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KENNISGEWING VAN GRONDONTWIKKELINGSAANSOEK IN DIE STELLENBOSCH MUNISIPALE AREA

Plek: Erf 2664 (Tobrukpark 23), La Colline, Stellenbosch

Applikant: Dupré Lombaard, Virdus Works (Edms) Bpk, 3de Vloer, Timesquare, Elektronstraat, Tegnopark, Stellenbosch, 7600, Selfoon: +27 82 895 6362 // E-pos: dupre.lombaard@virdus.com

Eienaar: Rotherhithe (Edms) Bpk (Reg. No. 2020/877785/07), Verteenwoordig deur: Mnr DJ van den Heever, Sellulêr: +44 7766 67 4446, E-pos: daniel@ultimaterealestate.co.uk, Adres: 02 Jan van Ceylon, De Zalse, Stellenbosch, 7600

Stellenbosch Munisipaliteit se verwysingsnommer: TP482/2023 // LU16166

Aansoek tipe: Aansoek ingevolge Artikel 15 van die Stellenbosch Munisipaliteit Grondgebruikbeplanningsverordening, 2023:

- a) Artikel 15(2)(f) vir die verwydering/opskorting van beperkende titelvoorwaardes Klousules C.5. (b)-(d) soos vervat in akte van oordrag nommer T62514 van 2022 vir die volgende op Erf 2664, Stellenbosch:
 - a. Klousule C.5. (b) om 'n tweede wooneenheid toe te laat.
 - b. Klousule C.5. (c) om 'n dekking van 50,7% in plaas van 50% toe te laat om die voorgestelde uitbreidings aan die bestaande wooneenheid en die bou van 'n tweede wooneenheid te akkommodeer.
 - c. Klousule C.5. (d) om die oorskryding/verslapping van die laterale boulyn tot 0m (aangrensend aan Erf 2665 en Erf 2663) toe te laat om die bestaande sitkamer en trap op die grond te akkommodeer.
- b) Artikel 15(2)(g) vir 'n toestemming wat ingevolge die soneringskema vereis word (tegniese goedkeuring/bykomende gebruik) om 'n tweede wooneenheid op Erf 2664 te bou.
- c) Artikel 15(2)(o) vir 'n vergunningsgebruik ten einde 'n agt (8) slaapkamer gemeente binne die voorgestelde tweede wooneenheid op Erf 2664 te vestig.
- d) Artikel 15(2)(b) vir 'n afwyking om die gemeenskaplike boulyne van 2,5m tot 0m (aangrensend aan Erf 2665) en tot 1,57m (aangrensend aan Erf 2663) te verslap om die bestaande strukture op Erf 2664 te akkommodeer.

Kennis word hiermee gegee ingevolge die bepaling van Artikel 46 van die genoemde Verordening dat bogenoemde aansoek by die Stellenbosch Munisipaliteit ingedien is vir oorweging. Die aansoek is beskikbaar vir inspeksie op die Beplanningsportaal van die Stellenbosch munisipale webwerf vir die duur van die openbare deelname proses by die volgende adres: <https://www.stellenbosch.gov.za/planning/documents/planning-notices/land-use-applications-advertisements>. As daar nie toegang tot die webwerf of dokumente verkry kan word nie, kan 'n elektroniese afskrif van die aansoek van die aansoeker aangevra word.

Belanghebbende en/of geaffekteerde partye word uitgenooi om kommentaar op en/of besware teen die aansoek ingevolge Artikel 50 van die genoemde verordening in te dien. Skriftelike kommentaar, wat die verwysing na die aansoek, die naam, kontakbesonderhede en fisiese adres van die persoon om die kommentaar in te dien, die redes vir die kommentaar en die belang van die persoon wat die kommentaar in die aansoek indien, moet insluit, kan by Dupré Lombaard, Virdus Works per dupre.lombaard@virdus.com ingedien word. Die kommentaar moet binne 30 dae vanaf die datum van hierdie kennisgewing ingedien word om voor of op die **sluitingsdatum van 18 Maart 2024 ontvang te word**. Daar moet kennis geneem word dat die munisipaliteit ingevolge Artikel 50(5) van die genoemde Verordening kan weier om enige kommentaar/ beswaar wat na die sluitingsdatum ontvang is, te aanvaar. Vir enige navrae oor die Aansoek of bogenoemde vereistes, of indien u nie in staat is om u kommentaar te skryf en / of in te dien soos voorsien nie, kan u die aansoeker kontak vir hulp by die e-posadres wat deur WhatsApp verskaf word of telefonies by + 27 82 895 6362 gedurende normale kantoorure.

