWISE.
  - 3.2.2 110mm BRICK WALLS WITH GUNDE BRICKGRIP DPC FOR INTERNAL WALLS UNLESS SPECIFIED OTHERWISE.
  - 3.3.2.3 ALL BRICKWORK MIN 7 Mpa CLASS 2.3.4 WIRE TIES TO BE PLACED EVERY 3 BRICK COURSES.
  - 3.4 IN FOUNDATION WALLS, THERE AFTER EVERY 6 BRICK COURSES, OR TO ENG SPECIFICATION.
  - 3.5 CAVITY WALLS TO BE CLEAR OF DEBRIS AND TRASH.
  - 3.6 ALL WINDOWS TO HAVE DPC ALL AROUND.
- PLUMBING AND DRAINAGE NOTES:**
- 4.1 ALL PLUMBING AND DRAINAGE WORKS NOT SPECIFIED BELOW MUST BE EXECUTED IN STRICT ACCORDANCE WITH SABS 10400 PART 4.
  - 4.2 ALL SUB-SOIL SINKWATER DRAINS TO HAVE A MINIMUM INTERNAL DIAMETER OF 100mm AND Laid AT A GRADIENT NOT LESS THAN 1:40 TOWARDS AN INTERSECTING MANHOLE OR MUNDIPLE CONNECTION.
  - 4.3 ACCESS POINTS TO BE PROVIDED INTO ALL DISCHARGE STACKS AT ANY SUITABLE HEIGHT, NOT EXCEEDING 2m ABOVE FINISHED GROUND LEVEL.
  - 4.4 INSPECTION EYES TO ALL BENDS AND JUNCTIONS IN SOIL AND WASTE PIPES 4.5 ROOFING EYES AT HEAD OF DRAIN AT ALL CHANGES OF DIRECTION AND AT MAX OF 25m INTERVALS.
  - 4.6 DRAIN PIPE TO BE ENCASED IN MIN 100mm CONCRETE.
  - 4.7 ALL WASTE PIPE TO HAVE 65mm RE-SEAL TRAPS. ALL WASTE PIPES TO BE ACCESSIBLE OVER ENTIRE LENGTH FOR REPAIRS AND CLEANING.
  - 4.8 ALL WASTE PIPES UNDER FLOOR SLAB TO BE SLEEVED.
  - 4.9 ALL SOIL FITTINGS WITH VERTICAL DISCHARGE GREATER THAN 1000mm TO HAVE ANTI-BACKFLOW VENTPIPER. RAINWATER DOWNPIPES TO DISCHARGE A MIN OF 240mm FROM ANY OPEN GULLY.
  - 4.10 AGRICULTURAL DRAINS TO ENGINEERS SPECIFICATIONS. ALL DRAINAGE TO COMPLY WITH MUNICIPAL BY-LAWS.
  - 4.11 AND ENGINEERS SPECIFICATIONS.
  - 4.12 PIPE SIZES: BATH 50mm Ø SHOWER 60mm Ø BASIN 100mm Ø SINK 50mm Ø W.C. 100mm Ø O.V.P. 100mm Ø

**SIGNATURE BLOCK**

CLIENT	ARCHITECT	ENGINEER
company name: Verblom PTY LTD	company: GASS Architecture Studios	company: XX
name: Earle Williams	name: Wessel van Dyk PrArch 7039	name: XX
signature:	signature:	signature:



**THIRD FLOOR PLAN**  
 Scale - 1 : 100

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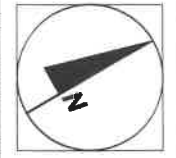
**GENERAL NOTES**

**REVISIONS**

IN ACCORDANCE WITH THE RELEVANT CLAUSES OF THE COPYRIGHT ACT 1978 (ACT 98 OF 1978) RELATING TO ASSIGNMENT, ALL DOCUMENTS PREPARED BY GASS IN CONNECTION WITH THE PROJECT REMAIN THE PROPERTY AND COPYRIGHT OF GASS, SUBJECT TO THEIR USE BY THE CLIENT FOR THE PARTICULAR PROJECT TO WHICH THIS DOCUMENT RELATES, AND THE CLIENT SHALL NOT BE ENTITLED, EITHER DIRECTLY OR INDIRECTLY, TO MAKE USE OF THE DOCUMENT(S) FOR THE CARRYING OUT OF ANY ADDITIONAL OR SIMILAR WORKS OR PUBLISH THE SAME EXCEPT WITH THE PRIOR CONSENT FROM GASS.

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4. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL THE RELEVANT DRAWINGS AND SPECIFICATIONS ISSUED BY QUALIFIED ARCHITECTS, ENGINEERS, AND OTHER CONSULTANTS.
5. ALL DIMENSIONS AND LEVELS MUST BE CHECKED ON SITE BY THE CONTRACTOR BEFORE PUTTING WORK IN HAND.

NUMBER	REVISION DESCRIPTION	DATE	ISSUED BY
A	Base Documentation	2021-12-10	TS
B	Building Line Updates, Design Updates	2021-12-13	TS
C	Building Line & Parking Updates	2021-12-14	TS
D	Pool & Security Kiosk Design Update	2021-12-15	BS



**ISSUED FOR INFORMATION**

**PROJECT DETAILS**

PROJECT NAME VERBLOM
PROJECT ADDRESS 515 VALLEI STELLENBOSCH
CLIENT EARLE WILLIAMS
GASS PROJECT NUMBER: -

**DRAWING TITLE**

THIRD FLOOR PLAN

**DRAWING INFO**

DRAWN	CHECKED	DATE	SCALE
TS	WVD	2021-12-15	As indicated @ A1

**DRAWING NUMBER**

PROJECT CODE	ORG.	ZONE	LEVEL	TYPE	ROLE	SERIES NUMBER	REV
-	-	-	-	-	-	1300PL	D



JHB: +27 11 482 2045 CT: +27 21 001 0210 F: +86 686 4999  
 E: gvg@gass.co.za W: www.gass.co.za pr:Arch: tg van gass - SACAP # 6602

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**SIGNATURE BLOCK**

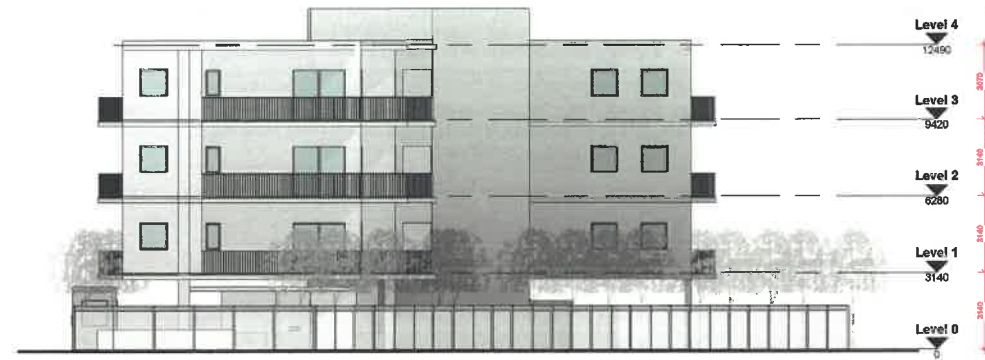
CLIENT	ARCHITECT	ENGINEER
company name: Varkeblom PTY LTD	company: GASS Architecture Studios	company: XX
name: Earle Williams	name: Wessel van Dyk Pr/Arch 7039	name: XX
signature:	signature: <i>[Signature]</i>	signature:



**EASTERN ELEVATION**  
Scale - 1 : 150



**NORTHERN ELEVATION**  
Scale - 1 : 150



**SOUTHERN ELEVATION**  
Scale - 1 : 150



**WESTERN ELEVATION**  
Scale - 1 : 150

**GENERAL NOTES**

REPRODUCTIONS ARE PERMITTED WITHOUT WRITTEN PERMISSION. THE CLIENT ACCEPTS THE RESPONSIBILITY OF MATERIALS, THE CLIENT ACCEPTS THE RESPONSIBILITY OF MATERIALS, CONTENT AND STATEMENT.

**GENERAL NOTES:**  
1.1.1 ALL BUILDING WORK TO COMPLY WITH SABS 1940 AND BE CARRIED OUT IN ACCORDANCE WITH LOCAL AUTHORITIES BUILDING BY-LAWS AND REGULATIONS.

1.2.1.2 THIS DRAWING IS NOT TO BE SCALED, USE FIGURED DIMENSIONS ONLY.

1.3.1.3 THE CONTRACTOR, SUB-CONTRACTOR AND SUPPLIERS MUST VERIFY ALL DIMENSIONS, LEVELS, HEIGHTS OF PLUMBING, DEPTH OF EXCAVATIONS AND NUMBER OF STEPS ON SITE, BEFORE COMMENCING ANY SHOP DRAWINGS, MANUFACTURE AND/OR WORK. ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY.

1.4.1.4 THE SITE TO BE TREATED IN ACCORDANCE WITH SABS CODE OF PRACTICE NO. 0124-1977 WITH SHELLDRITE TERMITENRISTE SOIL PESTICIDE 1.5.1.5 ALL LEVELS SHOWN ARE FINISHED FLOOR LEVELS UNLESS OTHERWISE STATED.

**STRUCTURAL NOTES:**  
2.1.2.1 ALL STRUCTURAL WORK TO BE EXECUTED IN STRICT ACCORDANCE WITH ENGINEERS DETAILS & SPECIFICATIONS.

2.2.2.2 ALL FOUNDATIONS, FOUNDATION WALLS, STRUCTURAL CONCRETE WORK AND SUB SOIL DRAIN/WATER DRAINAGE TO CIVIL AND STRUCTURAL ENG. SPECIFICATIONS.

2.3.2.3 CONCRETE SURFACE BEDS ON 250 micron GREEN POLY-ETHYLENE DAMP-PROOF MEMBRANE TO COMPLY WITH SABS 1992, ON MIN 150mm LAYERS OF HARDWARE COMPACTED TO STRUCTURAL ENGINEERS DETAILS & SPECIFICATIONS.

**WALL NOTES:**  
3.1.2.1 250mm BRICK WALLS WITH GUNDE BRICKGRP DPC FOR EXTERNAL WALLS UNLESS SPECIFIED OTHERWISE.

3.2.2.2 110mm BRICK WALLS WITH GUNDE BRICKGRP DPC FOR INTERNAL WALLS UNLESS SPECIFIED OTHERWISE.

3.3.2.3 ALL BRICKWORK MIN 7 mpa CLASS 2.3.4 WIRE TIES TO BE PLACED EVERY 3 BRICK COURSES.

3.4 IN FOUNDATION WALLS, THERE AFTER EVERY 5 BRICK COURSES, OR TO ENG SPECIFICATION.

3.5 CAVITY WALLS TO BE CLEAR OF DEBRIS AND TRASH.

3.6 ALL WINDOWS TO HAVE DPC ALL AROUND.

**PLUMBING AND DRAINAGE NOTES:**  
4.1 ALL PLUMBING AND DRAINAGE WORKS NOT SPECIFIED BELOW MUST BE EXECUTED IN STRICT ACCORDANCE WITH SABS 1040 PART P.

4.2 ALL SUB-SOIL SEWER DRAINS TO HAVE A MINIMUM INTERNAL DIAMETER OF 100mm AND BE LAD AT A GRADIENT NOT LESS THAN 1:40 TOWARDS AN INTERSECTING MANHOLE OR MUNICIPAL CONNECTION.

4.3 ACCESS POINTS TO BE PROVIDED INTO ALL DISCHARGE STACKS AT ANY SUITABLE HEIGHT, NOT EXCEEDING 2m ABOVE FINISHED GROUND LEVEL.

4.4 INSPECTION EYES TO ALL BENDS AND JUNCTIONS IN R/OIL AND WASTE PIPES 45 DEGREE EYES AT HEAD OF 150mm AT ALL CHANGES OF DIRECTION AND AT MAX OF 2m INTERVALS.

4.5 DRAIN PIPE TO BE ENCASED IN MIN 100mm CONCRETE.

4.7 ALL WASTE PIPE TO HAVE 65mm RE-SEAL TRAPS. ALL WASTE PIPES TO BE ACCESSIBLE OVER ENTIRE LENGTH FOR REPAIRS AND CLEANING.

4.8 ALL WASTE PIPES UNDER FLOOR SLAB TO BE FLEEVED.

4.9 ALL SOIL FITTINGS WITH VERTICAL DISCHARGE GREATER THAN 1200mm TO HAVE ANTI-PHON VENTPIPPES, RAINWATER DOWNPIPES TO DISCHARGE A MIN OF 240mm FROM ANY OPEN GULLEY.

4.10 AGRICULTURAL DRAINS TO ENGINEERS SPECIFICATIONS. ALL DRAINAGE TO COMPLY WITH MUNICIPAL BY-LAWS.

4.11 AND ENGINEERS SPECIFICATIONS.

4.12 PIPE SIZES: BATH 50mm@ W.C. 100mm@ O.V.P. 100mm@

**GLAZING NOTE**  
ALL GLAZING TO COMPLY WITH SABS 10400 PART W.

**SIZING NOTE**  
ALL MEASUREMENTS OF DOOR OPENINGS AND ALL DUCT CLIPPINGS OPENINGS TO BE VERIFIED ON SITE PRIOR TO MANUFACTURE.

ANY DISCREPANCIES TO BE DISCLOSED WITH THE ARCHITECT AS SOON AS THEY BECOME APPARENT.

ALL QUANTITIES TO BE CHECKED BY CONTRACTOR.

**GASS**  
ARCHITECTURE STUDIOS

JHB: +27 11 482 2045 CT: +27 21 001 0210 F: +86 686 4969  
E: gvg@gass.co.za W: www.gass.co.za pr/Arch: fg van gass - SACAP # 6802

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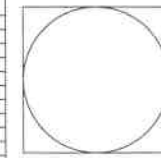
IN ACCORDANCE WITH THE RELEVANT CLAUSES OF THE COPYRIGHT ACT 1978 (ACT 98 OF 1978) RELATING TO ASSIGNMENT, ALL DOCUMENTS PREPARED BY GASS IN CONNECTION WITH THE PROJECT REMAIN THE PROPERTY AND COPYRIGHT OF GASS, SUBJECT TO THEIR USE BY THE CLIENT FOR THE PARTICULAR PROJECT TO WHICH THIS DOCUMENT RELATES, AND THE CLIENT SHALL NOT BE ENTITLED, EITHER DIRECTLY OR INDIRECTLY, TO MAKE USE OF THE DOCUMENT(S) FOR THE CARRYING OUT OF ANY ADDITIONAL OR SIMILAR WORKS OR PUBLISH THE SAME EXCEPT WITH THE PRIOR CONSENT FROM GASS.

**GENERAL NOTES**

1. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS.  
2. ALL MATERIALS AND WORKMANSHIP ARE TO COMPLY WITH THE RELEVANT S.A.N.S. CODES.  
3. THIS DRAWING IS NOT TO BE SCALED, FIGURED DIMENSIONS TO BE USED.  
4. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL THE RELEVANT DRAWINGS AND SPECIFICATIONS ISSUED BY QUALIFIED ARCHITECTS, ENGINEERS, AND OTHER CONSULTANTS.  
5. ALL DIMENSIONS AND LEVELS MUST BE CHECKED ON SITE BY THE CONTRACTOR BEFORE PUTTING WORK IN HAND.

**REVISIONS**

NUMBER	REVISION DESCRIPTION	DATE	ISSUED BY
A	Issue Documentation	2021-12-10	TS
B	Building Line Updates, Design Updates	2021-12-13	TS
C	Panel A Security Kiosk Design Update	2021-12-15	BS



**ISSUED FOR INFORMATION**

**PROJECT DETAILS**

PROJECT NAME VARKEBLOM
PROJECT ADDRESS ERF 3223 (DASVALLEI) STELLENBOSCH
CLIENT EARLE WILLIAMS
GASS PROJECT NUMBER: -

**DRAWING TITLE**

ELEVATIONS			
<b>DRAWING INFO</b>			
DRAWN	CHECKED	DATE	SCALE
TS	WVD	2021-12-15	As indicated @ A1
<b>DRAWING NUMBER</b>			
PROJECT CODE	ORIG.	ZONE	LEVEL
-	-	-	-
-			3000EL - C

**GENERAL NOTES**

NO REPRODUCTIONS ARE PERMITTED WITHOUT WRITTEN CONSENT. THE CLIENT ACCEPTS THE RESPONSIBILITY OF MATERIALS, THE CLIENT ACCEPTS THE RESPONSIBILITY OF MATERIALS, CONTENT AND STATEMENT.

**GENERAL NOTES:**  
 1.1.1.1 ALL BUILDING WORK TO COMPLY WITH SABS 1040 AND BE CARRIED OUT IN ACCORDANCE WITH LOCAL AUTHORITIES AUTHORITIES BUILDING BY-LAWS AND REGULATIONS.  
 1.2.1.2 THIS DRAWING IS NOT TO BE SCALED, USE FIGURED DIMENSIONS ONLY.

1.2.1.3 THE CONTRACTOR, SUB-CONTRACTOR AND SUPPLIERS MUST VERIFY ALL DIMENSIONS, LEVELS, HEIGHTS OF PLINths, DEPTH OF EXCAVATIONS AND NUMBER OF STEPS ON SITE, BEFORE COMMENCING ANY SHOP DRAWINGS, MANUFACTURE AND/OR WORK. ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY.

1.4.1.4 THE SITE TO BE TREATED IN ACCORDANCE WITH SABS CODE OF PRACTICE NO. 0124-1977 WITH SHALLOTTED TERRITORY SOIL POSSESSOR 1.5.1.5 ALL LEVELS SHOWN ARE FINISHED FLOOR LEVELS UNLESS OTHERWISE STATED.

**STRUCTURAL NOTES:**  
 2.1.2.1 ALL STRUCTURAL WORK TO BE EXECUTED IN STRICT ACCORDANCE WITH ENGINEERS DETAILS & SPECIFICATIONS.

2.2.2.2 ALL FOUNDATIONS, FOUNDATION WALLS, STRUCTURAL CONCRETE WORK AND SUB SOIL, STORMWATER DRAINAGE TO CIVIL AND STRUCTURAL ENG. SPECIFICATIONS.

2.3.2.3 CONCRETE SURFACE BEDS ON 200 REB01 GREEN POLY. THENE DAMP PROOF MEMBRANE TO COMPLY WITH SABS 902, ON MIN 150mm LAYERS OF HARDCORE COMPACTED TO STRUCTURAL ENGINEERS DETAILS & SPECIFICATIONS.

**WALL NOTES:**  
 3.1.3.1 230mm BRICK WALLS WITH GUNDE BRICKGRIP DPC FOR EXTERNAL WALLS UNLESS SPECIFIED OTHERWISE.  
 3.2.3.2 110mm BRICK WALLS WITH GUNDE BRICKGRIP DPC FOR INTERNAL WALLS UNLESS SPECIFIED OTHERWISE.  
 3.3.3.3 ALL BRICKWORK MIN 7 Mpa CLASS 3.4 WIRE TIES TO BE PLACED EVERY 3 BRICK COURSES.

3.4 IN FOUNDATION WALLS, THERE AFTER EVERY 5 BRICK COURSES, OR TO ENG SPECIFICATION.

3.5 CAVITY WALLS TO BE CLEAR OF DEBRIS AND TRASH.

3.6 ALL WINDOWS TO HAVE DPC ALL AROUND.

**PLUMBING AND DRAINAGE NOTES:**  
 4.1 ALL PLUMBING AND DRAINAGE WORKS NOT SPECIFIED BELOW MUST BE EXECUTED IN STRICT ACCORDANCE WITH SABS 1040 PART 9.

4.2 ALL SUBSOIL SEWER DRAINS TO HAVE A MINIMUM INTERNAL DIAMETER OF 100mm AND BE LAID AT A GRADIENT NOT LESS THAN 1:40 TOWARDS AN INTERSECTING MANHOLE OR MULTIPLE CONNECTION.

4.3 ACCESS POINTS TO BE PROVIDED INTO ALL DISCHARGE STACKS AT ANY SUITABLE HEIGHT, NOT EXCEEDING 2m ABOVE FINISHED GROUND LEVEL.

4.4 INSPECTION EYES TO ALL BENDS AND JUNCTIONS IN SOIL AND WASTE PIPES 4.5 RODDING EYES AT HEAD OF DRAIN AT ALL CHANGES OF DIRECTION AND AT MAX OF 20m INTERVALS.

4.6 DRAIN PIPE TO BE ENCASED IN MIN 100mm CONCRETE.

4.7 ALL WASTE PIPE TO HAVE 65mm RE-SEAL TRAPS. ALL WASTE PIPES TO BE ACCESSIBLE OVER ENTIRE LENGTH FOR REPAIRS AND CLEANING.

4.8 ALL WASTE PIPES UNDER FLOOR SLAB TO BE BELIEVED.

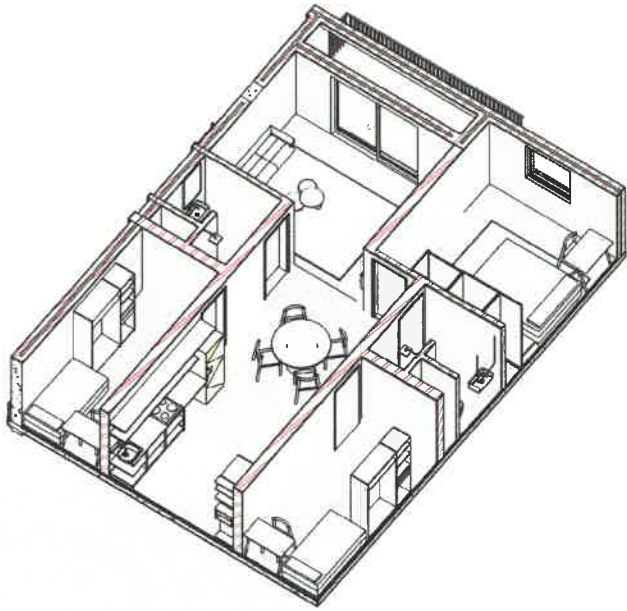
4.9 ALL SOIL FITTINGS WITH VERTICAL DISCHARGE GREATER THAN 1200mm TO HAVE ANTI-SIPHON VENTPIPS. RAINWATER DOWNPIPES TO DISCHARGE A MIN OF 2400mm FROM ANY OPEN GULLY.