NOTICE OF LAND DEVELOPMENT APPLICATION IN THE STELLENBOSCH MUNICIPAL AREA

Locality: Erf 2664 (23 Tobruk Park), La Colline, Stellenbosch

Applicant: Dupré Lombaard, Viridus Works (Pty) Ltd, 3rd Floor, Time Square, Elektron Street, Techno Park, Stellenbosch, 7600, Mobile: +27 82 895 6362 // Email: dupre.lombaard@viridus.com

Owner: Rotherhithe (Pty) Ltd (Reg. No. 2020/877785/07), Represented by: Mr DJ van den Heever, Cellular: +44 7766 67 4446, E-mail: daniel@ultimaterealestate.co.uk, Address: 02 Jan van Ceylon, De Zalse, Stellenbosch, 7600

Stellenbosch Municipality reference number: TP482/2023 // LU16166

Application type: Application in terms of Section 15 of the Stellenbosch Municipality Land Use Planning Bylaw, 2023:

- a) Section 15(2)(f) for the removal/suspension of restrictive title deed conditions Clauses C.5.(b)-(d) as contained in deed of transfer number T62514 of 2022 for the following on Erf 2664, Stellenbosch:
 - a. Clause C.5.(b) to permit a second dwelling unit.
 - b. Clause C.5.(c) to permit a coverage of 50,7% in lieu of 50% to accommodate the proposed extensions to the existing dwelling unit and the construction of a second dwelling unit.
 - c. Clause C.5.(d) to permit the encroachment/relaxation of the lateral building line up to 0m (adjacent to Erf 2665 and Erf 2663 to accommodate the existing lounge and staircase on the ground.
- b) Section 15(2)(g) for a permission required in terms of the zoning scheme (technical approval/additional use) to construct a second dwelling unit on Erf 2664.
- c) Section 15(2)(o) for a Consent Use in order to establish an eight (8) bedroom commune within the proposed second dwelling unit on Erf 2664.
- d) Section 15(2)(b) for a departure to relax the common building lines from 2,5m to 0m (adjacent to Erf 2665) and to 1,57m (adjacent to Erf 2663) to accommodate the existing structures on Erf 2664.

Notice is hereby given in terms of the provisions of Section 46 of the said Bylaw that the above-mentioned application has been submitted to the Stellenbosch Municipality for consideration. The application is available for inspection on the Planning Portal of the Stellenbosch Municipal Website for the duration of the public participation process at the following address: <https://www.stellenbosch.gov.za/planning/documents/planning-notice/land-use-applications-advertisements>. If the website or documents cannot be accessed, an electronic copy of the application can be requested from the Applicant.

Interested and/or affected parties are invited to submit comments on and/or objections to the application in terms of Section 50 of the said bylaw. Written comment, which must include the reference to the application, the name, contact details and physical address of the person to submit the comments, the reasons for the comments, and the interest of the person who submits the comment in the application, may be submitted to Dupré Lombaard, Viridus Works, at dupre.lombaard@viridus.com. The comments must be submitted within 30 days from the date of this notice to be received on or before the **closing date of 18 March 2024**. It should be noted that the Municipality, in terms of Section 50(5) of the said Bylaw, may refuse to accept any comments/objection received after the closing date. For any enquiries on the Application or the above requirements, or if you are unable to write and /or submit your comments as provided for, you may contact the Applicant for assistance at the e-mail address provided or telephonically by WhatsApp at +27 82 895 6362 during normal office hours.

**LAND DEVELOPMENT APPLICATION FOR:
REMOVAL OF TITLE CONDITIONS AND CONSENT
USE OF
ERF 2664, STELLENBOSCH**



August 2023

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ANNEXURE**ANNEXURE A: LOCALITY****ANNEXURE B: APPLICATION AUTHORISATION****ANNEXURE C: APPLICATION FORM****ANNEXURE D: CONVEYANCER'S CERTIFICATE****ANNEXURE E: TITLE DEEDS****ANNEXURE F: DIAGRAM****ANNEXURE G: SITE DEVELOPMENT PLAN**

EXECUTIVE SUMMARY

MOTIVATION IN SUPPORT OF LAND DEVELOPMENT APPLICATION FOR: ERF 2664, STELLENBOSCH	
SG Code: C067002200000266400000 / Location: Lat: 33° 55' 24.83" S Lon: 18° 51' 32.67" E	
Owner: Rotherhithe (Pty) Ltd (Reg. No. 2020/877785/07) Represented by: Mr DJ van den Heever Cellular phone: +44 7766 67 4446 E-mail: daniel@ultimaterealestate.co.uk Address: 02 Jan van Ceylon, De Zalse, Stellenbosch, 7600	Project Consultant: Mr Dupré Lombaard Viridus Works (Pty) Ltd Reg. No. 2018/585747/07 SACPLAN: B/8076/1998 Cellular phone: +27 82 895 6362 E-mail: dupre.lombaard@viridus.com Address: 3 rd Floor, Time Square, Elektron Street, Techno Park, Stellenbosch, 7600

Rotherhithe has acquired Erf 2664, Stellenbosch (23 Tobruk Park Road) together with the abutting Erf 2653 in La Colline Street and wishes to also convert the Tobruk-house and existing outbuildings for accommodation purposes as a commune, requiring a consent use application. The property is improved with a semi-detached dwelling and outbuildings, erected onto the common boundaries with the abutting Erven 2653 to the west and 2665 to the north, while the title deed of the property determines restrictive boundary building lines, thus requiring an application for the removal of the restrictive title conditions. The property has an area of 585m². It is located in the circular Tobruk Park Road, opposite the Park in the area identified as a settlement restructuring zone in the Stellenbosch Spatial Development Framework. It is not of heritage significance, having been reconstructed and added to in recent times since 2013.

The title deed (T62514/2022) contains the aforementioned restrictions which require removal to permit the further redevelopment of the property under conditions C 5(b), (c), and (d). These conditions restrict the use to a single dwelling, determine that no building or structure shall be erected nearer than 4,72m of the street, 3,15m of the rear boundary, and 1,57m of a lateral boundary, unless a semi-detached dwelling is constructed thereon, in which case no building line restriction shall apply to the affected common boundary. The conditions also determine a maximum coverage of 50%.

Application will also be made for a second dwelling on the property due to the layout and provision of a kitchen for the commune residents, in a separate group of interleading rooms defined as a dwelling separate from the main dwelling on the property.

The application is made in keeping with Section 15 of the Stellenbosch Municipality Land Use Planning Bylaw, 2023 as well as Section 13 of the Stellenbosch Municipality Zoning Scheme Bylaw, 2019 for a technical approval of a second dwelling. The application covers the following aspect(s):

- (1) Section 15(2)(b) a permanent departure from the development parameters of the zoning scheme to encroach the building lines and to construct the building onto the side boundary, in replacement of the existing dwelling and structures;
- (2) Section 15(2)(f) a removal, suspension, or amendment of restrictive conditions in respect of a land unit to permit its redevelopment for a commune in a second dwelling and buildings that exceed the building lines as determined in the title deed;
- (3) Section 15(2)(o) for a consent use as contemplated in Section 53 of the Stellenbosch Municipality Zoning Scheme Bylaw, 2019 to establish a commune; and
- (4) Sections 13 and 49 of the Stellenbosch Municipality Zoning Scheme Bylaw, 2019 for a second dwelling by technical consideration to allow for the establishment of a commune consisting of eight rooms with a communal kitchen and living area on the property together with a main dwelling.