4.10 AGRICULTURAL DRAINS TO ENGINEERS SPECIFICATIONS. ALL DRAINAGE TO COMPLY WITH MUNICIPAL BY-LAWS.

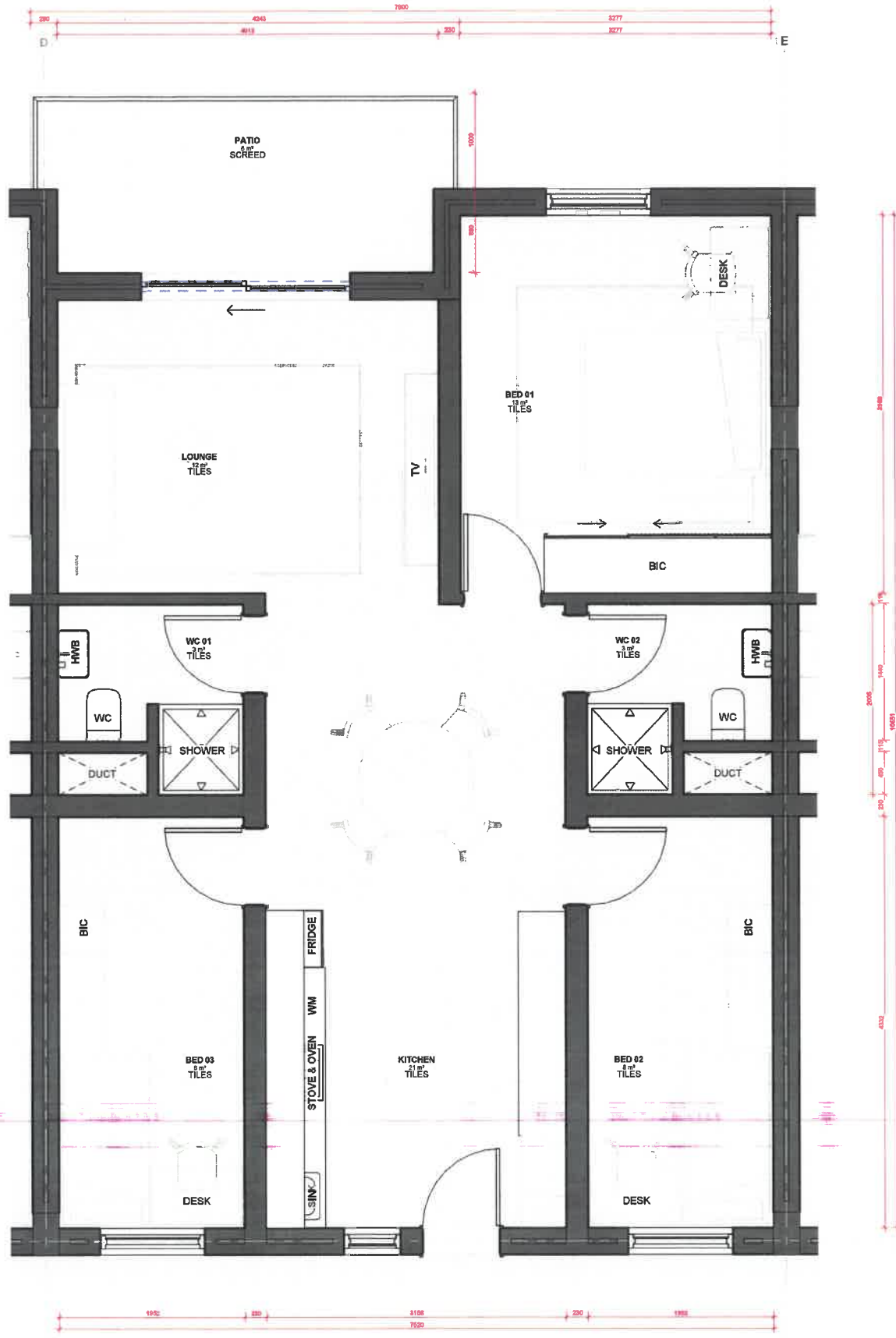
4.11 AND ENGINEERS SPECIFICATIONS.  
 4.12 PIPE SIZES: BATH 50mm Ø SHOWER 50mm Ø BATH 50mm Ø SINK 50mm Ø W.C. 100mm Ø C.V.P. 103mm Ø



**LOCALITY PLAN**  
 Scale - 1 : 500



**3BED UNIT - 3D VIEW 01**  
 Scale -



**3BED UNIT - LAYOUT PLAN**  
 Scale - 1 : 30

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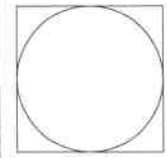
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**REVISIONS**

NUMBER	REVISION DESCRIPTION	DATE	ISSUED BY
A	Room Detail Drawings	2021-12-15	TS



**ISSUED FOR INFORMATION**

**PROJECT DETAILS**

PROJECT NAME  
 VARKLOM  
 PROJECT ADDRESS  
 ERF 2223  
 (DARVALLE)  
 STELLENBOSCH  
 CLIENT  
 EARLE WILLIAMS  
 GASS PROJECT NUMBER: -

**DRAWING TITLE**

ROOM DETAIL DRAWING - 3BED  
**DRAWING INFO**  

DRAWN	CHECKED	DATE	SCALE
TS	WVD	2021-12-15	As Indicated

**DRAWING NUMBER**  

PROJECT CODE	ORG.	ZONE	LEVEL	TYPE	ROLE	REV	NO.
-	-	-	-	-	-	-	6000DS - A



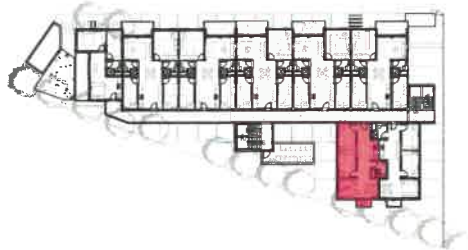
JHB: +27 11 462 2045 CT: +27 21 001 0210 F: +86 688 4999  
 E: gpr@gass.co.za W: www.gass.co.za P: Arch: tg van gass - SACAP # 6602



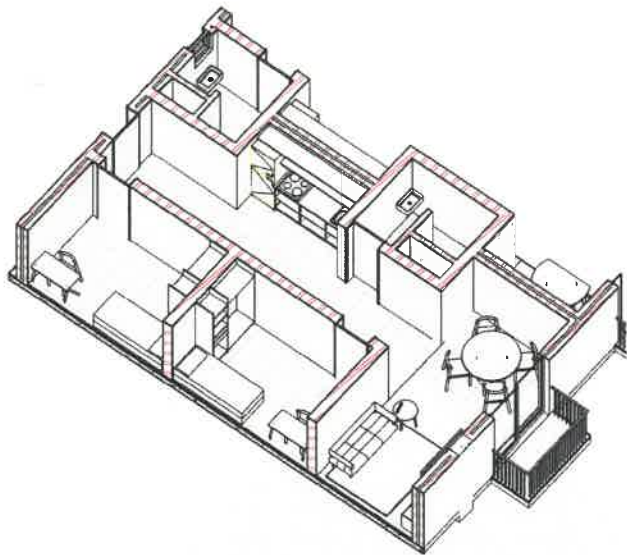
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  - 1.1.2 THIS DRAWING IS NOT TO BE SCALED, USE FIGURED DIMENSIONS ONLY.
  - 1.1.3 THE CONTRACTOR, SUB-CONTRACTOR AND SUPPLIERS MUST VERIFY ALL DIMENSIONS, LEVELS, HEIGHTS OF PLUMBING, DEPTH OF EXCAVATIONS AND NUMBER OF STEPS ON SITE, BEFORE COMMENCING ANY SHOP DRAWINGS, MANUFACTURE AND/OR WORK. ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY.
  - 1.1.4 THE SITE TO BE TREATED IN ACCORDANCE WITH SABS CODE OF PRACTICE NO. 0124-1977 WITH SHELLDORITE TERNITERRITE SOIL POSSESSOR. 1.5 1.5 ALL LEVELS SHOWN ARE FINISHED FLOOR LEVELS UNLESS OTHERWISE STATED.
- STRUCTURAL NOTES:**
- 2.1.2.1 ALL STRUCTURAL WORK TO BE EXECUTED IN STRICT ACCORDANCE WITH ENGINEERS DETAILS & SPECIFICATIONS.
  - 2.2.2.2 ALL FOUNDATIONS, FOUNDATION WALLS, STRUCTURAL CONCRETE WORK AND SUB SOIL BOTTOMWATER DRAINAGE TO CIVIL AND STRUCTURAL ENG. SPECIFICATIONS.
  - 2.2.2.3 CONCRETE SURFACE BEDS ON 250mm GREEN POLY. THENE DAMP PROOF MEMBRANE TO COMPLY WITH SABS 902, ON MIN 150mm LAYERS OF HARDCORE COMPACTED TO STRUCTURAL ENGINEERS DETAILS & SPECIFICATIONS.
- WALL NOTES:**
- 3.1.3.1 230mm BRICK WALLS WITH GUNDE BRICK/SP DPC FOR EXTERNAL WALLS UNLESS SPECIFIED OTHERWISE.
  - 3.1.3.2 110mm BRICK WALLS WITH GUNDE BRICK/SP DPC FOR INTERNAL WALLS UNLESS SPECIFIED OTHERWISE.
  - 3.1.3.3 ALL BRICKWORK MIN 7 Mpa CLASS 2.3.4 WIRE TIES TO BE PLACED EVERY 3 BRICK COURSES.
  - 3.1.4 IN FOUNDATION WALLS, THERE AFTER EVERY 6 BRICK COURSES, OR TO ENG SPECIFICATION.
  - 3.1.6 CAVITY WALLS TO BE CLEAR OF DEBRIS AND TRASH.
  - 3.1.6 ALL WINDOWS TO HAVE DPC ALL AROUND.
- PLUMBING AND DRAINAGE NOTES:**
- 4.1 ALL PLUMBING AND DRAINAGE WORKS NOT SPECIFIED BELOW MUST BE EXECUTED IN STRICT ACCORDANCE WITH SABS 1000 PART 1.
  - 4.2 ALL SUB-SOIL SEWER DRAINS TO HAVE A MINIMUM INTERNAL DIAMETER OF 100mm AND BE LAID AT A GRADIENT NOT LESS THAN 1:40 TOWARDS AN INTERSECTING MANHOLE OR MUNICIPAL CONNECTION.
  - 4.3 ACCESS POINTS TO BE PROVIDED INTO ALL DISCHARGE STACKS AT ANY SUITABLE HEIGHT, NOT EXCEEDING 2m ABOVE FINISHED GROUND LEVEL.
  - 4.4 INSPECTION EYES TO ALL BENDS AND JUNCTIONS IN SOIL AND WASTE PIPES 45 RODDING EYES AT HEAD OF DRAIN AT ALL CHANGES OF DIRECTION AND AT MAX OF 25m INTERVALS.
  - 4.5 DRAIN PIPE TO BE ENCASED IN MIN 100mm CONCRETE.
  - 4.7 ALL WASTE PIPE TO HAVE 60mm RE-SEAL TRAPS. ALL WASTE PIPES TO BE ACCESSIBLE OVER ENTIRE LENGTH FOR REPAIRS AND CLEANING.
  - 4.8 ALL WASTE PIPES UNDER FLOOR SLAB TO BE FLEEVED.
  - 4.8 ALL SOIL FITTINGS WITH VERTICAL DISCHARGE GREATER THAN 1200mm TO HAVE ANTI-SIPHON VENTPIPPES. RAINWATER DOWNPIPES TO DISCHARGE A MIN OF 240mm FROM ANY OPEN GULLEY.
  - 4.10 AGRICULTURAL DRAINS TO ENGINEERS SPECIFICATIONS. ALL DRAINAGE TO COMPLY WITH MUNICIPAL BY-LAWS.
  - 4.11 AND ENGINEERS SPECIFICATIONS.
  - 4.12 PIPE SIZES: BATH 50mm Ø SHOWER 50mm Ø BASIN 110mm Ø SINK 50mm Ø W.C. 100mm Ø C.V.P. 100mm Ø

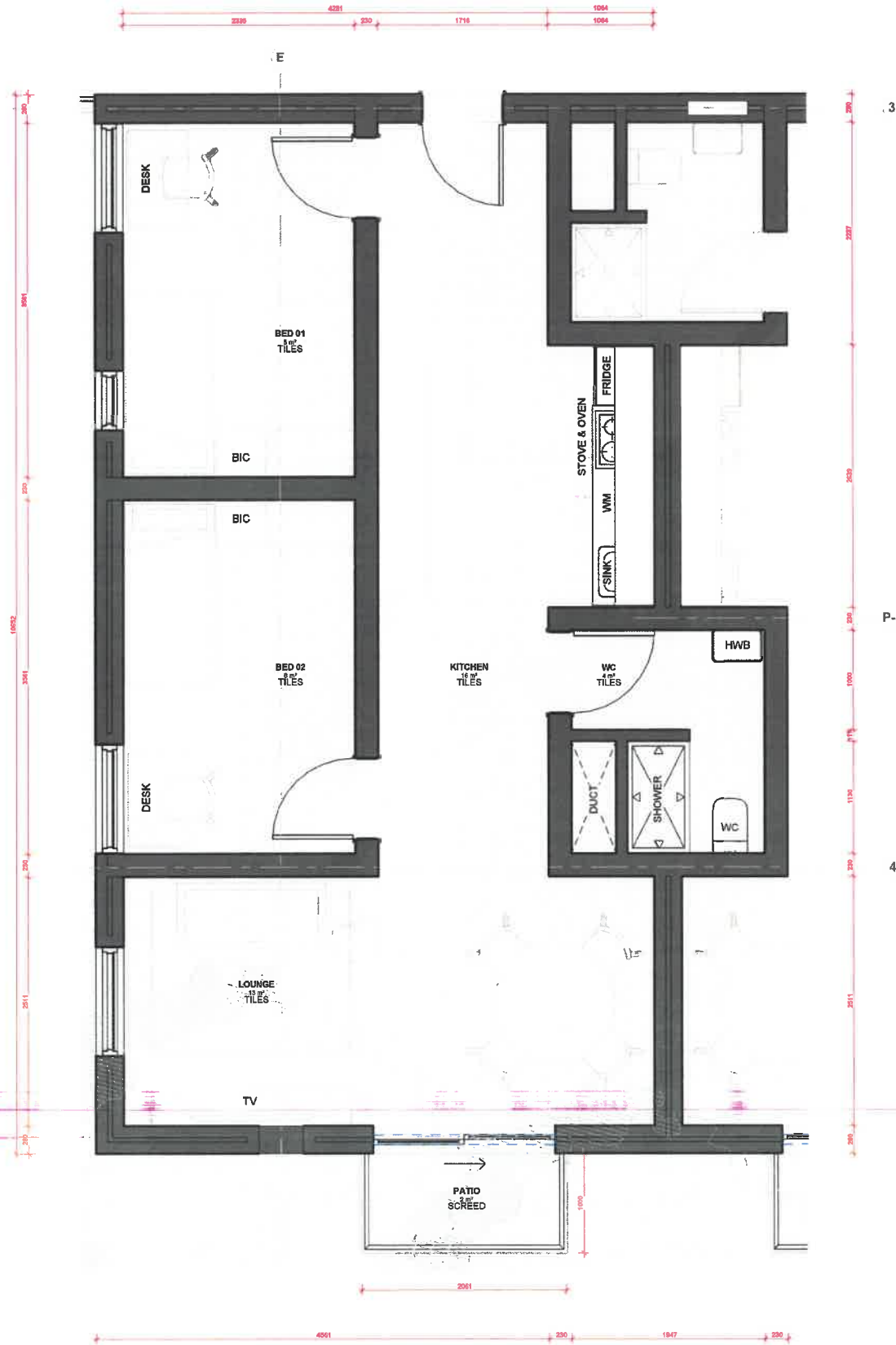
**LOCALITY PLAN**  
Scale - 1 : 500



**2BED UNIT - 3D VIEW 01**  
Scale -



**2BED UNIT - LAYOUT PLAN**  
Scale - 1 : 30



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**REVISIONS**

NUMBER	REVISION DESCRIPTION	DATE	ISSUED BY
A	Room Detail Drawings	2021-12-15	Ts

**GASS**  
ARCHITECTURE STUDIOS

JHB: +27 11 482 2045 CT: +27 21 001 0210 F: +86 888 4999  
E: gvp@gass.co.za W: www.gass.co.za pr:Arch: tg van gass - SACAP # 6602

**PROJECT DETAILS**

PROJECT NAME  
VARKLOM

PROJECT ADDRESS  
ERF 3223  
DARVALLE  
STELLENBOSCH

CLIENT  
EARLE WILLIAMS

GASS PROJECT NUMBER: -

**DRAWING TITLE**

ROOM DETAIL DRAWING - 2BED

**DRAWING INFO**

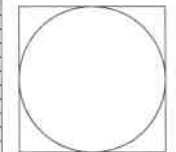
DRAWN	CHECKED	DATE	SCALE
TS	WD	2021-12-15	As indicated @ A1

**DRAWING NUMBER**

PROJECT CODE	ORG.	ZONE	LEVEL	TYPE	ROLE	REVISED NUMBER	REV
-	-	-	-	-	-	-	-

GASS PROJECT NUMBER: -

ISSUED FOR INFORMATION





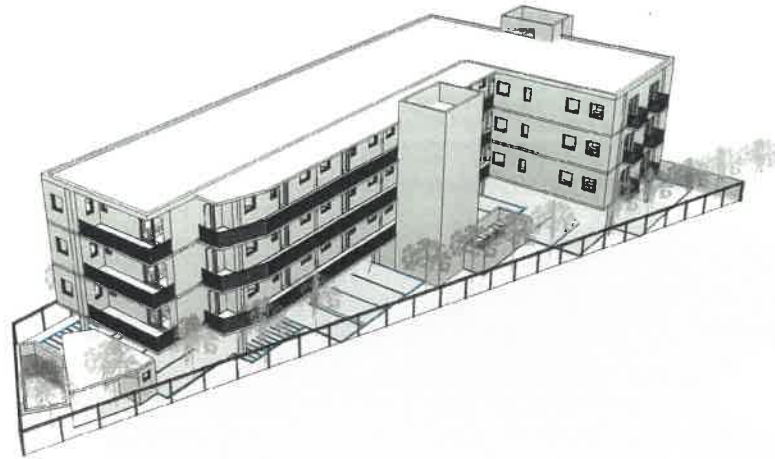
**COUNCIL STAMP BLOCK**

**SIGNATURE BLOCK**

CLIENT	ARCHITECT	ENGINEER
company name: Varkblom PTY LTD	company: GASS Architecture Studios	company: XX
name: Earle Williams	name: Wessel van Dyk PrArch 7039	name: XX
signature: 	signature: 	signature: 



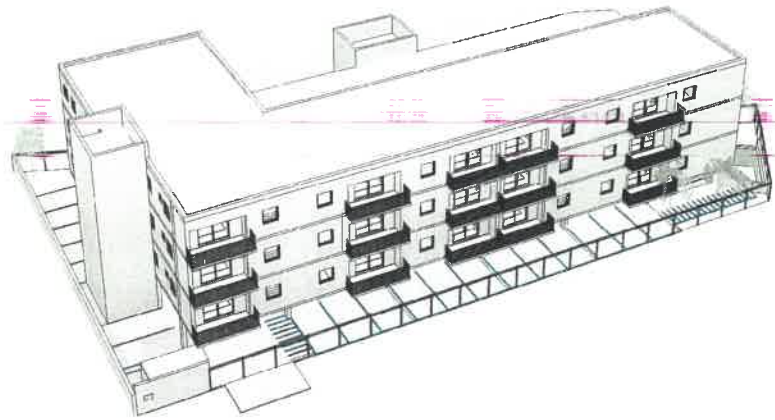
**3D View 1**  
Scale -



**3D View 4**  
Scale -



**3D View 2**  
Scale -



**3D View 5**  
Scale -



**3D View 3**  
Scale -

**GENERAL NOTES**

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1.4.1.4 THE SITE TO BE TREATED IN ACCORDANCE WITH SABS CODE OF PRACTICE NO. 0124-1977 WITH SHELLS/ERTS/TERMITES/RIPE SOIL POSSESSER. 1.5.1.5 ALL LEVELS SHOWN ARE FINISHED FLOOR LEVELS UNLESS OTHERWISE STATED.

**STRUCTURAL NOTES:**  
2.1.2.1 ALL STRUCTURAL WORK TO BE EXECUTED IN STRICT ACCORDANCE WITH ENGINEERS DETAILS & SPECIFICATIONS.

2.2.2.2 ALL FOUNDATION, FOUNDATION WALL, STRUCTURAL CONCRETE WORK AND SUB SOIL/FORMWATER DRAINAGE TO CIVIL AND STRUCTURAL ENG. SPECIFICATIONS.

2.3.2.3 CONCRETE SURFACE BEDS ON 250 mm GREEN POLY. THENE DAMP PROOF MEMBRANE TO COMPLY WITH SABS 602, ON MIN 150mm LAYERS OF HARDCORE COMPACTED TO STRUCTURAL ENGINEERS DETAILS & SPECIFICATIONS.

**WALL NOTES:**  
3.1.4.1 230mm BRICK WALLS WITH GUNDE BRICK/OP DPC FOR EXTERNAL WALLS UNLESS SPECIFIED OTHERWISE.

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4.8 ALL WASTE PIPES UNDER FLOOR SLAB TO BE SLEEVED.

4.9 ALL ROLL FITTINGS WITH VERTICAL DISCHARGE GREATER THAN 1200mm TO HAVE ANTI-SIPHON WENTPIES. RAINWATER DOWNPIPES TO DISCHARGE A MIN OF 240mm FROM ANY OPEN GUILLET.

4.10 AGRICULTURAL DRAINS TO ENGINEERS SPECIFICATIONS. ALL DRAINAGE TO COMPLY WITH MUNICIPAL BY-LAWS.

4.11 AND ENGINEERS SPECIFICATIONS.

4.12 PIPE SIZES: BATH 50mm@ SHOWER 50mm@ BASIN 100mm@ SINK 50mm@ W.C. 100mm@ C.V.P. 100mm@

**GLAZING NOTE**

ALL GLAZING TO COMPLY WITH SABS 60400 PART 1/1.

**SIZING NOTE**

ALL MEASUREMENTS OF DOOR OPENINGS AND ALL DUCT CLIPBOARD OPENINGS TO BE VERIFIED ON SITE PRIOR TO MANUFACTURE.

ANY DISCREPANCIES TO BE DISCUSSED WITH THE ARCHITECT AS SOON AS THEY BECOME APPARENT.

ALL QUANTITIES TO BE CHECKED BY CONTRACTOR.

**GASS**  
ARCHITECTURE STUDIOS

JHB: +27 11 482 2045 CT: +27 21 001 0210 F: +86 698 4999  
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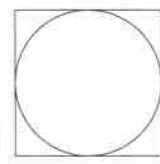
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**REVISIONS**

NUMBER	REVISION DESCRIPTION	DATE	ISSUED BY
A	Building Line & Parking Updates	2021-12-14	TS
B	Pool & Security Kiosk Design Update	2021-12-15	BS



ISSUED FOR INFORMATION

**PROJECT DETAILS**

PROJECT NAME VARKBLOM
PROJECT ADDRESS ERF 3223 DARVALLEI STELLENBOSCH
CLIENT EARLE WILLIAMS
GASS PROJECT NUMBER: -

**DRAWING TITLE**

3D VIEWS & PERSPECTIVES

**DRAWING INFO**

DRAWN	CHECKED	DATE	SCALE
TS	WVD	2021-12-15	As indicated @ A1

**DRAWING NUMBER**

PROJECT CODE	ORG.	ZONE	LEVEL	TYPE	ROLE	REVISION NUMBER	REV.
-	-	-	-	-	-	001SP	B



TAX INVOICE



**STELLENBOSCH**

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNICIPALITY • UMASIPALA • MUNISIPALITEIT

PO BOX 17, STELLENBOSCH, 7599

PLANNING & ECONOMIC DEVELOPMENT: PLANNING

DATE:	2022-03-22	DOCUMENT NO:	727057
ERF / FARM NO:	3223	CREATED BY:	Salome NEWMAN
LOCALITY:	STELLENBOSCH	APPLICATION NO:	LU/13875
OWNER'S NAME:	BOTMANSKOP PROPERTY (PTY)LTD	APPLICATION VAT NO:	0000
ADDRESS:	ATT: EB WILLIAMS 5 WORCESTER ROAD PARKWOOD JOHANNESBURG 2193	VAT NO:	4700102181
		APPLICANT:	BOTMANSKOP PROPERTY (PTY)LTD
		TEL NO:	0827826625

FEE DESCRIPTION	AMOUNT PER UNIT (R)	NUMBER OF UNITS	VOTE NUMBER	AMOUNT (R)
PERMANENT DEPARTURE - Departure applications including but not limited to building lines, coverage, height, bulk, parking, Per applications per property	2500.00	1	20180711011484	2500.00
PERMANENT DEPARTURE - Departure applications including but not limited to building lines, coverage, height, bulk, parking, Per applications per property	2500.00	1	20180711011484	2500.00

STELLENBOSCH MUNICIPALITY  
PLANNING AND DEVELOPMENT SERVICES  
05 APR 2022  
**RECEIVED**

TOTAL AMOUNT PAYABLE 5000.00

VAT INCLUDED @ 15% 652.17

ALL TARIFFS INCLUDE 15% VAT FROM 1 JULY 2021 TO 30 JUNE 2022

CALCULATED BY

NAME:

SIGNATURE

*S Newman*

DATE:

PAYMENTS MUST BE MADE AT THE APPLICABLE DISTRICT OFFICE  
CHEQUES TO BE MADE PAYABLE TO STELLENBOSCH MUNICIPALITY

APPLICANT TO RETURN THIS FORM TO THE ADVICE CENTRE FOR DIRECTOR: PLANNING & ECONOMIC DEVELOPMENT

VERIFIED BY

NAME:

SIGNATURE

22.3.2022

DATE:

BANKING DETAILS FOR EFT PAYMENT:

ACCOUNT HOLDER: Stellenbosch Municipality  
BANK: First National Bank (FNB)  
ACCOUNT NUMBER: 62869253684  
BRANCH CODE: 210554  
REFERENCE: LU/\_\_\_\_\_ and ERF/FARM\_\_\_\_\_

Please use both the Land Use Application number and the Erf/Farm number indicated on this invoice as a reference when making EFT payment.

0.00

0

FILE NR: \_\_\_\_\_  
SCAN NR: E 3223 S  
CORRELATOR NR: \_\_\_\_\_



### Payment Results

Ref VODSPTGB87BJ  
Date 2022-03-24 14:57:34.0  
Time 2022-03-24 14:57:34.0

✓ Your payment was successful

Details	
<b>Account</b> Gold Business Account - 62778916886	<b>Recipient Name</b> Planningstellenbosch
<b>Recipient Details</b> <b>Public Recipient</b> Stellenbosch Mun Primary <b>Branch Code</b> -- <b>Type</b> --	<b>Account</b> -- <b>Bank</b> -- <b>Own Reference</b> Planning Dept Stb <b>Amount</b> 5000.00
<b>Recipient Reference</b> Lu/13875 & Erf3223	





**PLANNING & ECONOMIC DEVELOPMENT**

LAND USE APPLICATION COMPLIANCE CHECKLIST ITO S38 OF THE LAND USE PLANNING BYLAW, 2015			Date of Submission of Application	17/03/2022	
<b>Erf / Erven/ Farm no</b>	3223	<b>Portion(s) if farm</b>	<b>Allotment Area</b>	Stellenbosch	
<b>Owner / Applicant</b>	Marike Bolz – Arch Town Planners		<b>Contact number</b>	082 782 6625	
<b>Email address</b>	<a href="mailto:marike@archtownplanners.co.za">marike@archtownplanners.co.za</a>				
INDICATE WHICH OF THE FOLLOWING FORM PART OF THE DOCUMENTATION			ADMIN TO VERIFY <sup>1</sup>		PLANNER TO EVALUATE <sup>2</sup>
			YES	NO	
1. Completed application form that is signed			✓		✓
2. Power of Attorney / Owners' Consent if the applicant is an agent					
3. Bondholders' consent					
4. Proof that applicant is authorized to act on behalf of an entity					
5. Proof of ownership or rights held in land					
6. Motivation based on criteria in s65			✓		✓
7. SG diagram or General Plan					
8. Locality plan			✓		✓
9. Site development plan or plan showing the land development			✓		✓
10. Subdivision plan					
11. Permission for required servitude					
12. Title Deed			✓		✓
13. Conveyancer's certificate			✓		✓
14. Feedback on Pre-application scrutiny			✓		✓
15. Minutes of Pre-consultation Meeting					
16. Consolidation plan					
17. Street name and numbering plan					

<sup>1</sup> Verification by Admin only of the documentation attached and completeness of application and not the correctness thereof.