1. BACKGROUND

1.1 Introduction

Erf 2664, 585m² in extent, is located at 23 Tobruk Park Road in Stellenbosch. It is a circular road around Tobruk Park, part of the township established in 1956 by the subdivision of a neighbourhood developed for social housing by the then national Housing Commission. The property contains a semidetached house, with outbuildings and flatlets used for the accommodation of individuals. It is located in an area identified as a restructuring zone, where higher density residential development is promoted due to its location in proximity of transport infrastructure, educational and other community facilities, as well as economic opportunities.

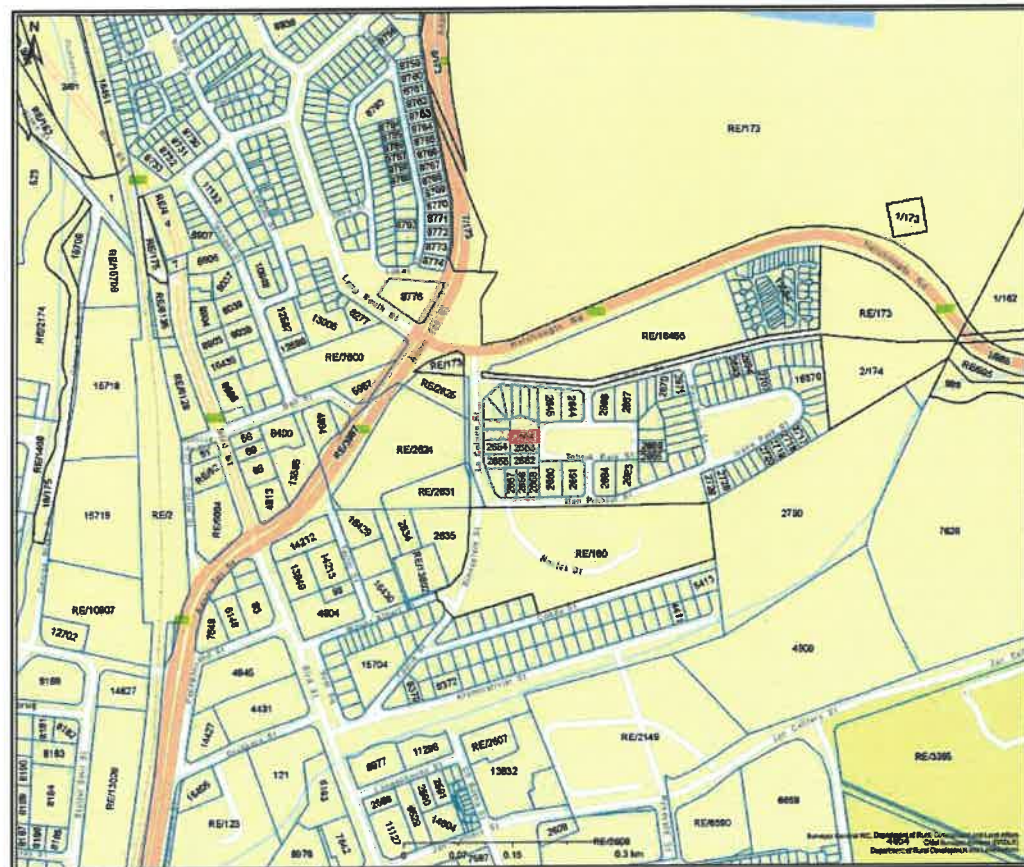


Figure 1: Erf 2664 locality shown in red

The property is ideally located in an area identified for more intense residential uses within walking distance of the Stellenbosch CBD, the University, and schools. There is ample open space in the area and major transport infrastructure, making it an ideal locality for densification and the establishment of a commune by reconstruction and reconfiguration of the existing buildings, subject to the removal of the restrictive title conditions.