<sup>2</sup> Technical evaluation by Planner of the documentation attached for completeness and correctness thereof.





**From:** [marike@archtownplanners.co.za](mailto:marike@archtownplanners.co.za)  
**To:** "Robert Fooy"  
**Bcc:** "Wessel van Dyk"  
**Subject:** RE: [EX] RE: Erf 3223 Stellenbosch  
**Date:** 06 December 2021 09:49:00  
**Attachments:** [image004.png](#)  
[image011.png](#)  
[image012.png](#)  
[image013.png](#)  
[image015.png](#)  
[image016.png](#)  
[image017.png](#)  
[image018.png](#)  
[image001.png](#)  
**Importance:** High

---

Hallo Robert

Kan jy my asb. dringend skakel om bg. te bepsreek. Dit is geweldig slegte nuus vir ons klieënt en sy tydsraamwerke. Ek het nou weer deur die soneeringskema gegaan en dit sê nêrens dat daar besigheid om die grondvloer MOET wees nie.

Kyk asb. na Section 105 (2): One or more of the above-mentioned primary uses are permitted on a land unit at the same time – dus voldoen ons moet dit – ons mag “one” primary land use op site hê.

Section 106: Not flats shall be permitted on ground lfloor , except with the permission of the Municipality - dit is presies wat ons vir Stellenbosch Lodge gedoen het waar ons vir ‘n afwyking van die soneeringskema gevra het om flats op grondvloer toe te laat en wat so deur jul goedgekeur is.

Daar word nêrens gesê dat daar commercial op grondvloer MOET kom en indien nie moet dit na ‘n ander gebruik gesoneer word. Kan jy asb. vir my sê waar dit ‘n kondisie is?

My voorstel is as volg:

Ons doen aansoek vir Council Consent soos in Section 106 hierbo toegelaat en motiveer hoekom ons flats op grondvloer wil sit.  
En ons doen aansoek vir ons Boulynverslapping.

Het jy en Stiaan asb. dalk erens vandag ‘n 20min opening om oor bg te praat, ons aansoek is amper gereed om in te dien en hierdie is ‘n baie groot issue wat ons dringend moet uitklaar.

Vriendelike groete

Marike Bolz

**Address** | 2<sup>nd</sup> Floor, Bakkershuis,  
152 Dorp Street, Stellenbosch, 7600  
**M I:** +27 (0) 72 480 5838  
**F I:** +086 216 9073  
**E I:** [marike@archtownplanners.co.za](mailto:marike@archtownplanners.co.za)  
**W I:** [www.archtownplanners.co.za](http://www.archtownplanners.co.za)

**From:** Robert Fooy <Robert.Fooy@stellenbosch.gov.za>

**Sent:** 06 December 2021 09:10

**To:** marike@archtownplanners.co.za

**Subject:** RE: [EX] RE: Erf 3223 Stellenbosch

Hi Marike

I have had a quick discussion with Stiaan and he agrees that you will need to rezone. (I did not mention the erf number etc only the scenario)



*Kind regards,*

**Robert Fooy**

Senior Town Planner: Land Use Management Department:  
Planning & Economic Development

---

T: +27 21 808 8680

Email: [robert.fooy@stellenbosch.gov.za](mailto:robert.fooy@stellenbosch.gov.za)

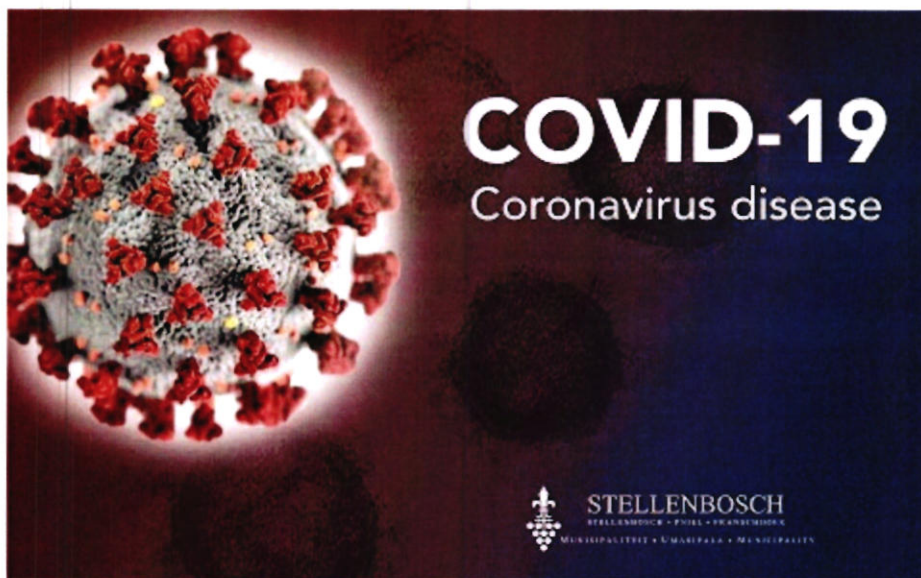
3<sup>rd</sup> Floor, Stellenbosch Mall  
Aandringa Street, Stellenbosch, 7600

[www.stellenbosch.gov.za](http://www.stellenbosch.gov.za)



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[twitter.com/StellMun](https://twitter.com/StellMun)



For official COVID-19 advice, updates and queries:



- National Hotline 0800 029 999
- Provincial Hotline 021 9284102
- WhatsApp 0600 123 456

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#### About Stellenbosch Municipality

Our mission is to deliver cost-effective services that will provide the most enabling environment for civil and corporate citizens.

Our head office is at Town House Complex, Plein Street, Stellenbosch, 7600, South Africa. For more information about Stellenbosch Municipality, please call +2721-808-8111, or visit [www.stellenbosch.gov.za](http://www.stellenbosch.gov.za)

#### Disclaimer:

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**From:** [marike@archtownplanners.co.za](mailto:marike@archtownplanners.co.za) <[marike@archtownplanners.co.za](mailto:marike@archtownplanners.co.za)>

**Sent:** Friday, 03 December 2021 16:47

**To:** Robert Fooy <[Robert.Fooy@stellenbosch.gov.za](mailto:Robert.Fooy@stellenbosch.gov.za)>

**Subject:** [EX] RE: Erf 3223 Stellenbosch

Hallo Robert

Baie dankie!

Kan ons dalk eerder as om te hersoneer vra vir 'n deviation om nie commercial op grondvloer te sit nie? Soos wat ons met on sander aansoeke doen om toe te laat om res wel op grondvloer te sit. Die hersoneering gaan te lank vat....

Ek sal kyk na die kamers om die uitlegte aan te pas.

Vriendelike groete

Marike Bolz

**Address** | 2<sup>nd</sup> Floor, Bakkershuis,  
152 Dorp Street, Stellenbosch, 7600  
**M I:** +27 (0) 72 480 5838  
**F I:** +086 216 9073  
**E I:** [marike@archtownplanners.co.za](mailto:marike@archtownplanners.co.za)  
**W I:** [www.archtownplanners.co.za](http://www.archtownplanners.co.za)

**From:** Robert Fooy <[Robert.Fooy@stellenbosch.gov.za](mailto:Robert.Fooy@stellenbosch.gov.za)>

**Sent:** 03 December 2021 15:38

**To:** [marike@archtownplanners.co.za](mailto:marike@archtownplanners.co.za)

**Subject:** Erf 3223 Stellenbosch

Hi Marike

I have had a look at the pre-application submitted and as discussed you will need to look at including a commercial component on ground floor as the current zoning requires a commercial component on ground floor.

Should you not be able to provide a commercial component then you would need to Rezone the subject property to an appropriate zone to accommodate the proposal.

Should you rezone the property then please note that the development parameters applicable in terms of the proposed zoning will need to be complied with or the relevant land use departures will need to be submitted with the rezoning application.

I have also noted that you have four bedrooms units with living areas which are out of proportion to the rest of the unit, which is also not the norm.

Please note that should the owner intend to use these units to accommodate students or a number of unrelated persons then the relevant land use application to facilitate this use must also be submitted.

The parking provision for this use will also need to be complied with. (1 parking bay per bed)



*Groete*

**Robert Fooy**

Senior Town Planner: Land Use Management Department:  
Planning & Economic Development

T: +27 21 808 8680

Email: [robert.fooy@stellenbosch.gov.za](mailto:robert.fooy@stellenbosch.gov.za)

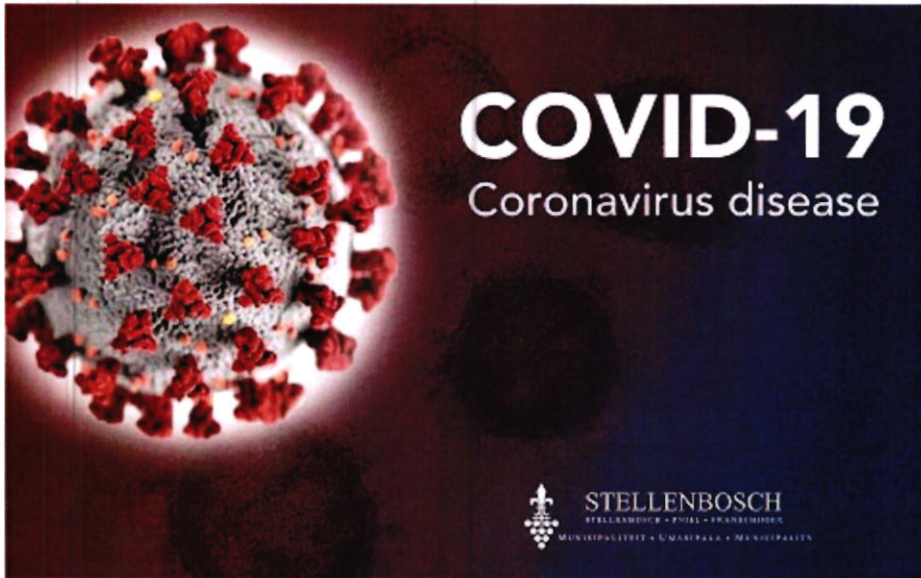
3<sup>rd</sup> Floor, Stellenbosch Mall  
Aandringa Street, Stellenbosch, 7600

[www.stellenbosch.gov.za](http://www.stellenbosch.gov.za)



[www.facebook.com/stellenboschmunicipality](https://www.facebook.com/stellenboschmunicipality)  
[twitter.com/StellMun](https://twitter.com/StellMun)





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- Provincial Hotline 021 9284102
- WhatsApp 0600 123 456

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# STELLENBOSCH

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## DIRECTORATE: PLANNING & ECONOMIC DEVELOPMENT

[www.stellenbosch.gov.za/planning-portal/](http://www.stellenbosch.gov.za/planning-portal/)

SUBMIT COMPLETED FORM TO [landuse.applications@stellenbosch.gov.za](mailto:landuse.applications@stellenbosch.gov.za)

## LAND USE PRE-APPLICATION SCRUTINY FORM

1. This Land Use Pre-Application Scrutiny Form must be submitted prior to the submission of any Land Use and Land Development application in terms of Section 15(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015 (SLUPB).
2. Relevant documents can be accessed at: <https://stellenbosch.gov.za/planning-portal/>
3. The applicant will receive feedback per e-mail following a weekly internal technical discussion on the pre-application scrutiny submission.
4. A pre-application consultation meeting may be required in terms of Section 37 of the said Bylaw on receipt and consideration of this Pre-Application Scrutiny.

### PART A: APPLICANT, OWNERSHIP & PROPERTY PARTICULARS

Applicant Name	Marike Bolz for Arch Town Planners
E-Mail Address	Marike@archtownplanners.co.za
Tel/ Cell Number	0724805838
Registered Owner	
Property Description (Erf / Farm Number)	Erf 3223 Stellenbosch
Physical / Street Address	Botmaskop street, Idasvallei, Stellenbosch
Suburb & Town	Stellenbosch
Current Zoning	Mixed-use
Current Land Use Activities / Buildings	Vacant



Are there existing buildings on the subject property(ies)?	Yes	<b>No</b>
Are there any existing unauthorized buildings and/or land use on the subject property(ies)?	Yes	<b>No</b>
If yes, is this application to legalize the building/ land use?	Yes	<b>No</b>
Are there any pending court case(s)/ order(s) relating to the subject property(ies)?	Yes	<b>No</b>
Is the property located in a heritage area or contains any heritage significant buildings?	Yes	<b>No</b>
Does the property fall inside the urban edge?	<b>Yes</b>	No

**PART B: APPLICATION**

**1. WHAT LAND USE PLANNING APPLICATIONS ARE REQUIRED IN TERMS OF SECTION 15(2) OF THE SLUPB?**

s15 (2)(a)	Rezoning	s15 (2)(f)	Removal / Suspension Amendment of restrictive conditions	s15 (2)(i)	Permission in terms of condition of approval	s15 (2)(g)	Disestablishment of HOA
s15 (2)(b)	<b>Permanent Departure</b>	s15 (2)(g)	Permission in terms of zoning scheme	s15 (2)(m)	Determination of a zoning	s15 (2)(f)	Rectify failure by HOA
s15 (2)(c)	Temporary Departure	s15 (2)(h)	Amendment of condition(s) of approval	s15 (2)(n)	Closure of a public place	s15 (2)(s)	Permission required for the reconstruction of a building
s15 (2)(d)	Subdivision	s15 (2)(i)	Extension of validity period of approval	s15 (2)(o)	<b>Consent use</b>		Other:
s15 (2)(e)	Consolidation	s15 (2)(k)	Amendment / cancelation of approved subdivision plan	s15 (2)(p)	Occasional use		Other:
<b>OTHER</b>	s13 25B1 Technical Approval	s14(2) SLUPB Exemption		Title Deed Title Deed consent / permissions			

**Details of the Proposal:**

The application site has a Mixed-Use zoning, allowing for flats from first floor upwards. The development proposal entails to develop a block of flats, with ground floor parking and 6 x 4 bedroom flats on first, second and third floors. Thus, 4 storeys in height.

Due to the shape of the site, the 4.5m building line restrictions allows for very limited development on the site, and if abided to, will force the building to be 6 storeys (as allowed for) to be financially viable. It is therefore proposed to relax the building lines on first – third floors to allow for the following:

- 3m building line (for the building) and 1m building line (for the circulation staircase) on the northern boundary;

- 3m building line on the eastern boundary
- 2m building line (for the building) and 1m building line (for the balconies) on the western boundary.

To shield the ground floor parking from street view it is proposed to have landscaping along the southern and eastern boundaries. It is important to note that the building has existing development rights for 6 storey commercial buildings, which if acted on, could result at worst in a 6-storey building with 0m building lines on all or some of the street/common boundaries. It is considered that a 6 storey building will be out of character in Idasvallei and the majority of Stellenbosch (in general).

Though the proposed building will require building line departures it is considered that this will allow for a much more sensible building. Please refer to the attached drawings which shows the proposed building vs the building envelope which could be develop as a primary right (as indicated in red). It is also important to note that the majority of Bosmaskop Road is zoned for mixed-use and could be developed to the same extend as the proposed building. It should therefore not be seen as out of character of the area, but rather as one of the first building responding to the existing development rights, which could potentially be the catalyst for the other properties to follow, in line with the allowable zoning.

Due to the wide road reserves of the three roads boarding on the application site, it is not considered that the proposed building line departures would be detrimental on those sides. The 3m building line on the northern boundary, though 1.5m closer than the allowable 4.5m is still better than potentially having a 6 storey building build on the 0m building line. It is also proposed that the balconies of the flats on the northern boundary of the application site will be screened on the northern boundary to only allow for views toward the east and west, to limit overlooking towards the neighboring property.

## 2. RELEVANCE OF ANY PLANNING LEGISLATION/ POLICIES AND PLANS

RELEVANT PLANNING CONSIDERATIONS		
<b>(a) Are any Municipal plans/policies/guidelines, or any restrictive title conditions, or other legislation / authorizations applicable to the application, and if yes, is the proposal consistent/ compliant with such?</b>	Yes	No
Compatible with above		
<b>(b) Does the proposal require the following additional infrastructure / services? e.g. electricity; water; sewerage; road network; other?</b>	YES	NO
		x
No, proposed development is in an urban area and can tie in with existing services. It will in effect be less than that allowed for under the primary development rights.		
<b>(c) Does the development proposal include the provision of residential units, and if so, what is the target market re: range in income bracket/ selling price or rental for the units?</b>	YES	NO
	x	
4 x bedroom flats, for middle income group		



(d) In addressing the SPLUMA principle of Spatial Justice and as it relates to prescripts on the provision of inclusionary housing, how will this development proposal target affordable market segments?	YES	NO
N/A		

**PART C: COPIES OF PLANS / DOCUMENTS TO BE SUBMITTED AS PART OF PRE-APPLICATION SCRUTINY**

The following minimum documentation **must** be attached to this pre-application scrutiny form:

1. **Locality plan**
2. **Layout Plan of proposal** (e.g. copy of existing building plan, indicating proposal on site plan, etc.)
3. **Full copy of the title deed or Conveyance Certificate**

**Note:**

- The Municipality may request any other information deemed necessary for the purpose of this pre-application scrutiny.
- If an incomplete pre-application scrutiny form or the required minimum supporting documents are not submitted the pre-application scrutiny form will not be accepted by the Municipality.

**DECLARATION:**

I hereby confirm that the information contained in this pre-application scrutiny form and accompanying documentation is complete and accurate.

Applicant's signature:



Date: 3 November 2021

**FOR OFFICE USE:**

Municipal Stamp
Received by: _____
Date: _____

**DETERMINATION BY AUTHORISED OFFICIAL**

Additional Information	Pre-Application Consultation	Application Ready
Sign: _____	Date: _____	

**APPLICANT INFORMED BY RESPONSIBLE OFFICIAL**

Sign: _____	Date: _____
-------------	-------------



Any personal information obtained from this search will only be used as per the Terms and Conditions agreed to and in accordance with applicable data protection laws including the Protection of Personal Information Act, 2013 (POPI), and shall not be used for marketing purposes.

## SEARCH CRITERIA

Search Date	2021/12/15 10:55	Erf Number	3223
Reference	-	Portion Number	-
Report Print Date	2021/12/15 10:56	Township Remaining Extent	NO
Township	STELLENBOSCH	Search Source	WinDeed Database
Deeds Office	Cape Town		

## PROPERTY INFORMATION

Property Type	ERF	Diagram Deed Number	T8160/1928
Township	STELLENBOSCH	Local Authority	STELLENBOSCH MUN
Erf Number	3223	Province	WESTERN CAPE
Portion Number	0 (REMAINING EXTENT)	Remaining Extent	YES
Registration Division	-	Extent	1201.000SQM
Previous Description	-	LPI Code	C06700220000322300000

## OWNER INFORMATION (1)

VARKBLOM PTY LTD		Owner 1 of 1	
Company Type	TRANSFER	Document	T58610/2021
Registration Number	202189430107	Microfilm / Scanned Date	-
Name	VARKBLOM PTY LTD	Purchase Price (R)	1 700 000
Multiple Owners	NO	Purchase Date	2021/09/29
Multiple Properties	NO	Registration Date	2021/11/25
Share (%)	-		

## ENDORSEMENTS

No endorsements to display

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**HISTORIC DOCUMENTS (6)**

#	Document	Institution	Amount (R)	Microfilm / Scanned Date
1	T65525/1996	ADAM ZAHIDA	200 000	1996 0698 2360
2	B57947/1996	FIRST NAT BANK	210 000	1996 0698 2373
3	T3118/1963	WILLIAMS BASIL LLOYD	Unknown	1996 0698 2355
4	T62359/2011	SHOCK PROOF INV 143 PTY LTD	900 000	-
5	BC51798/2011	-	210 000	-
6	T16175/2013	AWAN FIAZ ANJUM	950 000	-

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## DIRECTORATE: PLANNING & ECONOMIC DEVELOPMENT

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SUBMIT COMPLETED FORM TO [landuse.applications@stellenbosch.gov.za](mailto:landuse.applications@stellenbosch.gov.za)

LAND USE PLANNING APPLICATION FORM						
(Section 15 of the Stellenbosch Municipal Land Use Planning By-Law (2015) and other relevant legislation)						
<b>KINDLY NOTE:</b> Please complete this form using BLOCK letters and ticking the appropriate boxes.						
<b>PART A: APPLICANT DETAILS</b>						
First name(s)	Marike					
Surname	Bolz					
Company name (if applicable)	Arch Town Planners (Pty) Ltd					
Postal Address	Bakkershuis, 152 Dorpstraat,					
	Stellenbosch	Postal Code	7600			
Email	<a href="mailto:Marike@archtownplanners.co.za">Marike@archtownplanners.co.za</a>					
Tel		Fax		Cell	072 480 5838	
<b>PART B: REGISTERED OWNER(S) DETAILS</b> (If different from applicant)						
Registered owner(s)	VARKBLOM PTY LTD					
Physical address	Corner of Sonneblom and Banhoek streets, Idasvallei					
		Postal code	7600			
E-mail	<a href="mailto:Earle.Williams@rmb.co.za">Earle.Williams@rmb.co.za</a>					
Tel		Fax		Cell	082 782 6625	
<b>PART C: PROPERTY DETAILS</b> (in accordance with title deed)						
Erf / Erven / Farm No.	Erf 3223	Portion(s) if Farm		Allotment area	Stellenbosch	
Physical Address	Corner of Sonneblom and Banhoek streets, Idasvallei					
Current Zoning	Mixed Use Zone	Extent	1201m <sup>2</sup>	Are there existing buildings?	Y	N
Applicable Zoning Scheme	Stellenbosch Municipality Zoning Scheme By-Law (2019)					
Current Land Use	Vancant					
Title Deed number and date	T58610/2021					



Attached Conveyance's Certificate	Y		Any Restrictions to the Attached Conveyance's Certificate? If yes, please list condition(s) as per certificate						
Are the restrictive conditions in favour of a third party(ies)?		N	If Yes, list the party(ies):						
Is the property encumbered by a bond?	Y	N	If Yes, list the bondholder(s):						
Is the property owned by Council?	Y	N	If Yes, kindly <u>attach a power of attorney</u> from the Manager Property Management						
Is the building located within the historical core?	Y	N	Is the building older than 60 years?	Y	N	Is the application triggered by the National Heritage Resources Act, 1999 (Act 25 of 1999) <sup>1</sup>	Y	N	If Yes, kindly indicate which section are triggered and attached the relevant permit if applicable.
Any existing unauthorized buildings and/or land use on the subject property(ies)?	Y	N	If yes, is this application to legalize the building / land use <sup>2</sup> ?		Y	N			
Are there any pending court case(s) / order(s) relating to the subject property(ies)?	Y	N	Are there any land claim(s) registered on the subject property(ies)?		Y	N			

#### PART D: PRE-APPLICATION CONSULTATION

Has there been any pre-application consultation?	Y	N	If Yes, please attach the minutes of the pre-application consultation.
Has the pre-application scrutiny form been submitted?	Y	N	If yes, please attach the written feedback received.

#### PART E: LAND USE PLANNING APPLICATIONS AND APPLICATION FEES PAYABLE

##### APPLICATIONS IN TERMS OF SECTION 15 OF THE STELLENBOSCH MUNICIPAL LAND USE PLANNING BY-LAW (2015)

Tick	Type of application: <i>Cost are obtainable from the Council Approved tariffs</i>
	15(2)(a) rezoning of Land
X	15(2)(b) a permanent departure from the development parameters of the zoning scheme
	15(2)(c) a departure granted on a temporary basis to utilise land for a purpose not permitted in terms of the primary rights of the zoning applicable to the land
	15(2)(d) a subdivision of land that is not exempted in terms of section 24, including the registration of a servitude or lease agreement
	15(2)(e) a consolidation of land that is not exempted in terms of section 24
	15(2)(f) a removal, suspension or amendment of restrictive conditions in respect of a land unit
X	15(2)(g) a permission required in terms of the zoning scheme
	15(2)(h) an amendment, deletion or imposition of conditions in respect of an existing approval
	15(2)(i) an extension of the validity period of an approval
	15(2)(j) an approval of an overlay zone as contemplated in the zoning scheme
	15(2)(k) an amendment or cancellation of an approved subdivision plan or part thereof, including a general plan or diagram
	15(2)(l) a permission required in terms of a condition of approval

<sup>1</sup> All applications triggered by section 38(1)(a) - (e) in terms of the National Heritage Resources Act, 1999 (Act 25 of 1999) may not be processed without a permit issued by the relevant department

<sup>2</sup> No application may be submitted to legalize unauthorised building work and or land use on the property if a notice has been served in terms of Section 87(2)(a), and until such time a Section 91 Compliance Certificate have been issued in terms of the Stellenbosch Land Use Planning By-law (2015)



	15(2)(m) a determination of a zoning
	15(2)(n) a closure of a public place or part thereof
	15(2)(o) a consent use contemplated in the zoning scheme
	15(2)(p) an occasional use of land
	15(2)(q) to disestablish a home owner's association
	15(2)(r) to rectify a failure by a home owner's association to meet its obligations in respect of the control over or maintenance of services
	15(2)(s) a permission required for the reconstruction of an existing building that constitutes a non-conforming use that is destroyed or damaged to the extent that it is necessary to demolish a substantial part of the building
	15(2)(6) when the Municipality on its own initiative intends to conduct land development or an activity
	15(2)(l) amendment of Site Development Plan
	15(2)(l) Compilation / Establishment of a Home Owners Association Constitution / Design Guidelines

**OTHER APPLICATIONS**

	Deviation from Council Policies/By-laws	R
	Consent / Permission required in terms of a title deed	R
	Technical approval in terms of the Zoning Scheme Bylaw, 2019	R
	Other (specify): _____	R
	<b>TOTAL A:</b>	<b>R</b>

**PRESCRIBED NOTICE AND FEES\*\* (for completion and use by official)**

Tick	Notification of application in media	Type of application	Cost
	<b>SERVING OF NOTICES</b>	Delivering by hand; registered post; electronic communication methods	R
	<b>PUBLICATION OF NOTICES</b>	Local Newspaper(s); <i>Provincial Gazette</i> ; site notice; Municipality's website	R
	<b>ADDITIONAL PUBLICATION OF NOTICES</b>	Site notice, public meeting, local radio station, Municipality's website, letters of consent or objection	R
	<b>NOTICE OF DECISION</b>	<i>Provincial Gazette</i>	R
	<b>INTEGRATED PROCEDURES</b>	T.B.C	R
		<b>TOTAL B:</b>	<b>R</b>
		<b>TOTAL APPLICATION FEES*</b> (TOTAL A + B)	<b>R</b>

\* The complete application should first be submitted without the payment of any applicable application fees. Only when satisfied that a complete and accurate application has been submitted, will a proforma invoice be submitted to the applicant with payment instructions. Application fees that are paid to the Municipality are non-refundable and once proof of payment is received, the application will be regarded as duly submitted.

\*\* The applicant is liable for the cost of publishing and serving notice of an application. Additional fees may become applicable and the applicant will be informed accordingly.

**BANKING DETAILS**

Account Holder Name: Stellenbosch Municipality  
 Bank: FIRST NATIONAL BANK (FNB)  
 Branch no.: 210554  
 Account no.: 62869253684  
 Payment reference: LU/\_\_\_\_\_ and ERF/FARM \_\_\_\_\_

Please use both the Land Use Application number and the Erf/Farm number indicated on the invoice as a reference when making EFT payment

**DETAILS FOR INVOICE**

Name & Surname/Company name (details of party responsible for payment)	Botmaskop Property (Pty) Ltd Attention: EB Williams 5 Worcester Road Parkwood JOHANNESBURG 2193
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**PART F: DETAILS OF PROPOSAL**

<b>x</b>	Building line encroachment	Street		From	4.5m	To	3m
		Street		From	4.5 m	To	1m
		Street		From	4.5m	To	1m
		Side		From	4.5 m	To	1 m
		Aggregate side		From	m	To	m
		Rear		From	m	To	m
	Exceeding permissible site coverage			From	%	To	%
	Exceeding maximum permitted bulk / floor factor / no of habitable rooms			From		To	
	Exceeding height restriction			From	m	To	m
	Exceeding maximum storey height			From	m	To	m
	Consent/Conditional Use/Special Development  To permit..... in terms of Section.....of the.....Zoning Scheme Regulations						
	Other (please specify)	Consolidation of two erven  _____ _____ _____					

**Brief description of proposed development / intent of application:**

Street and common boundary building line departure to allow for flats and ground floor parking. Also to allow for motor vehicle parking to be substituted with bicycle bays.

**PART G: ATTACHMENTS AND SUPPORTING INFORMATION AND DOCUMENTATION FOR LAND USE PLANNING APPLICATION**

Complete the following checklist and attach all the information and documentation relevant to the proposal. Failure to submit all information and documentation required will result in the application being deemed incomplete.

Information and documentation required
--

Y		Power of attorney / Owner's consent if applicant is not owner		N	Bondholder's consent (if applicable)
		Resolution or other proof that applicant is authorised to act on behalf of a juristic person		N	Proof of any other relevant right held in the land concerned
Y		Written motivation pertaining to the need and desirability of the proposal		N	S.G. diagram / General plan extract (A4 or A3 only)
Y		Locality plan (A4 or A3 only) to scale		Y	Site development plan or conceptual layout plan (A4 or A3 only) to scale
		Proposed subdivision plan (A4 or A3 only) to scale			Proof of agreement or permission for required servitude
		Proof of payment of application fees		Y	Proof of registered ownership ( <b>Full copy of the title deed</b> )
Y		Conveyancer's certificate		Y	Written feedback of pre-application scrutiny and Minutes of pre-application consultation meeting (if applicable)
		Consolidation plan (A4 or A3 only) to scale		N/A	Land use plan / Zoning plan (A4 or A3 only) to scale
		Street name and numbering plan (A4 or A3 only) to scale			
	N/A	Landscaping / Tree plan (A4 or A3 only) to scale		N/A	1 : 50 / 1:100 Flood line determination (plan / report) (A4 or A3 only) to scale
	N/A	Abutting owner's consent		N/A	Home Owners' Association consent
	N/A	Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD)		N/A	Services Report or indication of all municipal services / registered servitudes
	N/A	Copy of original approval and conditions of approval		N/A	Proof of failure of Home owner's association
	N/A	Proof of lawful use right		N/A	Any additional documents or information required as listed in the pre-application consultation form / minutes
	N/A	Required number of documentation copies		N/A	Other (specify)

**PART H: AUTHORISATION(S) SUBJECT TO OR BEING CONSIDERED IN TERMS OF OTHER LEGISLATION**

Y	N	If required, has application for EIA / HIA / TIA / TIS / MHIA approval been made? If yes, attach documents / plans / proof of submission etc.		Specific Environmental Management Act(s) (SEMA) (e.g. Environmental Conservation Act, 1989 (Act 73 of 1989))	
			Y	N/A	National Environmental Management: Air Quality Act, 2004 (Act 39 of 2004)



Y	N/A	Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)	N/A	N/A	National Environmental Management: Waste Act, 2008 (Act 59 of 2008)
Y	N/A	Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013)(SPLUMA)	Y	N/A	National Water Act, 1998 (Act 36 of 1998)
Y	N/A	Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations	Y	N/A	Other (specify)
Y	N/A	Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA)			
Y	N	Do you want to follow an integrated application procedure in terms of section 44(1) of the Stellenbosch Municipality Land Use Planning By-Law? If yes, please attach motivation.			

**SECTION I: DECLARATION**


I hereby wish to confirm the following :

1. That the information contained in this application form and accompanying documentation is complete and correct.
2. I'm aware that it is an offense in terms of section 86(1)(e) to supply particulars, information or answers knowing the particulars, information or answers to be false, incorrect or misleading or not believing them to be correct.
3. I am properly authorized to make this application on behalf of the owner and that a copy of the relevant power of attorney or consent is attached hereto.
4. Where an agent is appointed to submit this application on the owner's behalf, it is accepted that correspondence from and notifications by the Municipality in terms of the by-law will be sent only to the agent and that the owner will regularly consult with the agent in this regard.
5. I confirm that the relevant title deed(s) have been read and that there are no restrictive title deed restrictions, which impact on this application, or alternatively an application for removal/suspension or amendment forms part of this submission.
6. I confirm that I have made known all information relating to possible Land / Restitution Claims against the application property.
7. It is the owner's responsibility to ensure that approval is not sought for a building or land use which will be in conflict with any applicable law.
8. The Municipality assesses an application on the information submitted and declarations made by the owner or on his behalf on the basis that it accepts the information so submitted and declarations so made to be correct, true and accurate.
9. Approval granted by the Municipality on information or declarations that are incorrect, false or misleading may be liable to be declared invalid and set aside which may render any building or development pursuant thereto illegal.
10. The Municipality will not be liable to the owner for any economic loss suffered in consequence of approval granted on incorrect, false or misleading information or declarations being set aside.
11. Information and declarations include any information submitted or declarations made on behalf of the owner by a Competent Person/professional person including such information submitted or declarations made as to his or her qualification as a Competent person and/or registration as a professional.
12. A person who provides any information or certificate required in terms of Regulation A19 of the National Building Regulations and Building Standards Act No 103 of 1977 which he or she knows to be incomplete or false shall be guilty of an offence and shall be prosecuted accordingly.
13. A person who supplies particulars, information or answers in a land use application in terms of the Stellenbosch Municipality Land Use Planning By-law knowing it to be incorrect, false or misleading or not believing them to be correct shall be guilty of an offence and shall be prosecuted accordingly.

14. The Municipality will refer a complaint to the professional council or similar body with whom a Competent Person/professional person is registered in the event that it has reason to believe that information submitted or declaration/s made by such Competent Person/professional person is incorrect, false or misleading.

Applicant's signature:		Date:	December 2021
Full name:	Marike Bolz for Arch Town Planners (Pty) Ltd		
Professional capacity:	Registered Town Planner		

**FOR OFFICE USE ONLY**

Date received: _____	
Received By: _____	





**CONVEYANCER CERTIFICATE**

I/We YOLANDI OLIVIER

*(conveyancer's name and surname)*

Practising at:

OLIVIER & ASSOCIATES ATTORNEYS, 5 ACORN ROAD, NEWLANDS, CAPE TOWN

7700

*(firm and place of practice)*

In respect of:

REMAINDER ERF 3223 STELLENBOSCH, IN THE MUNICIPALITY AND DIVISION OF STELLENBOSCH

PROVINCE OF THE WESTERN CAPE, IN EXTENT 1201(ONE THOUSAND TWO HUNDRED AND ONE) SQUARE METRES

HELD BY DEED OF TRANSFER NO.T16175/2013

*(full property description in full or refer to deed of transfer)*

Hereby certify that a search was conducted in the Deeds Registry, regarding the said property (ies) (including both current and earlier title deeds/pivot deeds/deeds of transfer):

1. HELD BY DEED OF TRANSFER NO.T16175/2013
2. ....
3. ....
4. ....
5. ....
6. ....
7. ....
8. ....

*(in example of deed of transfer T12345/2000 or deed of transfer Sectional Title ST1234/2000 (year of deed of transfer and date))*



**A. IDENTIFY RESTRICTIVE TITLE CONDITIONS (if any)**

Categories		Are there deed restrictions (indicate below)		Title Deed and Clause number if restrictive conditions are found
1.	Use of land	Y	N ✓	
2.	Building lines	Y	N ✓	
3.	Height	Y	N ✓	
4.	Number of Dwellings	Y	N ✓	
5.	Bulk floor area	Y	N ✓	
6.	Coverage/built upon area	Y	N ✓	
7.	Subdivision	Y	N ✓	
8.	Servitudes that may be registered over or in favour of the property	Y	N ✓	
9.	Other Restrictive Conditions	Y	N ✓	





**B. INDICATE AFFECTED PARTIES AS PER TITLE DEED (if any)**

*In respect of which it was found that there are no restrictive conditions with reference to Section 13(1)(b), b(1) of the Land Use Planning By-law (2015) registered against such property (ies) prohibiting it from being utilized/developed for the following purposes (as elaborated in the accompanying application)*

a.	Organ(s) of State that might have an interest in the restrictive condition	N/A
b.	A person whose rights or legitimate expectations will be affected by the removal/suspension/amendment of a restriction condition.	N/A
c.	All persons mentioned in the deed for whose benefit the restrictive condition applies	N/A

**C. PROCESS BY WHICH RELEVANT CONDITIONS WILL BE ADDRESSED**

*(please tick appropriate box)*

Application in terms of Section 15 of the Stellenbosch Municipal Land Use Planning By-Law (2015)	Notarial Deed of Cancellation (Submit Copy of Signed Agreement)	Action by way of court order (Submit Copy of the Court Order)	If Other, Please Specify
✓			

Signed at CAPE TOWN (Place) on this 26th (Day) NOVEMBER (Month) of 2021

Full names and Surname: YOLANDI OLIVIER

Signature: 

**OLIVIER & ASSOCIATES ATTORNEYS**  
 5 ACORN STREET  
 NEWLANDS  
 7700  
 CAPE TOWN

**OLIVIER & ASSOCIATES ATTORNEYS**  
 5 ACORN STREET  
 NEWLANDS  
 7700  
 CAPE TOWN

Tel: 0216718296

Email: OLIVIERASSOC@POLKA.CO.ZA

Cell: 0824992801

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Miltons Matsemela Inc  
221 Main Road  
Paarl  
7646

Prepared by me

CONVEYANCER  
JOLENE LINDY JACOBS (49235)

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R. 1 700 000,00	R. 1 283,00
Reason for exemption	Category Exemption	Exemption i to Sec/Reg Act/Proc

DATA / CAPTURE  
30-11-2021  
FATGEYAH LARNEY

DATA / VERIFY  
01-12-2021  
YOLANDI OLIVIER

T000058610 / 2021

## DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

**INGRID MARÉ**  
(LPC NUMBER 97215)

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney granted to him/her by

**FIAZ ANJUM AWAN**  
Identity Number 790307 6257 08 6  
Unmarried

which said Power of Attorney was signed at DURBANVILLE on 11 October 2021



And the appearer declared that his/her said principal had, on 29 September 2021, truly and legally sold by Private Treaty, and that he/she, the said Appearer, in his/her capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

**VARKBLOM PROPRIETARY LIMITED**  
**Registration Number 2021/894301/07**

or its Successors in Title or assigns, in full and free property

**REMAINDER ERF 3223 STELLENBOSCH**  
**IN THE STELLENBOSCH MUNICIPALITY**  
**DIVISION OF STELLENBOSCH**  
**WESTERN CAPE PROVINCE**

**IN EXTENT 1201 (ONE THOUSAND TWO HUNDRED AND ONE) Square metres**

**FIRST TRANSFERRED by Deed of Transfer Number T8160/1928 with Diagram No. A2599/28 relating thereto and held by Deed of Transfer Number T16175/2013**

**SUBJECT to the conditions referred to in Deed of Transfer No. T2644 dated 15 April 1916.**

*Handwritten mark*

*Handwritten mark*

*Handwritten mark*

WHEREFORE the said Appearer, renouncing all rights and title which the said

**FIAZ ANJUM AWAN, Unmarried**

heretofore had to the premises, did in consequence also acknowledge him to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

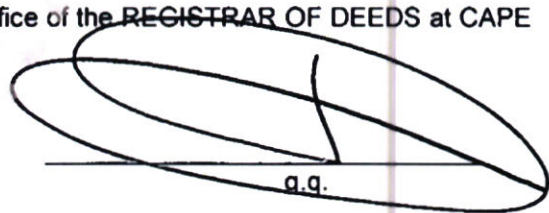
**VARKBLOM PROPRIETARY LIMITED**  
**Registration Number 2021/894301/07**

or its Successors in Title or assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R1 700 000,00 (ONE MILLION SEVEN HUNDRED THOUSAND RAND).

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on

25 NOV 2021



g.g.

In my presence



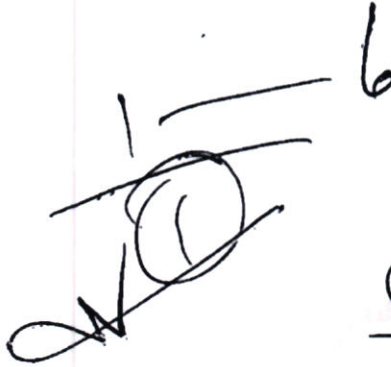
REGISTRAR OF DEEDS



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Miltons Matsemela Inc  
221 Main Road  
Paarl  
7646

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Prepared by me



CONVEYANCER  
JOLENE LINDY JACOBS (49235)

## POWER OF ATTORNEY TO PASS TRANSFER

I, the undersigned

**FAZ ANJUM AWAN**  
Identity Number 790307 6257 08 6  
Unmarried

do hereby nominate and appoint ANDREW JOHN MURRAY (81710) and/or DAVID ERIC LOTZ (82577) and/or WILHELMUS JACOBUS KNOETZE (81663) and/or FRANCOIS TREDoux (79397) and/or TERESA GRAUSO (85387) and/or JENINE LOUISE BOSHOFF (88153) and/or VUKI MICHAEL NGUBENI (85397) and/or ELENE GROENEWALD and/or ANDREA ROBERTA VAN NELSON (93984) and/or JOLENE LINDY JACOBS (49235) and/or KRISTEN LAUREN SEARLE (94725) and/or ROBERT PAUL RUDOLF KRAUTKRÄMER (85459) and/or TIFFANY PAMELA RADEMEYER (94170) and/or NADIA DE KOCK (86675) and/or IZAK STEPHANUS VENTER (84995) and/or PAUL WOLTER STELLING (82666) and/or KARIEN VISAGIE (95758) and/or SONJA BANTJES (96510) and/or ELBE YOUNG (98021) and/or CARMEN LOUISE DEN HAAN (95665) and/or CHENÉ LABUSCHAGNE (95899) and/or QUINTIN THOMAS COMBRINK (95836) and/or CORNELIUS ALEWYN BOTHA (94215) and/or ROBBYN DANAE FRANK (97770) and/or HERBIE OOSTHUIZEN (78397) and/or VERA VIVIEN REYNOLDS (96350) and/or YOLANDA MINNIE (95870) and/or SHERYL LEE-ANNE SCHOEMAN (95238) and/or INGRID MARÉ (97215) and/or CHERYLEEN NAIDOO (97661)

with power of substitution to be my true and lawful Attorney and Agent in my name, place and stead to appear at the Office of the REGISTRAR OF DEEDS at CAPE TOWN or any other competent official in the Republic of South Africa and then and there to act as my Attorney and Agent and to pass transfer to:

**VARKBLOM PROPRIETARY LIMITED**  
Registration Number 2021/894301/07

S

CR  
FA Ouw



the property described as:

REMAINDER ERF 3223 STELLENBOSCH  
IN THE STELLENBOSCH MUNICIPALITY  
DIVISION OF STELLENBOSCH  
WESTERN CAPE PROVINCE

IN EXTENT 1201 (ONE THOUSAND TWO HUNDRED AND ONE) Square  
metres

HELD BY Deed of Transfer Number T16175/2013


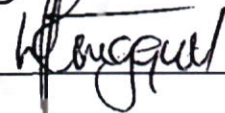
du.  
FA  
LR

the said property having been sold by me on 29 September 2021, to the said transferee/s for the sum of R1 700 000,00 (One Million Seven Hundred Thousand Rand)

and further cede and transfer the said property in full and free property to the said Transferee; to renounce all right, title and interest which the Transferor heretofore had in and to the said property, and generally, for effecting the purposes aforesaid, to do or cause to be done whatsoever shall be requisite, as fully and effectually, to all intents and purposes, as the Transferor might or could do if personally present and acting therein; hereby ratifying, allowing and confirming all and whatsoever the said Agent/s shall lawfully do or cause to be done in the premises by virtue of these presents.

Signed at DURBANVILLE on 11 OCT 2021  
in the presence of the undersigned witnesses.

AS WITNESSES :

1.  \_\_\_\_\_  
2.  \_\_\_\_\_

  
FIAZ ANJUM AWAN

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**Transfer Duty Declaration**

**TDREP**

**Reference Details**

Transfer Duty Reference Number: TDE0484678

**Details**

**Details of Seller / Transferor / Time Share Company**

Surname / Registered Name	AWAN	Full Name	PIAZ ANJUM
ID Number	7903076257086	Date of Birth (CCYYMMDD)	1979-03-07
Passport Country	ZAF	Passport Number	
Company / CC / Trust Reg No.		Marital Status	NOT MARRIED
Marital Notes if applicable	UNMARRIED	Spouse Initials	

**Details of Purchaser / Transferee**

Full Name	VARKBLOM PROPRIETARY LIMITED	Surname / Registered Name	VARKBLOM PROPRIETARY LIMITED
Company / CC / Trust Reg No.	202189430107	Marital Notes if applicable	

**Details of the Property**

Date of Transaction/Acquisition (CCYYMMDD)	2021-09-29	Total Fair Value	R 1700000.00	Total Consideration	R 1700000.00
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**Calculation of Duty and Penalty / Interest**

Transfer Duty Payable on Natural Person	R 1700000.00		
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**Property Description**

1	REMAINDER ERF 3223 STELLENBOSCH IN THE STELLENBOSCH MUNICIPALITY DIVISION OF STELLENBOSCH WESTERN CAPE PROVINCE IN EXTENT 1201 (ONE THOUSAND TWO HUNDRED AND ONE) Square metres
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**Receipt**

**Receipt Details**

Transfer Duty Reference Number	TDE0484678	Receipt No.	1200886544
Receipt Amount	R 30750.00		

**Declaration by Conveyancer / Attorney**

I certify that this is a true copy of the transfer duty declaration / receipt / exemption certificate drawn from the SARS eFiling site, which will be retained by me for 5 years from the date of registration of transfer.

  
**JOLENE LINDY JACOBS**

Date (CCYYMMDD): **27 OCT 2021**

For enquiries go to [www.sars.gov.za](http://www.sars.gov.za) or call 0800 00 SARS (7277)

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**STELLENBOSCH**  
STELLENBOSCH • PNIEL • FRANSCHHOEK  
MUNISIPALITEIT • UNASIPALA • MUNICIPALITY

3

**CERTIFICATE IN TERMS OF SECTION 118 OF THE LOCAL GOVERNMENT: MUNICIPAL SYSTEMS ACT, 2000 (ACT No. 32 OF 2000)  
(AS PRESCRIBED IN TERMS OF SECTION 120 OF ACT No. 32 OF 2000)**

**ISSUED BY STELLENBOSCH LOCAL MUNICIPALITY**

In terms of section 118 of the Local Government: Municipal Systems Act, 2000 (Act No. 32 of 2000), it is hereby certified that all amounts that became due to Stellenbosch Local Municipality in connection with the undermentioned property situated within that municipality for municipal service fees, surcharges on fees, property rates and other municipal taxes, levies and duties during the two years preceding the date of application for this certificate, have been fully paid.

**DESCRIPTION OF PROPERTY (see definition of property in section 1 of Act 32 of 2000)**

21 Digit Code (or Municipal Reference Number): C06700220000322300000

Erven: 3223

Portion: Remainder of 0

Extension: STELLENBOSCH

Zoning:

Registration division / Administrative District: in the Municipality and division of Stellenbosch, Western Cape Province

Suburb:

Town:

Sectional Title unit number:

Exclusive use area and number as referred to on the registered plan:

Real right:

Scheme registration number:

Sectional Title Scheme Name:

Registered owner: FIAZ ANJUM AWAN (7903076257086)

Name and Identity/ Registration Number of all purchaser/s: VARKBLOM PROPRIETARY LIMITED ( 2021/894301/07)

This Certificate is valid until: 10/01/2022

Given under my hand at STELLENBOSCH on 11/11/2021

Digitally signed by Stellenbosch Municipality  
 Signee: Keron Shane Rhode  
 Sign date: 12/11/2021 02:41:32.920 PM  
 Expiration date: 29/07/2026 11:56:38 AM

MUNICIPAL MANAGER  
 Stellenbosch Local Municipality

Date issued: 11/11/2021  
 Authorised Officer: Keron Rhode

Certificate By Conveyancer: **DAVID ERIC LOTZ**

I \_\_\_\_\_ (full name and surname) hereby certify that this is a print-out of a data message in respect of the original clearance certificate electronically issued by the Stellenbosch Local Municipality.

*David Eric Lotz*  
 Conveyancer

2021-11-12  
 Date





# STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Our Ref: 3223  
Contact number: (021) 808 8683  
Contact Person: P April  
Date: 29 September 2021

## ZONING CERTIFICATE - ERF 3223, STELLENBOSCH

It is hereby certified that the zoning of Erf 3223, in terms of the Stellenbosch Municipality Zoning Scheme By-Law, November 2019 is:

### MIXED-USE ZONE

PRIMARY USES	ADDITIONAL USES <i>(Not exceeding threshold in this chapter and subject to technical approval)</i>	CONSENT USES <i>(Application required).</i>
<ul style="list-style-type: none"><li>• Commune</li><li>• Business premises (including shops, markets, restaurants, office)</li><li>• Clinic</li><li>• Community residential building</li><li>• Extramural facility</li><li>• Flats</li><li>• Guest house</li><li>• Hostel</li><li>• Hotel</li><li>• Occasional use (one event/year)</li><li>• Plant nursery</li><li>• Public institution</li><li>• Public parking area</li><li>• Private road</li><li>• Tourist dwelling unit</li><li>• Tourist accommodation establishment</li><li>• Welfare institution</li></ul>	<ul style="list-style-type: none"><li>• None</li></ul>	<ul style="list-style-type: none"><li>• Adult Entertainment</li><li>• Builders yard</li><li>• Commercial gymnasium</li><li>• Conference facility</li><li>• Day care</li><li>• Filling station</li><li>• Freestanding base telecommunication station</li><li>• Funeral parlour</li><li>• Gambling place</li><li>• Helicopter landing pad</li><li>• Hospital</li><li>• Indoor sport</li><li>• Liquor Store</li><li>• Motor vehicle fitment centre</li><li>• Motor showroom</li><li>• Occasional use (&gt; one event/year)</li><li>• Parking garage</li><li>• Place of assembly</li><li>• Place of education</li><li>• Place of entertainment</li><li>• Renewable energy structure</li><li>• Rooftop base telecommunication station</li><li>• Tertiary educational institution</li><li>• Warehouse</li></ul>

  
Director: Planning and Economic Development

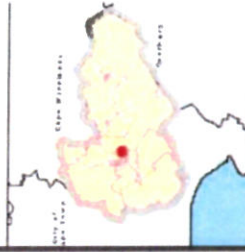
Please Note: Where discrepancies exist between the zoning information contained in this certificate and any Council decision, Council's decision override the contents of this zoning certificate.

# Stellenbosch GIS Map

**SCALE**

**1:1 128,5 :**

**Legend**



Stellenbosch Municipality  
Planning & Economic Development  
Created by: Corporate GIS

Date: 2021/09/29

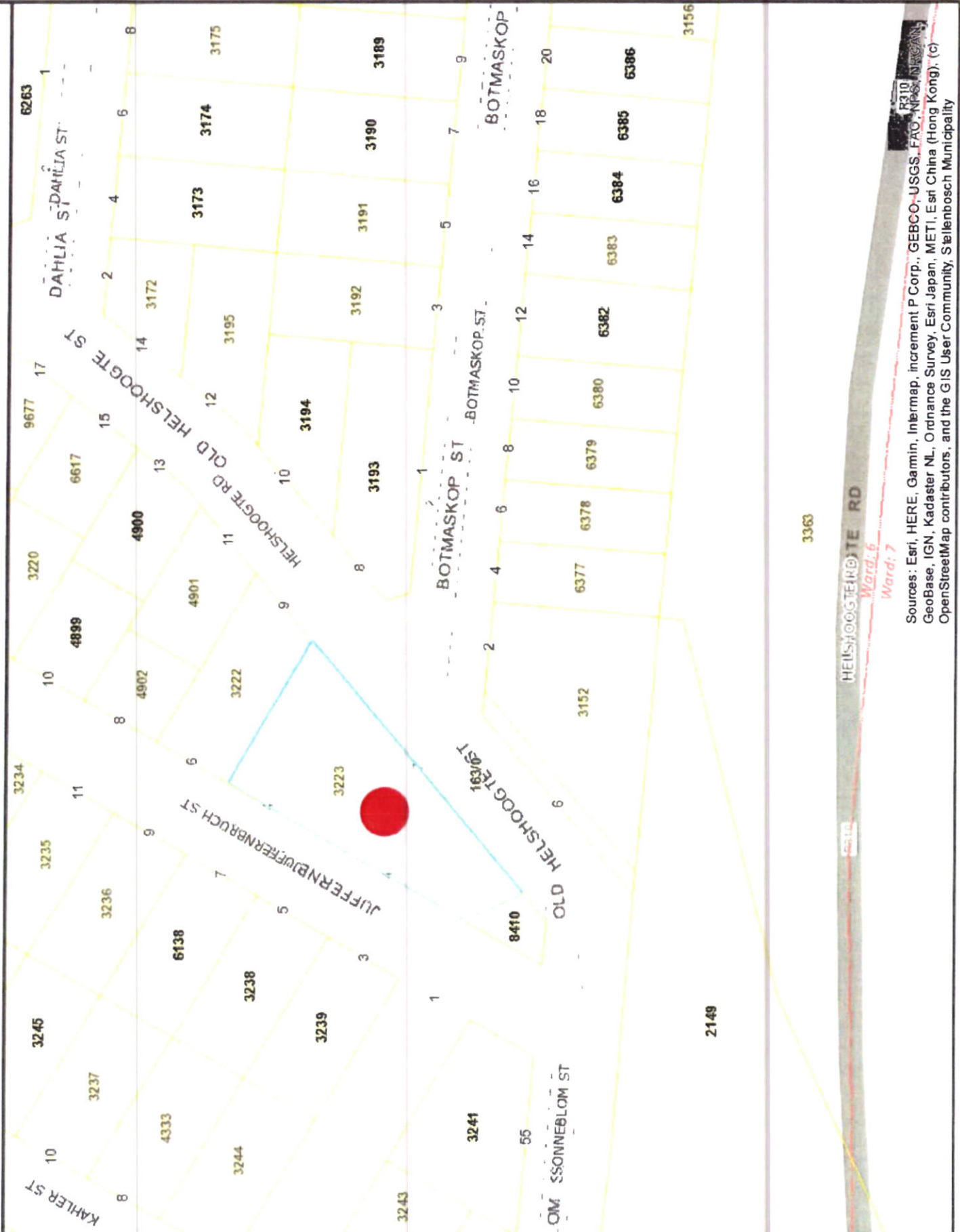


Author: Stellenbosch Municipality



Stellenbosch Municipality  
Street Address:  
71 Plein Street, Stellenbosch, 7600  
Tel: 021 808 8958

This map is a free product of the Stellenbosch Municipality. It is not intended for use in any other context. The data is provided as a guide only and is not a substitute for a professional survey. The map is not to be used for any other purpose without the written consent of the Stellenbosch Municipality. The map is provided as a guide only and is not a substitute for a professional survey. The map is not to be used for any other purpose without the written consent of the Stellenbosch Municipality.



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), Swisstopo, OpenStreetMap contributors, and the GIS User Community, Stellenbosch Municipality







**COUNCIL STAMP BLOCK**

**BUILDING LINE NOTE**  
 THE BUILDING LINE IS THE LINE OF THE BUILDING AS SHOWN ON THIS PLAN. IT IS NOT TO BE CONSIDERED AS A PROPERTY LINE OR A BOUNDARY FOR THE PURPOSES OF THIS PLAN. THE BUILDING LINE IS TO BE USED AS A GUIDE ONLY.

SIGNATURE BLOCK		
CLIENT	ARCHITECT	ENGINEER
Company Name Vandermere Pty Ltd	Company Name GASS Architectural Studio	Company Name XX
Name Evan Williams	Name Vandermere Pty Ltd	Name XX
Signature	Signature	Signature



**GROUND FLOOR PLAN**  
 Scale: 1:100

**GENERAL NOTES**

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS AND POSITIONS OF ALL STRUCTURAL ELEMENTS AND SERVICES PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS AND POSITIONS OF ALL STRUCTURAL ELEMENTS AND SERVICES PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY.
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**COPYRIGHT**

**GENERAL NOTES**

**REVISIONS**

**PROJECT DETAILS**

**DRAWING TITLE**

**DRAWING INFO**

**GASS**  
 ARCHITECTURAL STUDIO  
 111/111 GASS ST, SYDNEY NSW 1588  
 T: +61 2 9550 4000 F: +61 2 9550 4001  
 W: www.gass.co.za P: 081 400 1010

**PROJECT DETAILS**

PROJECT NAME	PROJECT ADDRESS	CLIENT
Vandermere	111/111 GASS ST, SYDNEY NSW 1588	EVAN WILLIAMS

**DRAWING INFO**

DRAWING NUMBER	DATE	SCALE
TS	2021-12-15	A4

**DRAWING NUMBER**  
 1000PL - E

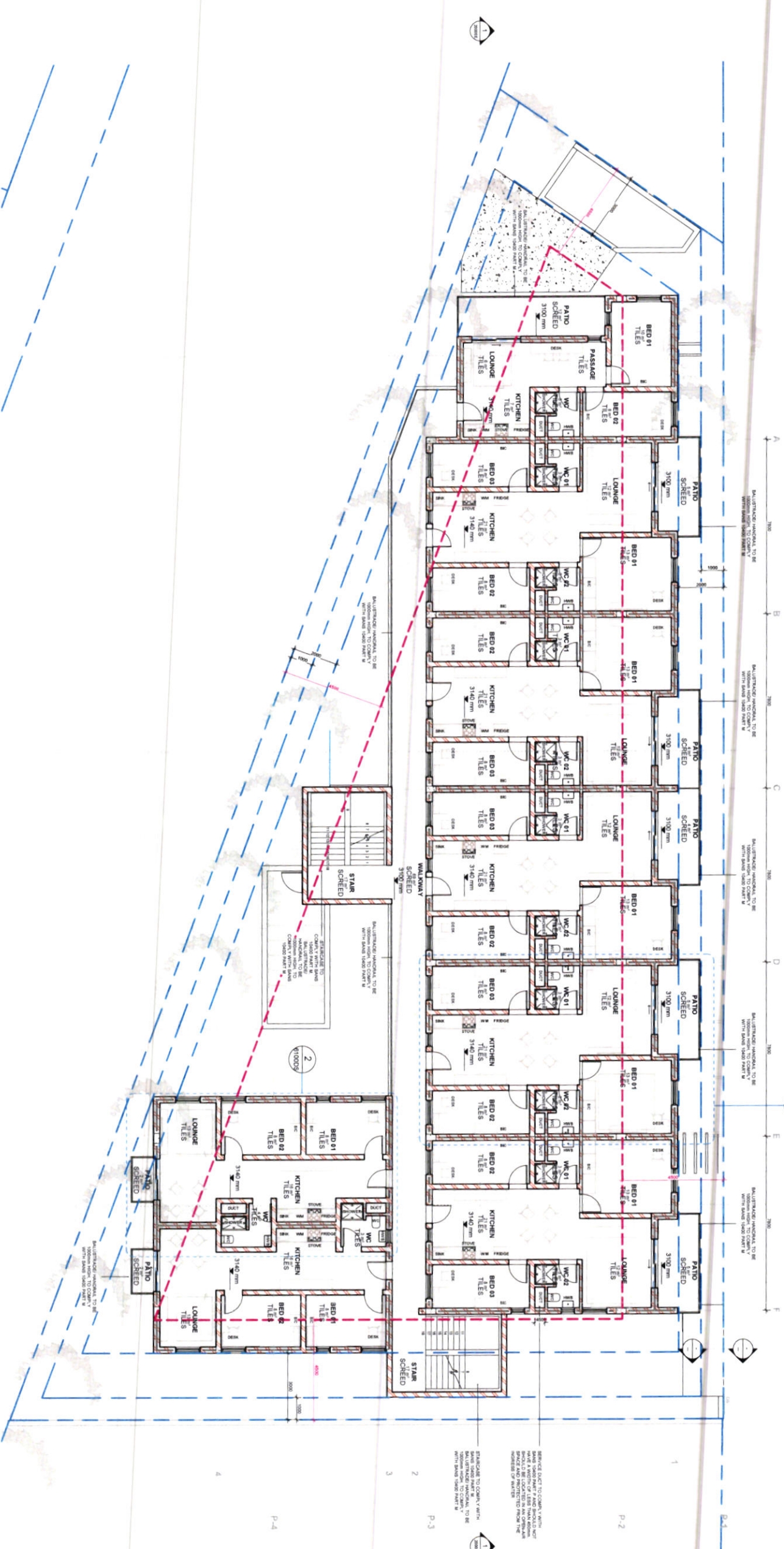


COUNCIL STAMP BLOCK

THE BUILDING LINE NOTE  
IS NOT A VALIDATION OF THE BUILDING  
DRAWINGS OR ARCHITECTURAL DESIGN.  
THE SCHEDULE OF RESPONSIBILITIES FOR THE  
NEWLY PROPOSED BUILDING LINE.

SIGNATURE BLOCK

CHEIF	ARCHITECT	ENGINEER
Company name Vardham PVT. LTD	Company name GASS Architecture Studios	Company name XX
Name Esha Williams	Name Vishal Ven Diya	Name XX
Signature	Signature	Signature



FIRST FLOOR PLAN

Scale: 1:100

COPYRIGHT

IN ACCORDANCE WITH THE RELEVANT CLAUSES OF THE COPYRIGHT ACT 1997 ACT OF 1993 RELATING TO ARCHITECTURAL DRAWINGS AND ARCHITECTURAL DRAWINGS AND CONSTRUCTION DOCUMENTS, THE PROPERTY AND COPYRIGHT OF GASS ARCHITECTURE STUDIOS, ARCHITECTS 1182013, CLIENT FOR THE PARTICULAR PROJECT TO WHICH THIS DRAWING IS ISSUED, IS RESERVED. ANY UNAUTHORIZED USE OF THE DOCUMENT(S) FOR THE CARRING OUT OF THE PROJECT, WITHOUT THE WRITTEN PERMISSION OF GASS ARCHITECTURE STUDIOS, ARCHITECTS 1182013, IS STRICTLY PROHIBITED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAME EXCEPT WITH THE PRIOR CONSENT FROM GASS ARCHITECTURE STUDIOS, ARCHITECTS 1182013.

GENERAL NOTES

1. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS, NATIONAL BUILDING REGULATIONS, RELEVANT AS & CONDITIONS ARE TO COMPLY WITH THE 3 THIS DRAWING IS NOT TO BE SCALED DIMENSIONS TO BE USED.
2. RELEVANT DRAWINGS AND SPECIFICATIONS ISSUED BY QUALIFIED ARCHITECTS, ENGINEERS, AND OTHER CONSULTANTS TO BE USED.
3. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS, NATIONAL BUILDING REGULATIONS, RELEVANT AS & CONDITIONS ARE TO COMPLY WITH THE 3 THIS DRAWING IS NOT TO BE SCALED DIMENSIONS TO BE USED.
4. RELEVANT DRAWINGS AND SPECIFICATIONS ISSUED BY QUALIFIED ARCHITECTS, ENGINEERS, AND OTHER CONSULTANTS TO BE USED.

REVISIONS

NUMBER	REVISION DESCRIPTION	DATE	ISSUED BY
A	Revision Updates	2021-12-10	TS
B	Building Line Updates	2021-12-13	TS
C	Building Line & Fixing Updates	2021-12-14	TS
D	Room Detail Drawing	2021-12-15	TS
E	Final & Security Room Drawing Update	2021-12-15	BS

PROJECT DETAILS

PROJECT NAME	VARDHAM 04
PROJECT ADDRESS	CHANDYKOPPE
CLIENT NAME	GASS ARCHITECTURE STUDIOS
PROJECT NUMBER	

DRAWING TITLE

FIRST FLOOR PLAN	
DRAWING INFO	
DRAWN	DATE
CHECKED	DATE
DWG	2021-12-15
DRAWING NUMBER	
NO. OF SHEETS	1
SHEET NO.	1

GENERAL NOTES

2.0. REVISIONS AND CORRECTIONS TO THE DRAWINGS SHALL BE MADE ONLY BY THE ARCHITECT OR AN AUTHORIZED REPRESENTATIVE OF THE ARCHITECT. THE CLIENT ACCEPTS THE RESPONSIBILITY OF MATERIALS, CONTENT AND STATEMENT.

1.1.1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND QUANTITIES OF MATERIALS AND WORKMANSHIP. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.

1.1.2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND QUANTITIES OF MATERIALS AND WORKMANSHIP. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.

1.1.3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND QUANTITIES OF MATERIALS AND WORKMANSHIP. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.

1.1.4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND QUANTITIES OF MATERIALS AND WORKMANSHIP. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.

1.1.5. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND QUANTITIES OF MATERIALS AND WORKMANSHIP. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.

1.1.6. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND QUANTITIES OF MATERIALS AND WORKMANSHIP. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.

1.1.7. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND QUANTITIES OF MATERIALS AND WORKMANSHIP. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.

1.1.8. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND QUANTITIES OF MATERIALS AND WORKMANSHIP. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.

1.1.9. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND QUANTITIES OF MATERIALS AND WORKMANSHIP. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.

1.1.10. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND QUANTITIES OF MATERIALS AND WORKMANSHIP. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.

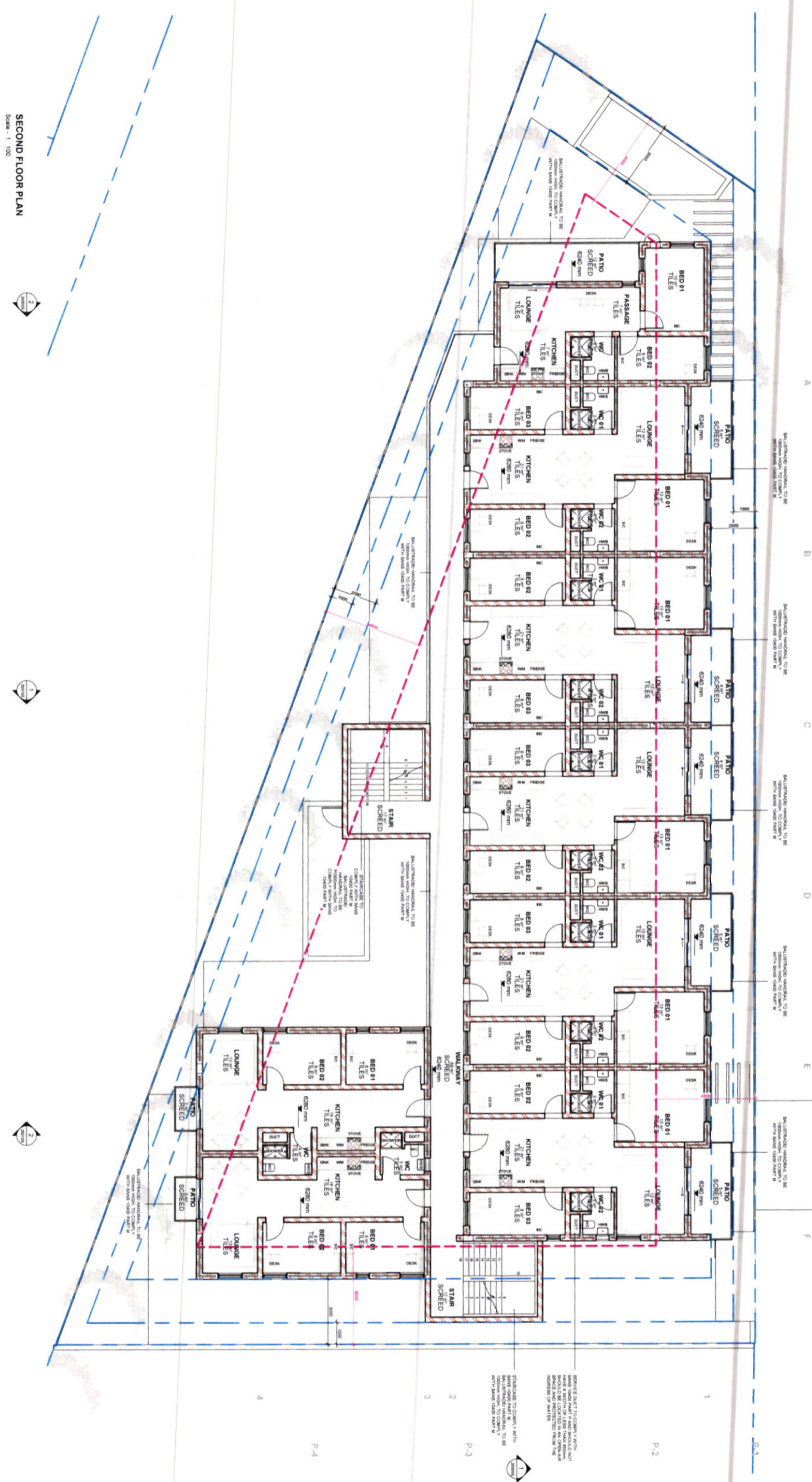


**COUNCIL STAMP BLOCK**

THE RESPONSIBILITY FOR THE BUILDING IS NOT TO BE ACCEPTED BY THE COUNCIL UNTIL THE BUILDING IS COMPLETE AND THE COUNCIL HAS RECEIVED THE FINAL INSPECTION REPORT FROM THE BUILDING OFFICER.

**SIGNATURE BLOCK**

CLIENT	ARCHITECT	ENGINEER
company name Vishwakarma PVT LTD	company name GASS Architecture Studio	company name XX
name Eman Williams	name Vishwakarma DK	name XX
signature 	signature 	signature 



**COPYRIGHT**

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**GENERAL NOTES**

- 1. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE RELEVANT S.A.N.S. CODES.
- 2. ALL MATERIALS AND WORKMANSHIP ARE TO COMPLY WITH THE RELEVANT S.A.N.S. CODES.
- 3. THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF GASS ARCHITECTURE STUDIO.
- 4. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL THE OTHER DRAWINGS AND SPECIFICATIONS OF THE PROJECT.
- 5. ALL DIMENSIONS AND LEVELS MUST BE CHECKED ON SITE BY THE CONTRACTOR BEFORE PUTTING WORK IN HAND.

**REVISIONS**

NUMBER	REVISION DESCRIPTION	DATE	ISSUED BY
A	Issue Documentation	2021-12-10	TS
B	Building Line Update, Design Update	2021-12-13	TS
C	Final Design Update	2021-12-14	TS
D	Final Design Update	2021-12-15	TS

**PROJECT DETAILS**

PROJECT NAME	PROJECT ADDRESS
CLIENT	CLIENT CONTACT
DRAWING NUMBER	DRAWING TITLE

**DRAWING TITLE**

NO.	DATE	BY
1	2021-12-10	TS
2	2021-12-13	TS
3	2021-12-14	TS
4	2021-12-15	TS

**GENERAL NOTES**

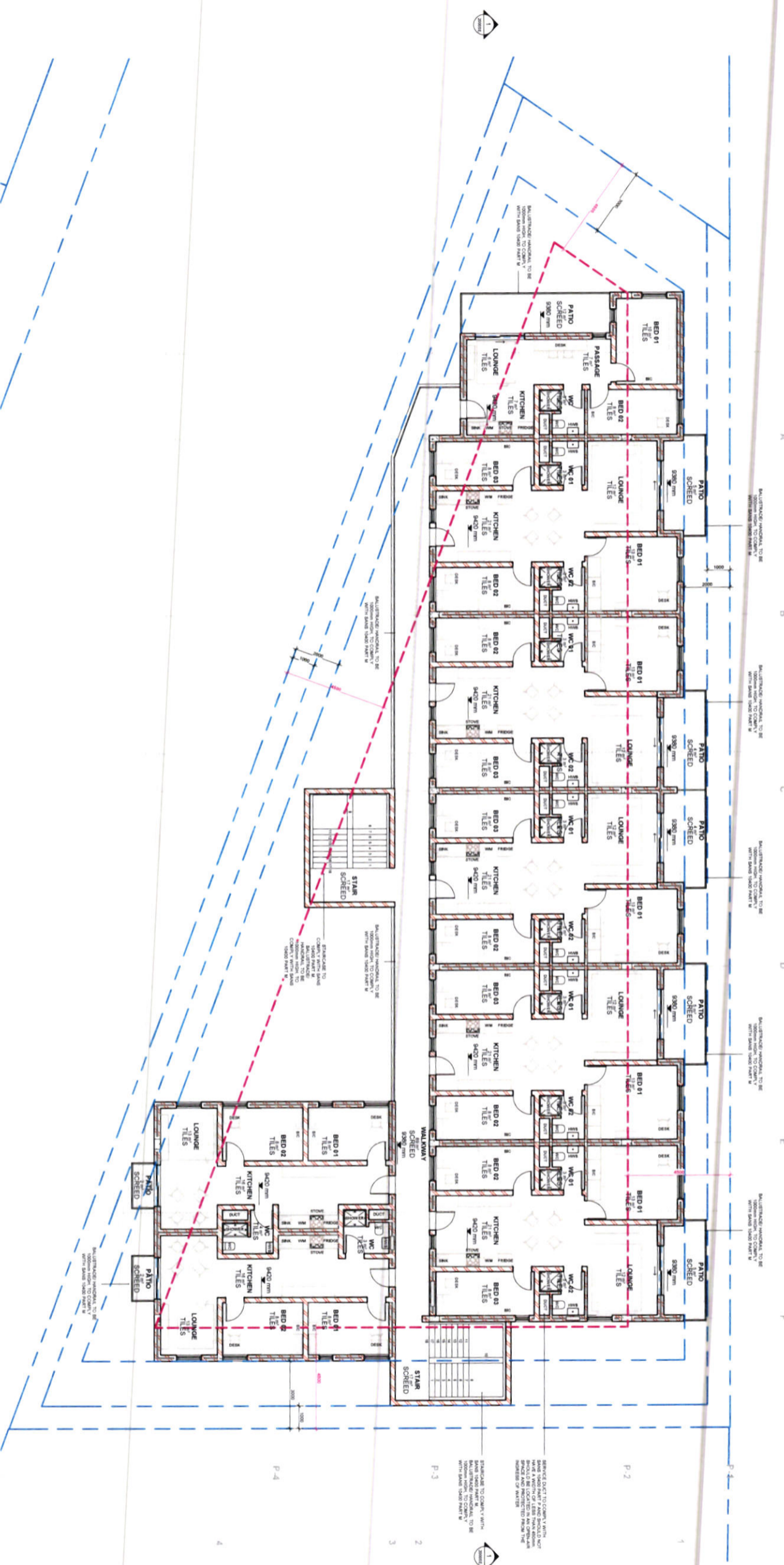
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- 5. ALL DIMENSIONS AND LEVELS MUST BE CHECKED ON SITE BY THE CONTRACTOR BEFORE PUTTING WORK IN HAND.



**COUNCIL STAMP BLOCK**

**BUILDING LINE NOTE**  
 THE BUILDING LINE IS TO BE SET AS SHOWN IN THE PLAN & TO BE MAINTAINED THROUGHOUT THE LIFE OF THE BUILDING. ANY ALTERATIONS TO THE BUILDING LINE SHALL BE APPROVED BY THE COUNCIL.

SIGNATURE BLOCK		
CLIENT	ARCHITECT	ENGINEER
Company Name GASS ARCHITECTURE STUDIOS	Company Name GASS ARCHITECTURE STUDIOS	Company Name GASS ARCHITECTURE STUDIOS
Name Evan Williams	Name Evan Williams	Name Evan Williams
Signature 	Signature 	Signature 



**THIRD FLOOR PLAN**  
 Scale: 1:100

**GASS**  
 ARCHITECTURE STUDIOS  
 1/271 402 2048 CT - 271 001 0210 F - 408 688 4000  
 E: g@ass.com.au W: www.gass.com.au P: 1/271 402 2048 - SUITE 4 0802

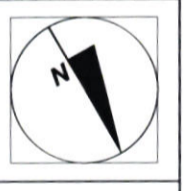
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**GENERAL NOTES**

1. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS.
2. ALL MATERIALS AND WORKMANSHIP ARE TO COMPLY WITH THE NATIONAL BUILDING REGULATIONS.
3. THIS DRAWING IS NOT TO BE SCALED. FIGURED DIMENSIONS TO BE USED.
4. ALL DIMENSIONS AND LEVELS MUST BE CHECKED ON SITE BY THE CONTRACTOR BEFORE FIXING WORK IN HAND.

**REVISIONS**

NUMBER	REVISION DESCRIPTION	DATE	ISSUED BY
A	Issue Documentation	2021-12-10	TS
B	Issue Documentation	2021-12-10	TS
C	Issue Documentation	2021-12-14	TS
D	Issue Documentation	2021-12-15	ES



**ISSUED FOR INFORMATION**

PROJECT NAME: **GASS PROJECT NUMBER: 1300P-L-D**

PROJECT ADDRESS: **1300P-L-D**

CLIENT: **GASS PROJECT NUMBER: 1300P-L-D**

**DRAWING TITLE**

THIRD FLOOR PLAN

**DRAWING INFO**

NO.	DATE	BY	CHECKED	SCALE
1	2021-12-10	TS	TS	1:100
2	2021-12-14	TS	TS	1:100
3	2021-12-15	ES	ES	1:100

**DRAWING NUMBER**

PROJECT CODE: 1300P-L-D

**GENERAL NOTES**

1. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS.

2. ALL MATERIALS AND WORKMANSHIP ARE TO COMPLY WITH THE NATIONAL BUILDING REGULATIONS.

3. THIS DRAWING IS NOT TO BE SCALED. FIGURED DIMENSIONS TO BE USED.

4. ALL DIMENSIONS AND LEVELS MUST BE CHECKED ON SITE BY THE CONTRACTOR BEFORE FIXING WORK IN HAND.

**GENERAL NOTE**  
 THE BUILDING LINE IS TO BE SET AS SHOWN IN THE PLAN & TO BE MAINTAINED THROUGHOUT THE LIFE OF THE BUILDING. ANY ALTERATIONS TO THE BUILDING LINE SHALL BE APPROVED BY THE COUNCIL.

**WALL NOTES**

1. ALL EXTERNAL WALLS TO BE CONSTRUCTED IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS.

2. ALL EXTERNAL WALLS TO BE FINISHED WITH A FINISH TO BE DETERMINED BY THE ARCHITECT.

**FLOORING AND FINISHES**

1. ALL FLOORING TO BE FINISHED TO THE FINISH TO BE DETERMINED BY THE ARCHITECT.

2. ALL FLOORING TO BE FINISHED TO THE FINISH TO BE DETERMINED BY THE ARCHITECT.

**GLAZING NOTE**

1. ALL GLAZING TO BE FINISHED TO THE FINISH TO BE DETERMINED BY THE ARCHITECT.

2. ALL GLAZING TO BE FINISHED TO THE FINISH TO BE DETERMINED BY THE ARCHITECT.

**SIZING NOTE**

1. ALL DIMENSIONS TO BE TO THE FINISH TO BE DETERMINED BY THE ARCHITECT.

2. ALL DIMENSIONS TO BE TO THE FINISH TO BE DETERMINED BY THE ARCHITECT.

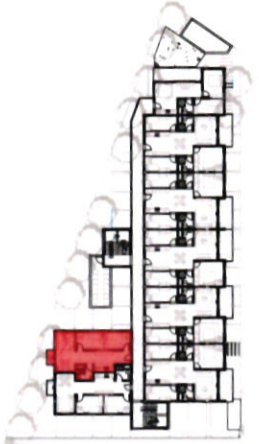




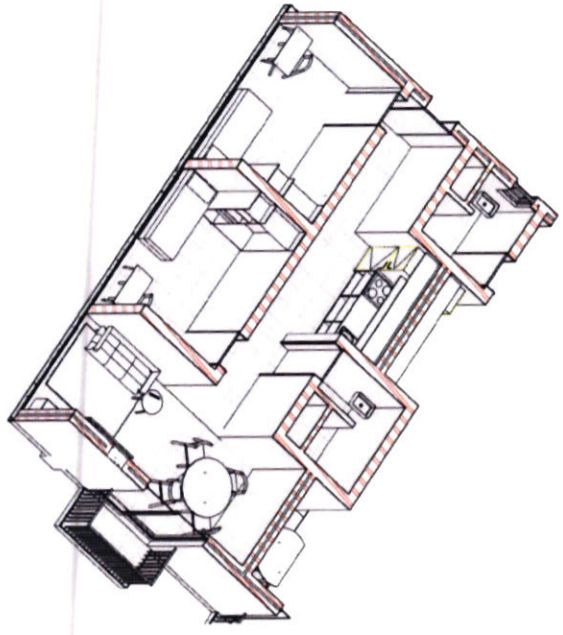




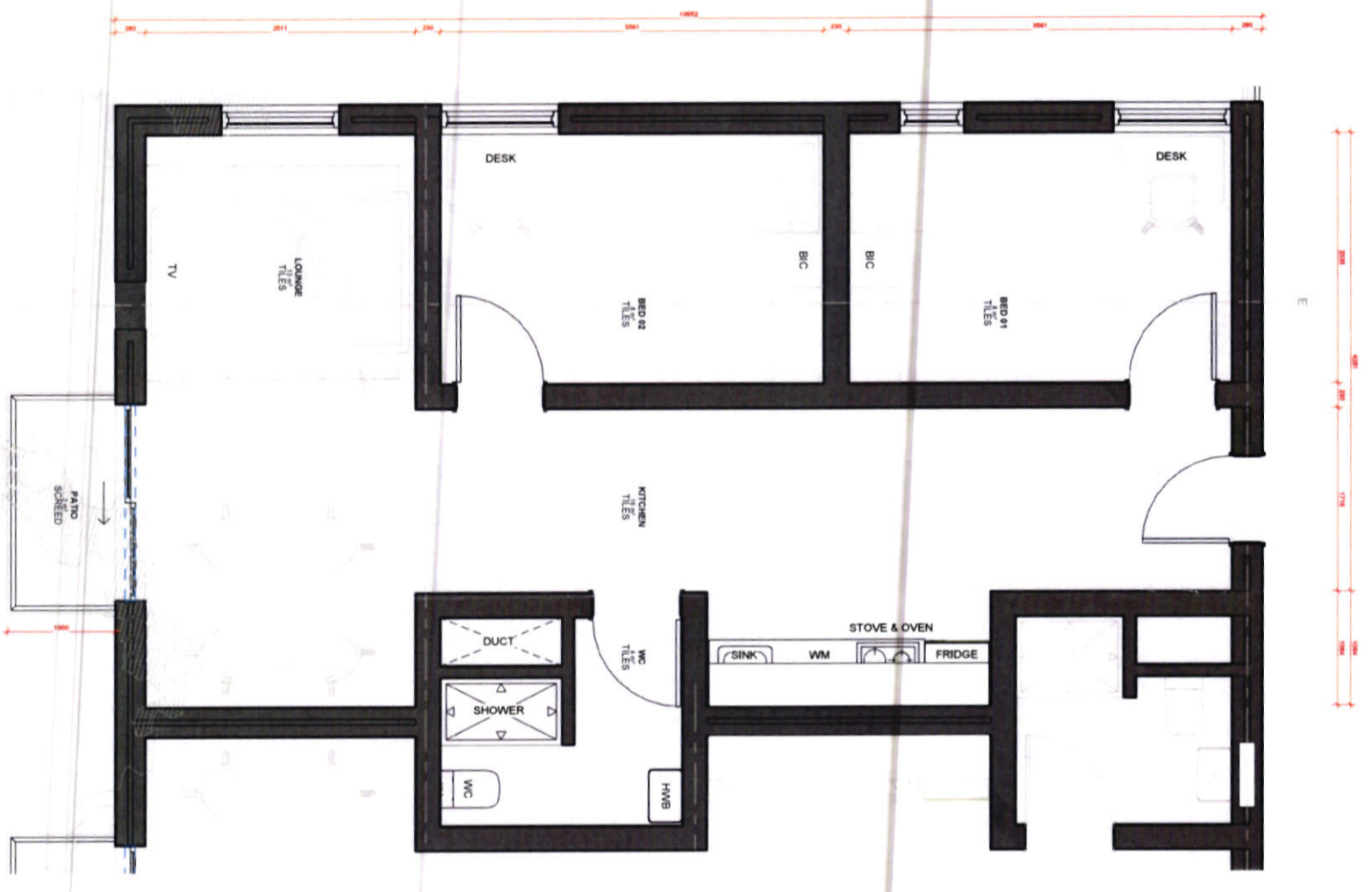




LOCALITY PLAN  
Scale: 1:500



2BED UNIT - 3D VIEW 01  
Scale: -



2BED UNIT - LAYOUT PLAN  
Scale: 1:30

**GENERAL NOTES**

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

**GENERAL NOTES**  
 1.1 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS OF ALL WORK AND MATERIALS TO BE INSTALLED AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.  
 1.2 THE DRAWING IS NOT TO BE SCALED. USE DIMENSIONS GIVEN IN THE DRAWING.  
 1.3 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS OF ALL WORK AND MATERIALS TO BE INSTALLED AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.  
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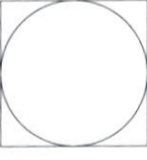
IN ACCORDANCE WITH THE RELEVANT CLAUSES OF THE STANDARD CONDITIONS OF CONTRACT FOR THE ASSIGNMENT OF ARCHITECTS AND ENGINEERS, THE CLIENT ACCEPTS THE RESPONSIBILITY OF MATERIALS, CONTENT AND STATEMENT OF INFORMATION.  
 GASS ARCHITECTURE STUDIO  
 JHB: +27 11 462 2045 CT: +27 21 001 0210 F: +61 689 4699  
 E: g@gnass.co.za W: www.gnass.co.za P: Arch: g@gnass.co.za SAICA # 6862

**GENERAL NOTES**

1. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE RELEVANT S.A.N.S. CODES.  
 2. ALL MATERIALS AND WORKMANSHIP ARE TO COMPLY WITH THE RELEVANT S.A.N.S. CODES.  
 3. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL THE RELEVANT DRAWINGS AND SPECIFICATIONS.  
 4. THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL THE RELEVANT DRAWINGS AND SPECIFICATIONS.  
 5. ALL DIMENSIONS AND LEVELS MUST BE CHECKED ON SITE BY THE CONTRACTOR BEFORE PUTTING WORK IN HAND.

**REVISIONS**

NUMBER	REVISION DESCRIPTION	DATE	DESIGNED BY
A	Room Detail Drawings	2021-12-15	TS



**ISSUED FOR INFORMATION**

PROJECT NAME: 2BED UNIT  
 PROJECT ADDRESS: 2BED UNIT  
 CLIENT: GASS ARCHITECTURE STUDIO  
 GASS PROJECT NUMBER: 6100DS - A

**DRAWING TITLE**

ROOM DETAIL DRAWING - 2BED
DRAWING INFO
DRAWING NUMBER: TS
DRAWING CODE: 0000
DATE: 2021-12-15
SCALE: 1:30
DESIGNED BY: TS
CHECKED BY: AT ROSENBERG
DATE: 2021-12-15
SCALE: 1:30
PROJECT CODE: 0000
ZONE: 0000
LEVEL: 0000
KOOL: 0000
REVISION NUMBER: 0000
REV: 0000

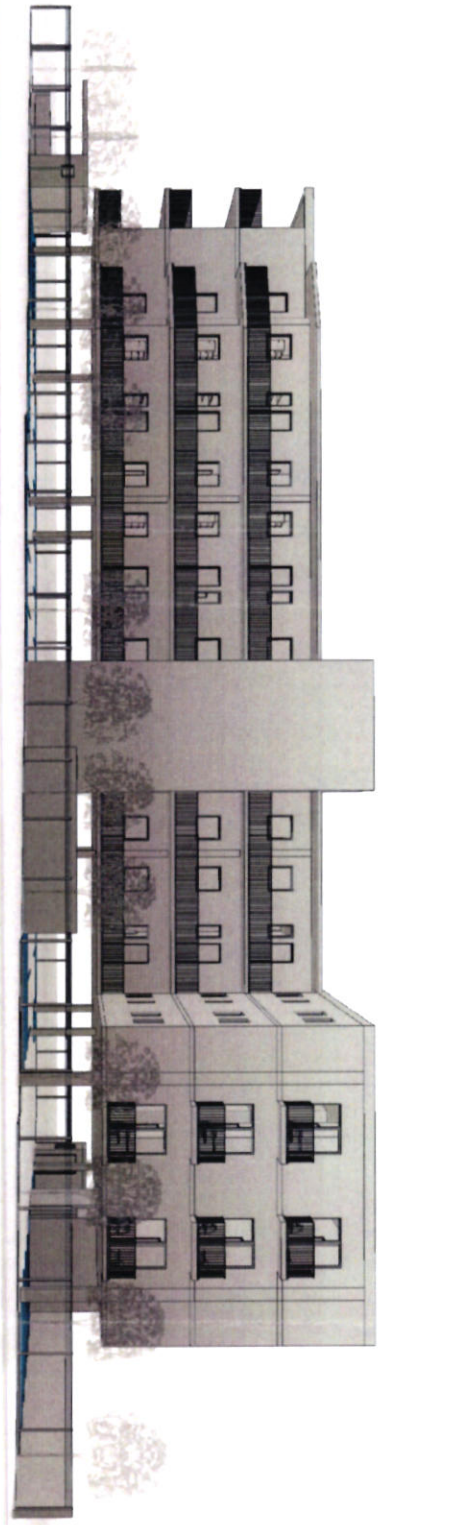


**COUNCIL STAMP BLOCK**

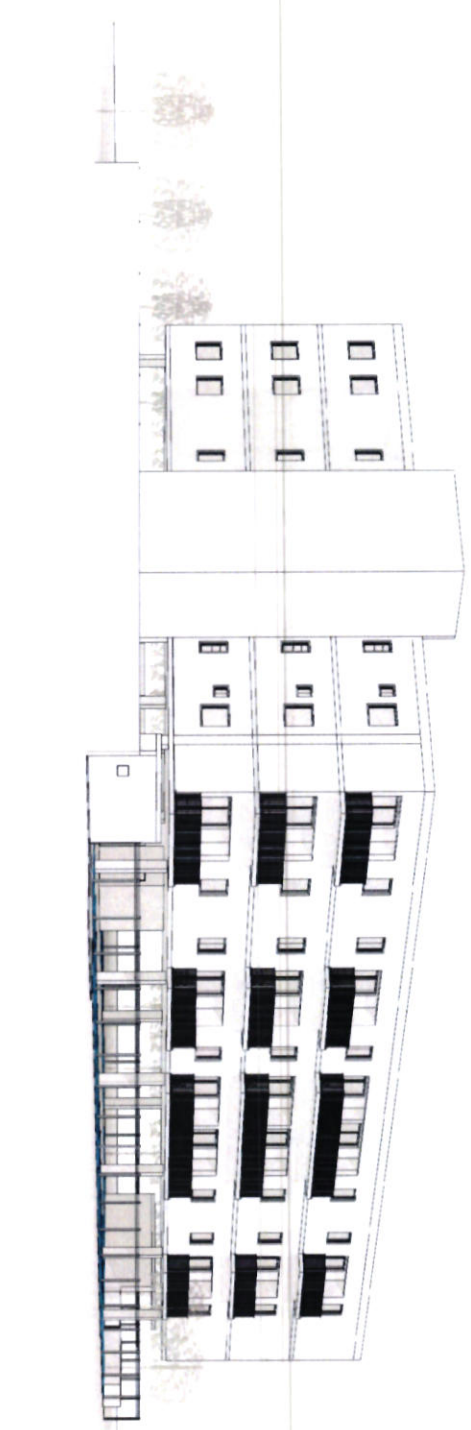
<b>SIGNATURE BLOCK</b>	
<b>CLIENT</b>	<b>ARCHITECT</b>
company name Vestition Pty Ltd	company name GASS Architecture Studio
name Elin Williams	name Michael van Dyk
signature	signature
<b>ENGINEER</b>	<b>ENGINEER</b>
company name	company name
name	name
signature	signature



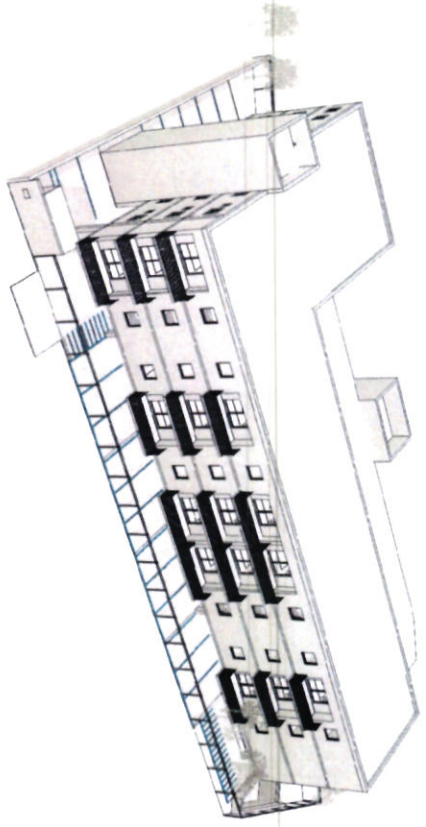
**3D View 1**  
Scale -



**3D View 2**  
Scale -



**3D View 3**  
Scale -



**3D View 4**  
Scale -

**3D View 5**  
Scale -

**GENERAL NOTES**

NOT REPRODUCTION ARE PERMITTED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT. THE CLIENT ACCEPTS THE RESPONSIBILITY OF MATERIALS. THE CLIENT ACCEPTS THE RESPONSIBILITY OF MATERIALS. THE CLIENT ACCEPTS THE RESPONSIBILITY OF MATERIALS. THE CLIENT ACCEPTS THE RESPONSIBILITY OF MATERIALS.

**GENERAL NOTES**  
1.1.1 THE DRAWING IS NOT TO BE SCALED. USE DIMENSIONS SHOWN ON DRAWING.  
1.1.2 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS AND LOCATIONS OF ALL WORK BEFORE COMMENCING ANY WORK.  
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**REVISIONS**

NUMBER	REVISION DESCRIPTION	DATE	ISSUED BY
A	Final Security Visual Design Update	2021-12-14	TS
B	Final Security Visual Design Update	2021-12-15	TS

**ISSUED FOR INFORMATION**

PROJECT NAME: ...  
PROJECT ADDRESS: ...  
CLIENT: ...

**DRAWING TITLE**

3D VIEWS & PERSPECTIVES

**DRAWING INFO**

DRAWN	CHECKED	DATE	SCALE
TS <td>WD</td> <td>2021-12-15</td> <td>As Shown</td>	WD	2021-12-15	As Shown

**DRAWING NUMBER**

001SP - B



## Traffic Impact Statement

for the

# PROPOSED RESIDENTIAL DEVELOPMENT ON ERF 3223 STELLENBOSCH, WESTERN CAPE

Project No: STUR0351

February 2022  
Draft Report

**PREPARED BY:**

STURGEON CONSULTING (PTY) LTD  
7 Waterberg Crescent  
Clara Anna Fontein  
Durbanville  
7550

**CONTACT PERSON:**

Annebet Krige  
Tel no: +27 (84) 610 0233

**PREPARED FOR:**

ARCH TOWN PLANNERS (PTY) LTD  
152 Dorp Street  
Stellenbosch  
7600

**CONTACT PERSON:**

Mr Earle Williams  
Tel no: +27 (82) 782 6625


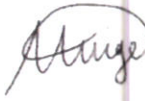
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STURGEON Consulting (PTY) LTD (Reg No: 2015/059513/07)  
Directors: A Krige (Pr Eng) & AC Krige | Associate: SJ Larratt (Pr Tech Eng)  
7 Waterberg Crescent, Clara Anna Fontein, Durbanville 7550



## DOCUMENT CONTROL SHEET

DATE	REPORT STATUS	AUTHORED BY:	APPROVED BY:
February 2022	Draft for comment	NAME Lize Neethling	NAME Annebet Krige Pr Eng
		SIGNATURE 	SIGNATURE 
	Final	NAME	NAME
		SIGNATURE	SIGNATURE
<b>TITLE:</b> PROPOSED RESIDENTIAL DEVELOPMENT ON ERF 3223, STELLENBOSCH: TRAFFIC IMPACT STATEMENT			
<b>CARRIED OUT BY:</b> Sturgeon Consulting 7 Waterberg Crescent Clara Anna Fontein Durbanville 7550  Mrs Annebet Krige  Tel: +27 84 610 0233 Email: <a href="mailto:annebet@sturgesonsa.co.za">annebet@sturgesonsa.co.za</a>		<b>COMMISSIONED BY:</b> Arch Town Planners (Pty) Ltd 152 Dorp Street Stellenbosch 7600  Mr Earle Williams  Tel: +21 82 782 6625 Email: <a href="mailto:earle.williams@rmb.co.za">earle.williams@rmb.co.za</a>	
<b>SYNOPSIS:</b> This report assesses the key transportation issues pertaining to the development of 24 apartments on Erf 3223 in Stellenbosch, Western Cape.			

## SUMMARY SHEET

<b>Report Type</b>	Traffic Impact Statement
<b>Title</b>	Proposed Residential Development, Erf 3223
<b>Location</b>	Stellenbosch, Western Cape
<b>Client</b>	Mr Earle Williams
<b>Reference Number</b>	STUR0351
<b>Project Team</b>	Sarah Larratt Lize Neethling Annebet Krige
<b>Contact Details</b>	083 418 4241   <a href="mailto:sarah@sturgeonsa.co.za">sarah@sturgeonsa.co.za</a> 079 399 6333   <a href="mailto:lize@sturgeonsa.co.za">lize@sturgeonsa.co.za</a> 084 610 0233   <a href="mailto:annebet@sturgeonsa.co.za">annebet@sturgeonsa.co.za</a>
<b>Date</b>	February 2022
<b>Report Status</b>	Draft

*This transport impact assessment has been prepared by a suitable qualified and registered professional traffic engineer. Details of any of the calculations on which the results of this report are based will be made available on request.*



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## Acronyms

AMG – Access Management Guidelines

RAG- Road Access Guidelines

TIA - Traffic Impact Assessment

TIS - Traffic Impact Statement

SDP - Site Development Plan

LOS - Level of Service

IPTN - Integrated Public Transport Network

WCG - Western Cape Government

NMT - Non-Motorised Transport

PHF - Peak Hour Factor

AM - Morning

PM - Afternoon

d - Average delay in seconds

v/c - Volume/capacity ratio

vph - vehicles per hour


vpd - vehicles per day




Traffic Impact Statement (TIS)	
Proposed Residential Development on Erf 3223, Stellenbosch, Western Cape	
<p><b>1. Purpose of Report</b></p>	<p>Sturgeon Consulting (Pty) Ltd has been appointed by Arch Town Planners (Pty) Ltd to undertake the Traffic Impact Statement (TIS) for the proposed residential development comprising of 24 apartments on Erf 3223, Stellenbosch, Western Cape. The purpose of the report is to determine the expected transport related impacts of the proposed development on the surrounding road network.</p>
<p><b>2. Locality</b> <i>Reference: Figure 1</i></p>	<p>Erf 3223, Stellenbosch, Western Cape</p> <p><b>Description:</b> The subject property is located in Idasvallei, Stellenbosch, north of Helshoogte Road (MR172) and east of Rustenburg Road (DR1078). Erf 3223 borders Juffernbruch Street to the west and Old Helshoogte Road to the east.</p>





<p><b>3. Scope of Work</b></p>	<p>The scope of the work included in the TIS covers the following traffic engineering aspects:</p> <ul style="list-style-type: none"> <li>• Site observations</li> <li>• Existing traffic flows in the vicinity of the development</li> <li>• Existing and future road network planning</li> <li>• Trip generation for the proposed development</li> <li>• Recommended road upgrades if necessary</li> <li>• Non-motorised Transport (NMT) and public transport</li> <li>• Access assessment</li> <li>• Parking assessment</li> </ul>
<p><b>4. Proposed Development</b> <i>Reference: Figure 2</i></p>	<p>Erf 3223 is approximately ±1 204m<sup>2</sup> in extent and is currently vacant. <b>The proposed residential development will accommodate 24 apartments.</b></p>
	
<p><b>5. Land Use/Zoning</b></p>	<p><b>Existing Zoning:</b> Mixed Use Zone The zoning for Erf 3223 will remain as Mixed Use Zone.</p>



<b>6. Existing Access</b>	There is currently no formal access to Erf 3223.
<b>7. Existing Roadways</b>	<p>The major roads in the vicinity of the site are as follows:</p> <p><b>Helshoogte Road (MR172):</b> is a Class 3 minor arterial, four-lane undivided road (<math>\pm 19.80\text{m}</math> width). Helshoogte Road has paved sidewalks and streetlights present on both sides of the road. There is a posted speed limit of 60km/h in the vicinity of the site.</p>  <p><b>Rustenburg Road (DR1078):</b> is a Class 4 collector street, undivided two-lane road (<math>\pm 7.2\text{m}</math> width). Rustenburg Road has paved sidewalks and streetlights present on both sides of the road.</p>  <p><b>Protea Street:</b> is a Class 5 local access street, undivided two-lane road (<math>\pm 6.60\text{m}</math> width). Protea Street has paved sidewalks on both sides of the road while streetlights are present on the southern side of the road.</p>

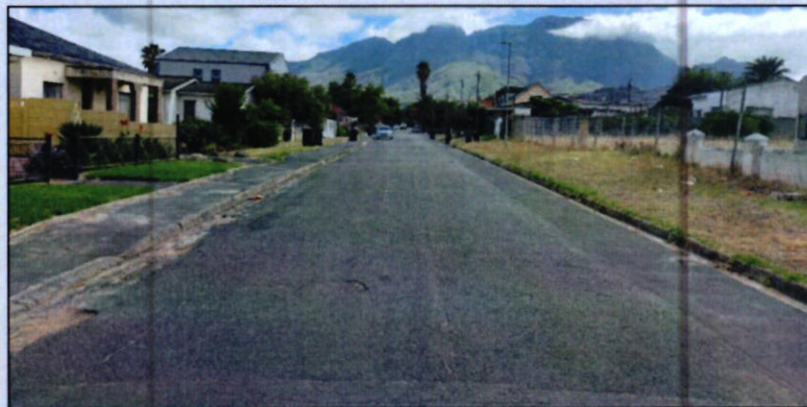




**Sonneblom Street:** is a Class 5 local access street, undivided two-lane road ( $\pm 8.4\text{m}$  width). Sonneblom Street has paved sidewalks and streetlights on both sides of the road.

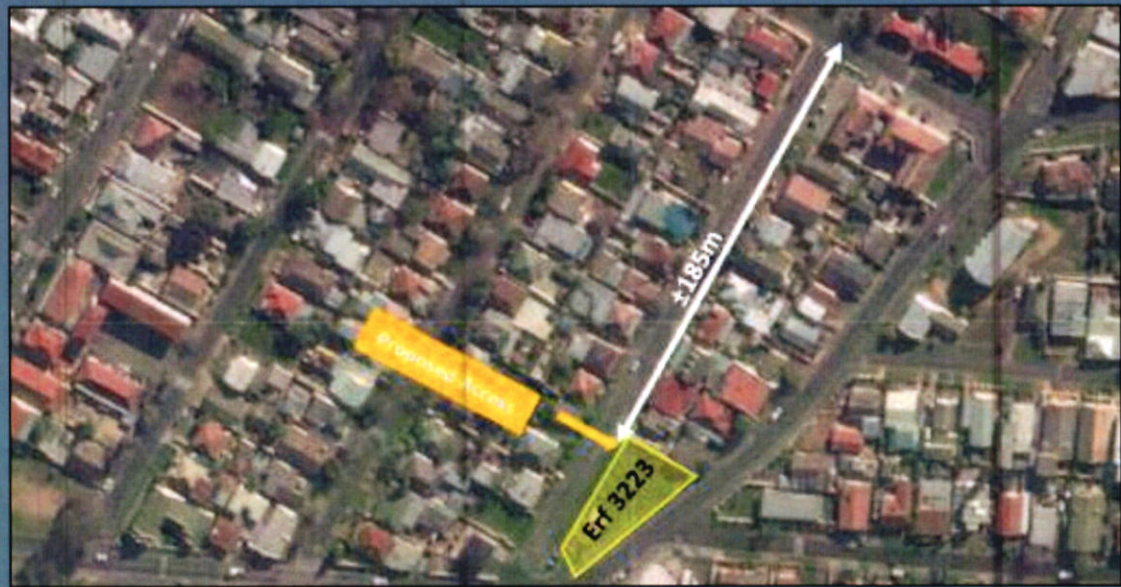


**Juffernbruch Street:** is a Class 5 local access street, undivided two-lane road ( $\pm 6.60\text{m}$  width). Juffernbruch Street is a cul-de-sac with a paved sidewalk on the western side of the road.





<p><b>8. Future Road Network</b></p>	<p>No major future road network changes are foreseen in the vicinity of the proposed development.</p>
<p><b>9. Trip Generation Rates</b> <i>Reference: Table 1</i></p>	<p>The additional vehicle trips that will be generated by the proposed residential development were calculated using the trip generation rates provided in the <i>TMH17 South African Trip Data Manual (Draft 2.1, August 2020)</i> published by the Committee of Transport Officials (COTO).</p> <p>The recommended peak hour trip generation rates and directional split for Apartments and Flats (COTO220) are shown below:</p> <ul style="list-style-type: none"> <li>• AM Peak Hour: 0.65 trips/dwelling unit (25:75)</li> <li>• PM Peak Hour: 0.65 trips/dwelling unit (70:30)</li> </ul>
<p><b>10. Development Trips</b> <i>Reference: Table 1</i></p>	<p>The total peak hour trips likely to be generated by the proposed development in the AM and PM peak hours are as follows:</p> <ul style="list-style-type: none"> <li>• 16 total AM trips (4 inbound, 12 outbound)</li> <li>• 16 total PM trips (11 inbound, 5 outbound)</li> </ul> <p>Refer to <b>Table 1</b> for a summary of the Trip Generation calculations.</p>
<p><b>11. Traffic Impact</b></p>	<p>The number of trips that will be generated by the proposed development is minimal (&lt; 50 peak hour trips) and will have an insignificant traffic impact. No further analysis will be required.</p>
<p><b>12. Site Access</b></p>	<p>The proposed development will only have one access along Juffernbruch Street, approximately ±185m south of the Juffernbruch Street / Protea Street intersection. The proposed access will require a two-lane cross section i.e. one lane in and one lane out.</p>



### 13. Parking Requirements

Parking provision for the proposed development should satisfy the requirements as suggested in the *Stellenbosch Municipality Zoning Scheme By-Law, 2019*. For Flats the number of parking bays and visitor parking bays required are determined by the number of bedrooms per unit.

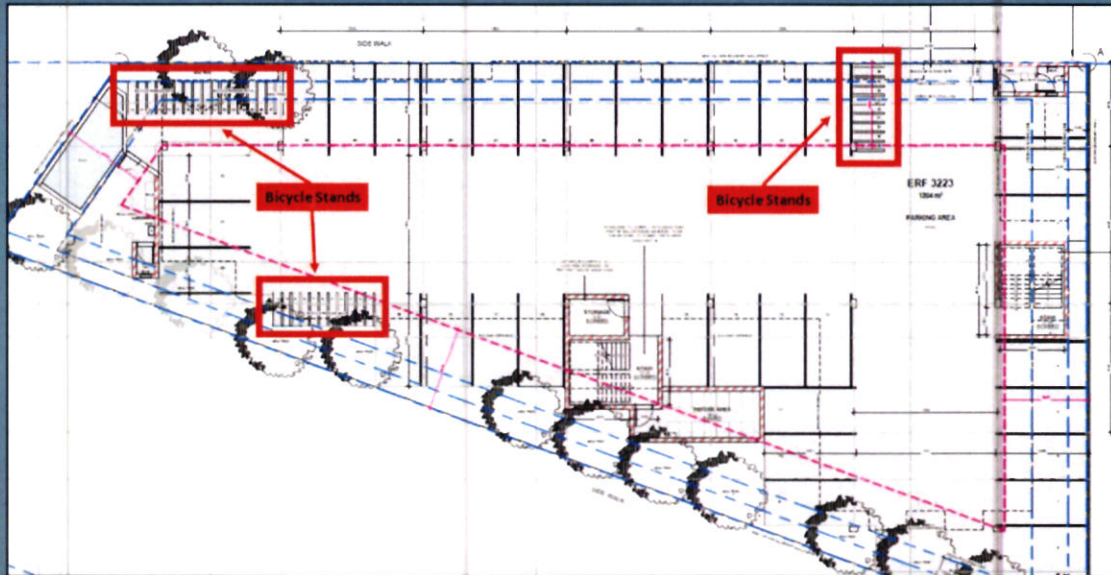
Land Use		Parking Ratio	Parking Required
Flats	2 Bedroom Unit	1 bay / dwelling unit	9 parking bays
		0.5 bays / dwelling unit for visitors	4 parking bays
	3 Bedroom Unit	1.25 bays / dwelling unit	19 parking bays
		0.5 bays / dwelling unit for visitors	8 parking bays

A total of 40 parking bays are required for the proposed residential development. The current SDP indicates that 34 vehicle parking bays and 36 bicycle stands, equating 6 parking bays, will be provided on Erf 3223. A total of 40 parking bays will therefore be provided on site.



**14. Non-Motorised Transport (NMT) and Public Transport**

It is expected that the proposed development will generate additional non-motorised and pedestrian trips. As mentioned in **Section 13**, a total of 36 bicycle stands will be provided within the development, as illustrated in the figure below.



Sidewalks are present along Juffernbruch Street, Protea Street, Old Helshoogte Road, Sonneblom Street, Helshoogte Road and Rustenburg Road. All pedestrian crossings in the vicinity of the site are illustrated in red on the figure below.

It is recommended that a sidewalk be constructed on the eastern side of Juffernbruch Street from the proposed access southbound, linking with the sidewalk along Sonneblom Street. No further non-motorised transport facilities are proposed in the vicinity of the site.





A bus stop is located along Sonneblom Street approximately ±260m west of the proposed development. No additional public transport facilities are proposed in the vicinity of the site.





## 15. Conclusions and Recommendations

This report describes the investigation of transport implications of the proposed residential development on Erf 3223, Stellenbosch. It summarises the existing transportation conditions within the site vicinity, provides an assessment of the transportation impacts of the proposed development on the surrounding road network and recommendations about improvements to mitigate negative impacts, if relevant.

The main findings are as follows:

- This TIS is in support of the application for the proposed residential development on Erf 3223 in Stellenbosch.
- The proposed development will consist of 24 apartments.
- The development has the potential to generate **16 trips** during the AM peak hour (4 in, 12 out) and **16 trips** during the PM peak hour (11 in, 5 out).
- The number of trips that will be generated by the proposed development is minimal (<50 peak hour trips) and will have an insignificant traffic impact.
- No upgrades will be required at the Helshoogte Road / Rustenburg Road intersection.
- The proposed access to the development will be off Juffernbruch Street approximately ±180m south of the Juffernbruch Street / Protea Street intersection.
- The site access will require a two-lane cross section i.e. one lane in and one lane out.
- The access intersection will be stop-controlled on the development side.
- Parking should be provided in accordance with the *Stellenbosch Municipality Zoning Scheme By-Law, 2019*.
- Sufficient parking is provided according to the SDP.
- It is proposed that a sidewalk be constructed along the eastern side of Juffernbruch Street from the proposed access southbound towards Sonneblom Street.
- No public transport improvements are required.

This report has shown that the proposed development will have an insignificant traffic impact and can be accommodated by the adjacent transport network. From a traffic engineering perspective, the approval of the application for this development is supported and it is recommended that the development be approved.

---

## REFERENCES

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1. Western Cape Government: Access Management Guidelines, Final AMG, 2020.
2. Department of Transport, Guidelines for Traffic Impact Studies, Report No. PR93/645, Pretoria, 1995.
3. Department of Transport, South African Trip Generation Rates, Report No. RR92/228, Pretoria, 1995.
4. Committee of Transport Officials (COTO), South African Trip Data Manual, TMH 17, Committee Draft 2.2, August 2020.
5. Committee of Transport Officials (COTO), South African Traffic Impact and Site Traffic Assessment Manual Standards and Requirements Manual, Volume 2 TMH 16, Committee Draft 2.0, October 2020.
6. Committee of Transport Officials (COTO), South African Traffic Impact and Site Traffic Assessment Manual, Volume 1 TMH 16, Committee Draft 2.0, May 2018.
7. Stellenbosch Municipality, Stellenbosch Municipality Zoning Scheme By-Law 2019, September 2019.



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## APPENDIX A: FIGURES

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Project:

PROPOSED STUDENT HOUSING DEVELOPMENT ON ERF 3223, STELLENBOSCH, WESTERN CAPE TIS

Job No:

STUR0351

LOCALITY PLAN

Figure:

1





 <b>STURGEON CONSULTING</b>	<b>Project:</b> PROPOSED STUDENT HOUSING DEVELOPMENT ON ERF 3223, STELLENBOSCH, WESTERN CAPE TIS	<b>Job No:</b> STUR0351
	SITE DEVELOPMENT PLAN (N.T.S)	<b>Figure:</b> 2

---

## APPENDIX B: TABLES

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**Table 1: Proposed Trip Generation Rates and Estimated Peak Hour Trips**

Land Use	GLA / Number of Units	Peak Hour	Trip Generation Rate	Split		Total Trips		Total Trips
				IN	OUT	IN	OUT	
220 Apartments and Flats	24	AM	0.65	25	75	4	12	16
		PM	0.65	70	30	11	5	16

# BUILDING LINE DEPARTURE

ERF 3223 IDAS VALLEY, STELLBOSCH



December 2021

SUBMITTED TO: STELLENBOSCH MUNICIPALITY

PREPARED AND SUBMITTED BY:



Postal Address: 2<sup>nd</sup> Floor, Bakkershuis  
152 Dorp Street  
Stellenbosch, 7600

Mobile: +27 (0)72 480 5838

Email: [marike@archtownplanners.co.za](mailto:marike@archtownplanners.co.za)

Website: [www.archtownplanners.co.za](http://www.archtownplanners.co.za)



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ANNEXURE A:	APPLICATION FORM
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ANNEXURE C:	TITLE DEED AND CONVEYANCER CERTIFICATE
ANNEXURE D:	ZONING CERTIFICATE
ANNEXURE E:	PROPOSED FLOOR PLANS AND ELEVATIONS
ANNEXURE F:	PRE-APPLICATION SUBMISSION

# 1. Introduction

## 1.1 Background information

The owner of Erf 3223 Stellenbosch, recently bought the property with the intention to develop a block of flats, in line with the existing Mixed-Use zoning. Due to the awkward shape of the erf, the proposed building can only be accommodated through various building line departures. This report serves as the motivation report for the proposed building line departures.

## 1.2 Planning Brief

In light of the above information, Arch Town Planners (Pty) LTD has been appointed by Varkblom (Pty) Ltd to prepare and submit a building line and parking departure application to the Stellenbosch Municipality for their approval. Please refer to Annexures A and B for the Application Form and Power of Attorneys.

## 1.3 Application to Stellenbosch Municipality

Arch Town Planners hereby officially applies for the following, in terms Sections 15(2)(b) and (g) of the Stellenbosch Municipality Land Use By-Law (2015), to allow for the following:

- i) A **Permanent Departure** to allow for the following building lines:
  - Street building line (Banhoek street): Ground floor: 1m and 2m, Floors 1 – 3: 1m (balconies) and 2m (building) in lieu of 4.5m
  - Street building line (Sonnebloem street): Floors 1 – 3: 3m in lieu of 4.5m
  - Street building line (Juffernbrunch street): Floors 1 – 3: 1m (balconies) and 2m (building) in lieu of 4.5m
  - Common boundary building line: All floors: 1m in lieu of 4.5m (staircase) and Floors 1 – 3: 3m in lieu of 4.5m
- ii) **Permission** to substitute 6 vehicle parking bays with 36 bicycle bays

# 2. Property details

## 2.1 Summary of Property Information

Application Site	Erven 3223 Stellenbosch
Physical Address	Corner of Sonnebloem and Banhoek streets, Idas Valley
Property Size	1201m <sup>2</sup>
Current Ownership	Varkblom (Pty) Ltd
Title Deed No & Date	T58610/2021 (Please refer to Annexure C of a copy of the Title Deed.
Restrictive Title Deed Conditions	None (please refer to Annexure C for Conveyancer Certificate)



Current Zoning	Mixed -Use in terms of Stellenbosch Zoning Scheme By-Law (2019) (please refer to Annexure D for copy of Zoning Certificate)
Locality	Please refer <i>Figures 1 &amp; 2</i> below

Table 1: Property Details

## 2.2 Locality of Application Site

Erf 3223 lies on the corner of Sonnebloem and Banhoek streets, in Idas Valley, north of the Helshoogte road running between Stellenbosch and Pniel. Banhoek street is the old Helshoogte road, with a surrounding mix of single and higher residential and limited commercial uses. The site is within walking distance from Spar and 1.5km from Stellenbosch University main campus. Please refer to Figures 1 and 2 below for the locality and context of the erven.



Figure 1 Locality Map of Application Site





Figure 2 Locality of Erf 3223 Stellenbosch

### 2.3 Existing and Surrounding Land Uses

The building on Erf 3223 has been demolished, the site is currently vacant with a low perimeter wall around the property. There are no previous approvals applicable to this site. The majority of the surrounding buildings are single residential buildings with a few blocks of flats and small cafes further along Banhoek street.





Figure 3 Application Site (viewed from Banhoek Street)



Figure 4 View from Banhoek street towards Idas Valley and Simonsberg

## 2.4 Current Zoning

The zoning of properties in the Stellenbosch Municipal Area is regulated in terms of the Stellenbosch Municipality Zoning Scheme By-Law, 2019 (hereafter referred to as the 'Zoning Scheme'). According to the Zoning Scheme and as illustrated in Figure 5 below, erf 3223 is zoned Mixed-Use, this is also confirmed in the attached zoning certificate (please refer to Annexure D).







Building Parameters applicable to the Mixed-Use zone:				
Building type	Street boundary building lines (m)	Common boundary building lines (m)	Coverage	Height
Business premises	0m	0m	85%	6 storeys
Filling station	3m	3m	85%	2 storeys
Guest house, hostel, hotel, tourist accommodation	All levels 4,5m	Ground floor: 4,5m First floor: 4,5m Second floor: 6m	50%	6 storeys
All other buildings (including Flats)	4,5m	4,5m	85%	6 storeys

Table 2: Zoning parameters of Mixed- Use Zone

### 3. Proposed Development

#### 3.1 Development Proposal

In line with the allowable primary uses of the Mixed-Use zone, the proposed development entails the development of a four storey block of 2-bedroom (9 units) and 3-bedroom (15 units) flats to provide high density residential units in Idas Vallei. Parking will be provided on ground floor, with controlled access from Jufferenbruch street. 34 Vehicle bays and 36 safe and secure bicycle parking bays are provided. Please refer to Annexure E for the proposed SDP, floor plans and elevations.

A security kiosk with bathroom is provided at the entrance gate, with a communal braai area and pool proposed on the southern boundary of the site. Two staircases on the ground floor provides access to the flats above. Landscaping is proposed along Banhoek street to enhance the street interface which will be a great improvement to the existing street scape. The proposed landscaping will present an active interface on ground level to the street.

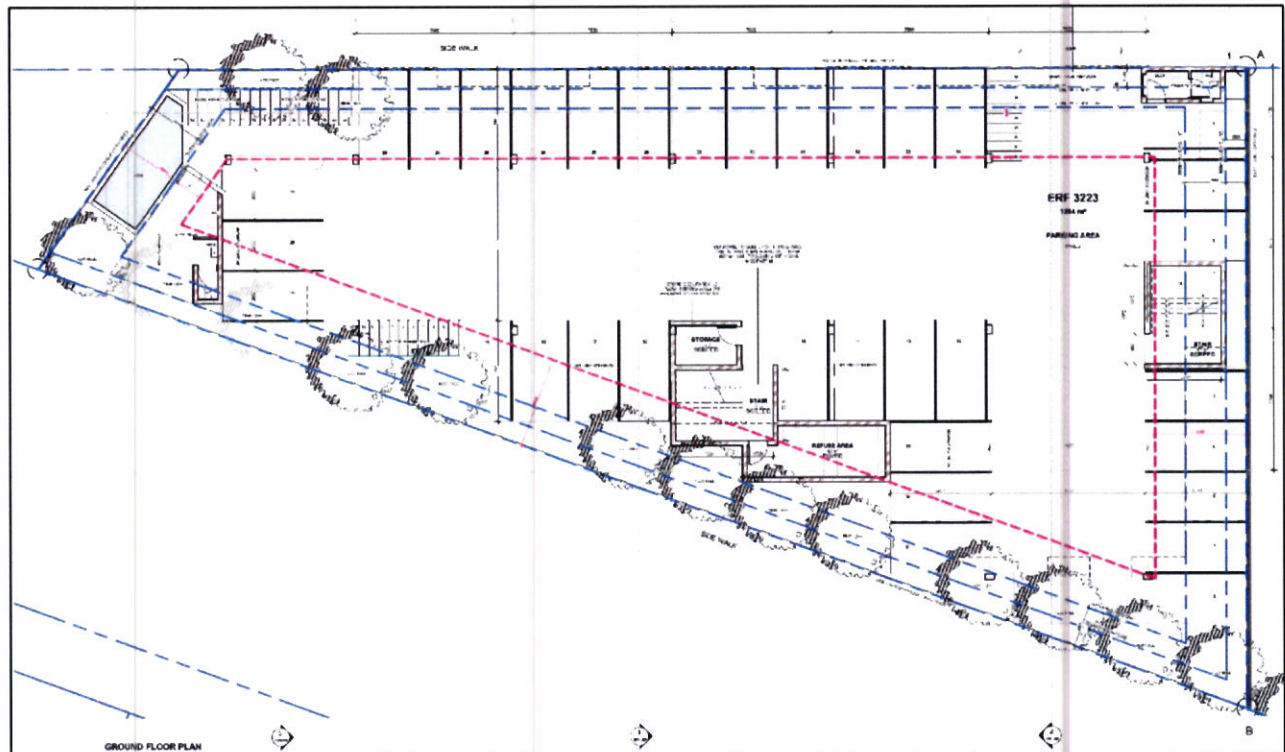


Figure 6 Proposed Ground Floor

The 24 proposed flats will be situated on the first, second and third floors, above the ground floor parking. Each floor will have 3 x 2-bedroom units and 5 x 3-bedroom units. Apart from the communal area on ground floor, each unit will have a patio to provide outdoor space.

The 2-bedroom units will each have one shared bathroom and a patio, the 3-bedroom units will have two shared bathrooms and will also have patios on each unit.

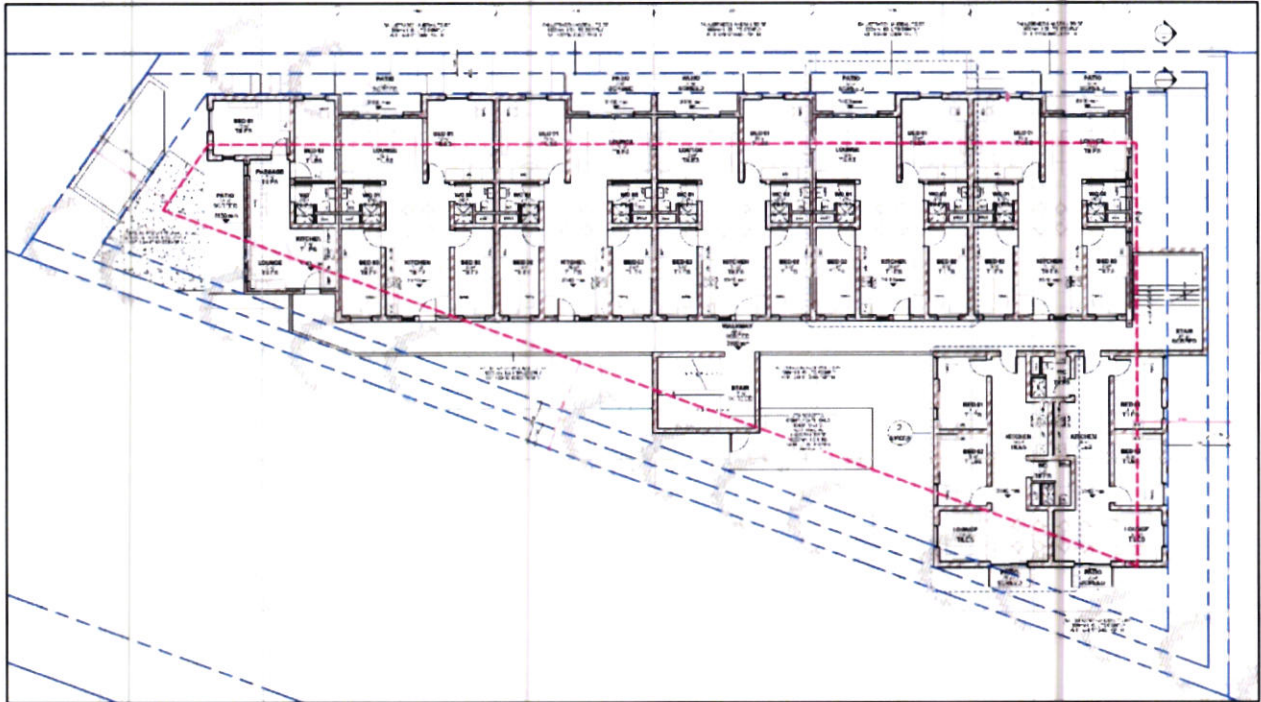


Figure 7 Layout of proposed first, second and third floors

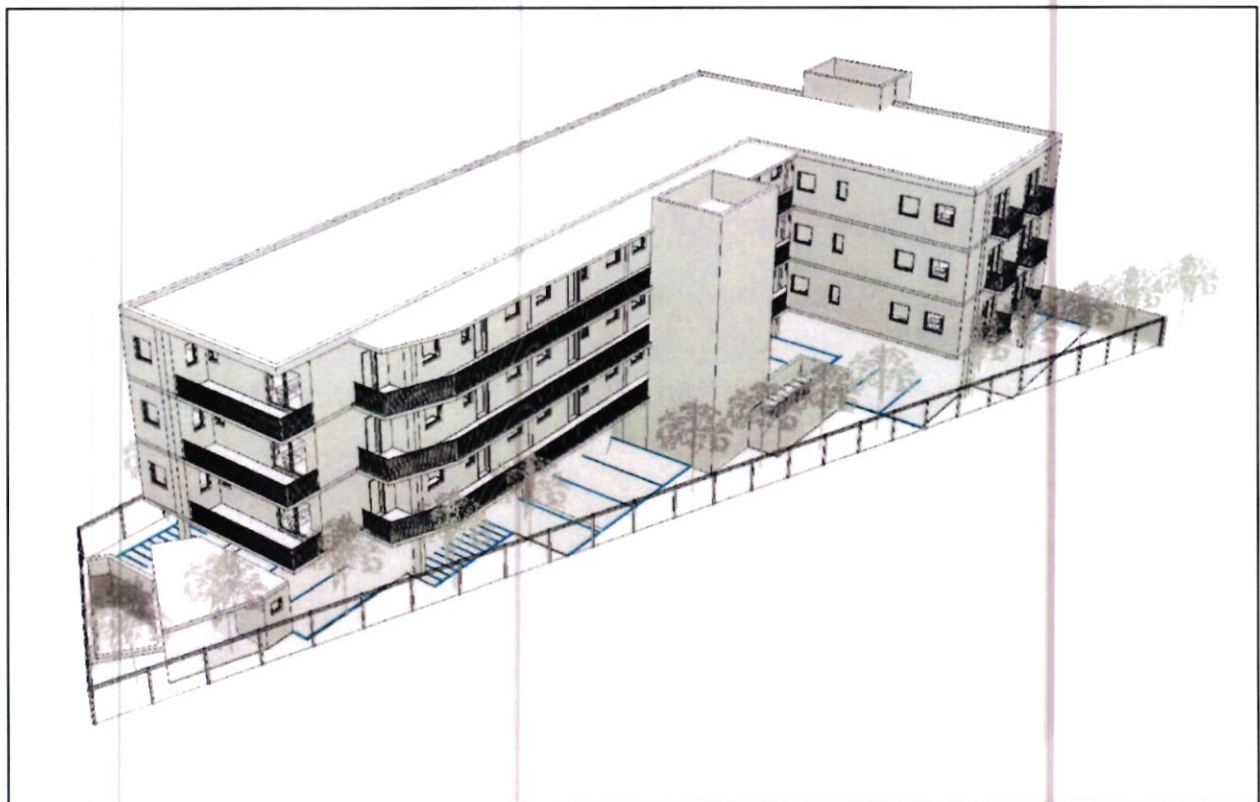


Figure 8 Proposed Elevation along Banhoek street



As mentioned above, the shape and dimensions of the application site limits development of the site if the 4.5m building lines are to be complied with. The following building lines are proposed:

- **Western boundary (Juffernbruch street):**

In order to allow for a viable development, the proposal is to push the bulk of the building onto Juffernbruch street, with the building (on first, second and third floors only) build up to a 2m building line and the balconies up to the 1m building line. No building line departures are required on ground floor on this boundary. Juffernbruch street is approximately 16m wide which is considered an excessive street width for a cul-de-sac, especially as this road only serves the few single residential houses along the road. The houses on the western boundary of Juffernbruch street, opposite the proposed development, are all approximately 500m<sup>2</sup>, with required street building line setbacks of 3m. This results in the proposed balconies being set back a minimum of 20m from the nearest residential houses, which is considered more than sufficient. It is therefore motivated that the locality of the street, being situated between the proposed development and the nearest residential houses enforces an automatic setback of 16-20m. This is considered to be more than sufficient to prevent loss of privacy or any detrimental effect on the properties towards the west of the proposed development. It is future motivated that the proposed patios will increase passive observation along this boundary to the benefit of the surrounding area.

- **Corner of Sonnebloem and Banhoek streets (southern boundary):**

There is no building line departure on ground floor on this boundary. However, a small section of the building (first, second and third floors) extends beyond the 4.5m building line, being 3m from the erf boundary. It is considered that this proposed projection is insignificant as it will have no impact on the surrounding properties.

- **Banhoek Street (eastern boundary):**

On ground floor, the proposed bathroom of the braai area and a small portion of the staircase and refuse area projects beyond the 4.5m building line. The proposed bathroom will extend up to the 1m building line, and a small portion of the staircase and refuse area will extend up to the 2m building line. Again, it is considered that these sections of the building are so small and insignificant that it will have no detrimental impact to warrant refusal. It will not be visible from the street scape and will be shielded by landscaping. It will also have no impact on any sightlines for traffic along Banhoek street.

On the first, second and third floors, small sections of the building (including a portion of the staircase) will be build up to the 2m building line, with a very small section (of the units situated on the northern boundary) extending up the 1m building line. As with Juffernbruch street, Banhoek street's road reserve is approximately 16m, with a wide sidewalk between the application site and the black to of the road. There are only two properties situated directly opposite the application site along Banhoek street, Erf 3193 (single residential house) and Remainder Erf 3152 (commercial building (Okkasie warehouse)). It is not considered that these very slight departures will have any detrimental effect on these or any of the surrounding properties to warrant refusal. It is argued that the passive observation from these units will greatly enhance the safety in the area. It will also have no impact on any sightlines for traffic along Banhoek street.

- **Erf 3222 (northern boundary):**

The bulk of the building, apart from the staircase and a portion of the units facing Banhoek street will be within the 4.5m building line on this boundary. The staircase will be built up to the 1m building line and the units will be build up to 3m, therefore only requesting a 1.5m departure. There will be no windows on the staircase facing Erf 3222, therefore there will be no loss of privacy as a result of the placement of the staircase.

As the proposed development is situated south of Erf 3222, this proposed section of the building, projecting 1.5m beyond the building line, will not result in any loss of light.

It is important to note that though Erf 3222 currently has a single residential house, this erf is also zoned Mixed-use and can therefore also be developed according to the building parameters of the Mixed-use zone. It is also important to note, that if the proposed development was for a business premisses, the building could be build up to the 0m building line, thus on the erf boundary with Erf 3222 (as Erf 3222 is also zoned for Mixed-Use). It is therefore argued that the limited building encroachment on this boundary would not have a detrimental effect on either Erf 3222 or the street scape to warrant refusal.

### 3.2 Building Development Parameters

Table 3, below, is a summary of the applicable building development parameters pertaining to development on this site.

Land Use Parameters (flats)	Mixed-Use Zone	Proposed Development	Compliance/ Application Required
Street Building Line (Juffernbruch)	4.5m	1m (balconies), 2m (building): Floors 1 – 3	Departure
Street Building Line (Corner Sonnebloem and Banhoek)	4.5m	3m : Floors 1 - 3	Departure
Street Building Line (Banhoek)	4.5m	1m (balconies), 2m (building): Floors 1 – 3	Departure
Common Boundary (Erf 3222)	4.5m	1m staircase (all floors) 3m building : Floors 1 – 3	Departure
Max Coverage	85%	64%	Complies
Max Height	6 Storeys	4 storeys	Complies
Total Number of Flats		24 x units	
Parking	1.5 bays / 2-bed flat (9) = 13.5 1.75 bays/3-bed flat(15) = 26.25 = 40 bays	40 = 34 (vehicle bays) + 6 (36 bicycle bays)	Permission required

**Table 3** Compliance with Development Parameters

It is important to note that the proposed development complies with ALL OTHER building development parameters.



### 3.3 Traffic Impact Statement

The proposed development does not entail a rezoning. The proposed development is allowed for under the existing zoning and it is argued that a TIS is therefore not required.

### 3.4 Availability of Services

The proposed development does not entail a rezoning. The proposed development is allowed for under the existing zoning and does not exceed the permissible height or coverage. All the services will tie into the existing Municipal services.

## 4. Motivation

### 4.1 Stellenbosch Municipality Land Use By-Law (2015)

As set out in Section 65(1) of the By-law, certain criteria need be met in consideration of an application by the decision-making authorities. In line with this section, Table 4, below, sets out the criteria and assesses the application accordingly:

Section 65(1) Criteria	Assessment of Proposal
a. Application submitted in terms of the By-law.	The application is submitted in terms of Sections 15(2)(b) and (g) of the By-law.
b. Procedure followed in processing the application.	To be decided. The proposed development was tested with the Municipality by means of pre-application consultation. See <b>Annexure F</b> for feedback received during the pre-application scrutiny process. All relevant and required documentation are attached to this application and motivation.
c. Desirability of land use	<p>The application site is zoned mixed use, which allows for flats as a primary use. The application for the proposed departures and permission to substitute vehicle parking are considered to be favorable as motivated for in <b>Section 3.1</b> above. Future motivations can be summarized as follows:</p> <ul style="list-style-type: none"><li>- Section 36(3) of the Zoning Scheme allows for the substitution of vehicle parking bays with bicycle bays, with council's permission, to support the NMT policy of the Municipality. The proposed development will provide 34 motor vehicle bays, thus all 24 proposed flats have at least one motor vehicle parking bay, with a parking ratio of 1.42 bays per flat. This is very close to the 1.5 requirement for 2-bedroom flats. Though there are 3-bedroom flats proposed, it is considered that the 1.75 bays per flat can be accommodated by providing bicycle bays, as promoted for by the Stellenbosch Municipality in their IDP and SDF. It is also important to note that the application site is within walking distance from surrounding schools, commercial uses (Spar shopping centre), public transport and the</li></ul>

University and therefore the use of bicycles in lieu of motor vehicles should be promoted. It is therefore argued that 6 vehicle bays are substituted by 36 bicycle bays.

- It is important to note that the proposed building line departures will not result in an increase in coverage or height, the proposed coverage of 64% is still well below too allowable 85% and the proposed 4 storeys are less than the allowable 6 storeys. If the proposed building lines are not supported, the building design would have to be amended which could result in a higher building (5 – 6 floors) to ensure that the development is still financially viable. As discussed under Section 3.1, the shape of the site makes it extremely difficult to stay within the 4.5m building lines.
- As the proposed development complies with the coverage, height and parking (with the bicycle bays included) the proposed building line departures will not result in the over development of the site.
- The proposed building line departures along Banhoek street allows the bulk of the building to be broken, thus creating a less bulky and more aesthetically pleasing building, which would greatly enhance the character of the area.
- Though the majority of the surrounding buildings are 1 storey buildings, it should be noted that most of these buildings along Banhoek street is zoned Mixed-Use. It can therefore be expected that these erven will also be redeveloped in future to the same (or more) height as the proposed building.
- The parking on ground floor will be shielded from view by the communal braai area on the southern boundary and landscaping along the street boundaries. It is motivated that the landscaping will greatly enhance the character of the surrounding street scape.
- The proposed building is not considered the be visually intrusive and will enhance the character of the area, especially as this site is currently vacant and derelict.
- The development of the site will greatly improve the safety of the area and could be seen as a catalyst for future development.
- The proposed development, situated within the urban edge will provide new upmarket, housing opportunities in Idas Valley.



	<ul style="list-style-type: none"> <li>- It is clear that that the building line departures will not result in an intrusive, overbearing building. As the proposed development complies with all the other building parameters, it is clear that the development cannot be considered as over development of the site.</li> <li>- It is considered that the proposed development an tie into the existing services network and no services upgrades are required to accommodate the proposed development.</li> <li>- The proposed development is considered as sensible infill development which will make optimal use of existing infrastructure within the urban edge.</li> <li>- The approval of the application will not have a negative impact on the surrounding properties.</li> </ul>
d. Comment in response to public participation.	The application to be advertised in accordance with the Stellenbosch Municipality's requirements.
e. Applicants response to comments received.	To be submitted as part of the Portfolio of Evidence upon conclusion of the Public Participation Process.
f. Investigations in terms of other laws.	Not Applicable.
g. Written assessment by planner.	To be done by the Stellenbosch Municipality.
h. Impact on municipal engineering services.	The proposed development will not have a negative impact on the Stellenbosch municipal engineering services, it will make use of the existing services. It is seen as a The development is considered a form of sensitive densification within the existing development rights of the property (being zoned Mixed-Use).
i. The IDP and SDF	See Section 4.2 below
j. Applicable structure plans	N/A
k. Applicable policies for decision making	Aligned.
l. Provincial spatial development framework	The application is in line with the Municipal and District SDF and IDP, which is informed by the provincial IDP and SDF which all promotes densification. Thus, the application is in line with the provincial SDF. Please also refer to Section 4.2 below.
m. Regional spatial development framework.	N/A
n. National policies, norms, and criteria.	N/A

<p>o. Chapter VI of the Land Use Planning Act</p>	<p><b>Spatial Justice:</b> The proposed development is situated within the urban edge, in an area earmarked for high density infill development.</p> <p><b>Spatial Sustainability:</b> Spatial sustainability would prioritise land use decisions that allow individuals to live close to where they work or study. As a result of the locality of the proposed development, it may contribute to relief the traffic congestion whilst allowing for more dense and efficient settlements.</p> <p><b>Efficiency:</b> This development is proposed on a brownfield site that will make use of the existing urban infrastructure. No services upgrades are required to accommodate the proposed development, it will result in the more efficient use of well-located land and existing infrastructure.</p> <p><b>Good Administration:</b> The proposed flats are in-line with the municipality's existing densification policies. The building presents an aesthetically pleasing public street interface. The approval of this application will be in the best interest of the Stellenbosch Municipality.</p> <p><b>Spatial Resilience:</b> It should be noted that this development is a brownfield development in an area of town that has already been urbanized. Thus, through this development, there will be no negative impact on vulnerable agricultural and/or natural areas; nor would there be any additional risk to the resilience of human residents in the area.</p>
<p>p. Applicable provisions of the zoning scheme</p>	<p>As discussed, the proposed development is in line with the provisions of the Zoning Scheme. The application is for building line departures only and permission to substitute vehicle parking with bicycle parking (in line with the Municipal Policies).</p>

**Table 4** Assessment of Application in terms of Section 65 of the By-law

## 4.2 Consistency with the Applicable Spatial Development Frameworks

### 4.2.1 Western Cape Provincial Spatial Development Framework, 2014

The Western Cape Spatial Development Framework (hereafter referred to as 'the PSDF') identifies densification as of the provincial objectives. The PSDF specifies that the residential density in urban areas be increase to 25 dwellings per hectare. This density should be achieved by means of urban development tools such as sectional title developments. This application complies with the PSD as it is proposed the development of a block of flats comprising 24 dwelling units on an erf of 1 201m<sup>2</sup>.

### 4.2.2 The Stellenbosch Municipality Integrated Development Plan, 2017

The current Stellenbosch Integrated Development Plan (hereafter referred to as "the IDP"), approved in May 2017 (and updated in May 2018), provides the detailed development plans for the Stellenbosch Municipal Area, over the short term (2017 – 2022) and long term; as well as reviewing some of the challenges and



opportunities experienced by the municipality. The IDP has also informed the municipality's recent Draft Spatial Development Framework (2019).

Overall, the IDP prioritises the densification of existing urban areas, by "focusing development in low-density areas, infill, and brownfield land before considering greenfield sites." Given that the site is currently vacant and not utilized at all, in combination with its ideal location near the town centre and university, the area is well-aligned with the IDP strategy of densifying brownfield sites.

Similarly, the IDP prioritises the objective of "Car Free Living" which refers to strategies that encourage more sustainable modes of travel such as public transportation, non-motorised transportation and other mechanisms to increase the number of passengers per vehicle. For such a strategy to be attained, the municipality must allow for the densification of areas of town that are easily accessible by pedestrians and cyclists and support the use of bicycles and motorbikes in lieu of motor vehicles.

#### 4.2.3 *The Stellenbosch Municipality Spatial Development Framework, 2019*

As indicated in the Stellenbosch Municipal Spatial Development Framework, the erven lie well within the urban edge of Stellenbosch Municipality, in an urban development area and within close proximity of an Activity Road (Rusternberg Road).

The SDF promotes densification and infill development within the urban edge and the following statements of the SDF should be noted:

- Managing residential growth of the town, through providing more inclusive house at higher densities than the norm, is vital. This can and must bring significant reductions in commuting by private vehicles to and within Stellenbosch town, and provide the preconditions for sustainable public transport and NMT to and within the town;
- Unless more opportunity is provided for both ordinary people working in Stellenbosch, and students, it will be difficult to impact on the number of people commuting to and from Stellenbosch town in private vehicles on a daily basis.
- Pro-actively support higher density residential infill development in the town centre, areas immediately surrounding it and along major routes (with consideration of historic areas and structures).

It is clear that the SDF supports and promotes infill development and densification.

In terms of access and movement, the SDF identifies Helshoogte Road, within close proximity of the site, as functioning beyond its capacity. It is the responsibility of development to ensure that non-motorised transport modes be promoted such as bicycles and walking. The development of this site will support non-motorised transport as the site is ideally situated within walking distance from all surrounding amenities although ample off-street parking is provided.



The SDF points out that the Municipality should “Pro-actively support higher density infill residential opportunity in the town centre and areas immediately surrounding it”. Furthermore, and as part of the SDF’s Implementation Framework, the Municipality must assist in the “broadening of residential opportunity for lower income groups, students, and the lower to middle housing market segments.

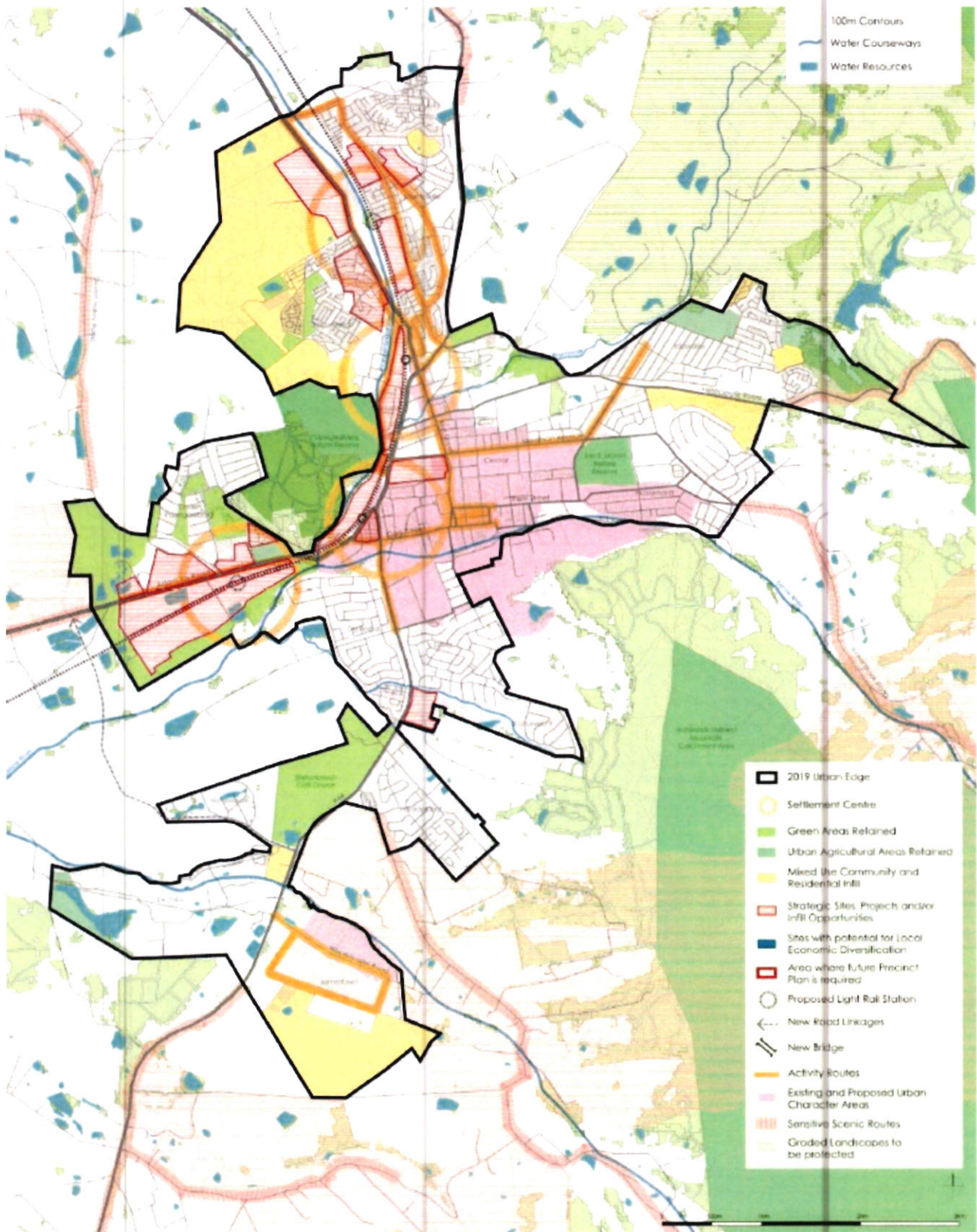


Figure 9 Stellenbosch SDF (2019)



To summarize:

- The proposed development complies with the National, Provincial and Local policy landscape, which all promote urban densification; particularly in centrally located areas.
- The proposed development is seen as sensible infill development within the urban edge.
- The proposed departures will not have a significant impact on adjoining or surrounding properties with regards to the loss of privacy.
- The proposed departures will not result in a visually intrusive building.
- The proposed building was designed in such a way to contribute to the visual character of the area and is considered to enhance an uplift the surrounding area.
- The proposed development is not seen as overdevelopment of the site.
- The proposed development allows for a higher-density residential development without compromising the character of the area.

## 5. Conclusion

In light of the above, Council is respectfully requested to approve the following:

- i) A **Permanent Departure** to allow for the following building lines:
  - Street building line (Banhoek street): Ground floor: 1m and 2m, Floors 1 – 3: 1m (balconies) and 2m (building) in lieu of 4.5m
  - Street building line (Sonnebloem street): Floors 1 – 3: 3m in lieu of 4.5m
  - Street building line (Juffernbrunch street): Floors 1 – 3: 1m (balconies) and 2m (building) in lieu of 4.5m
  - Common boundary building line: All floors: 1m in lieu of 4.5m (staircase) and Floors 1 – 3: 3m in lieu of 4.5m
- ii) **Permission** to substitute 6 vehicle parking bays with 36 bicycle bays

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Report compiled by:



Marike Bolz (Pr. Plan A/060/2008)  
for Arch Town Planners (Pty) Ltd

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✉ 17, STELLENBOSCH 7599  
☎ 021 808-8578 / 8547 / 8546  
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