With the proposed redevelopment, eight separate bedrooms could be created in an interleading dwelling, over and above the main dwelling house, with parking for eight cars under croft (below) the elevated rooms intended for communal living. The building does however not comply with the building lines as provided in the

title conditions and a second kitchen is proposed in it, causing it to be deemed a second dwelling.

1.2 Title deed

The title deed (T62514/2022) contains restrictions which require removal to permit the redevelopment of the property under conditions C 5(b), (c), and (d). These conditions determine that the erf shall be used for a single dwelling only, that no building or structure shall be erected nearer than 4,72m of the street, 3,15m of the rear boundary, and 1,57m of a lateral boundary, unless a semi-detached dwelling is constructed thereon, in which case no building line restriction shall apply to the affected common boundary. The conditions also determine a maximum coverage of 50%.

1.3 Land use planning / land development application

1.3.1 Section 15(2)(b) of the Stellenbosch Municipality Land Use Planning Bylaw, 2023, for a permanent departure from the development parameters of the zoning scheme:

- to encroach the side building line and to reconstruct the existing building for a lounge on the first floor and undercroft parking below onto the side boundary where currently exists a semi-detached dwelling.

1.3.2 Section 15(2)(f) of the Land Use Planning Bylaw for a removal, suspension, or amendment of restrictive conditions in respect of a land unit to permit its redevelopment for a commune in a second dwelling and buildings that exceed the building lines as determined in the title deed as detailed in the attached conveyancer's certificate and title deed (Annexure D and E):

- *C. SUBJECT FURTHER to the following special conditions contained in Deed of Transfer Number T45012/1987 imposed by the Administrator of the Province of the Cape of Good Hope under Ordinance Number 33 of 1934 with approval of the establishments of Stellenbosch Town Extension Number 2, namely:*
 - *5. This erf shall be subject to the following further conditions, provided especially that where, in the opinion of the Administrator after consultation with the Townships Board and the local authority, it is expedient that the restriction in any such condition should at any time be suspended or relaxed, he may authorise the necessary suspension or relaxation subject to compliance with such conditions as he may impose:*
 - *(b) It shall be used only for the purpose of erecting thereon one dwelling together with such outbuildings as are ordinarily required to be used therewith;*
 - *(c) Not more than half the area thereof shall be built upon;*
 - *(d) No building or structure or any portion thereof, except boundary walls and fences, shall be erected nearer than 4,72 metres to the street line which forms a boundary of this erf nor within 3,15 metres of the rear of 1,57 metres*

of the lateral boundary common to any adjoining erf provided that with the consent of the local authority, an outbuilding not exceeding 3,05 metres in height, measured from the floor to the wall plate and no portion of which will be used for human habitation, may be erected within the above prescribed rear space, provided further that in the event of a pair of semi-detached houses being erected on this and the adjoining erf, no building line restriction shall apply to the lateral boundary collinear with the dividing wall of the two residential units."

- 1.3.3 Section 15(2)(o) of the Land Use Planning Bylaw for a consent use as contemplated in Section 53 of the Stellenbosch Municipality Zoning Scheme Bylaw, 2019 to allow for the establishment of a commune consisting of eight rooms on the property together with a main dwelling.
- 1.3.4 Application is also made for a second dwelling by technical consideration as contemplated in Sections 13 and 49 of the Stellenbosch Municipality Zoning Scheme Bylaw, 2019 to allow for the establishment of a commune in a second dwelling consisting of eight rooms with a communal kitchen on the property together with a main dwelling.

2. LAND DEVELOPMENT APPLICATION AND MOTIVATION

2.1 Development context

The subject property is located in one of the identified housing densification areas, where amongst others social housing is envisaged. It is in the Tobruk Park Road circle and opposite the Park, and within 650 m of Du Toit Station and 1 000 m of the Stellenbosch University campus. Helshoogte Road (R310) is approximately 100m north of the property.

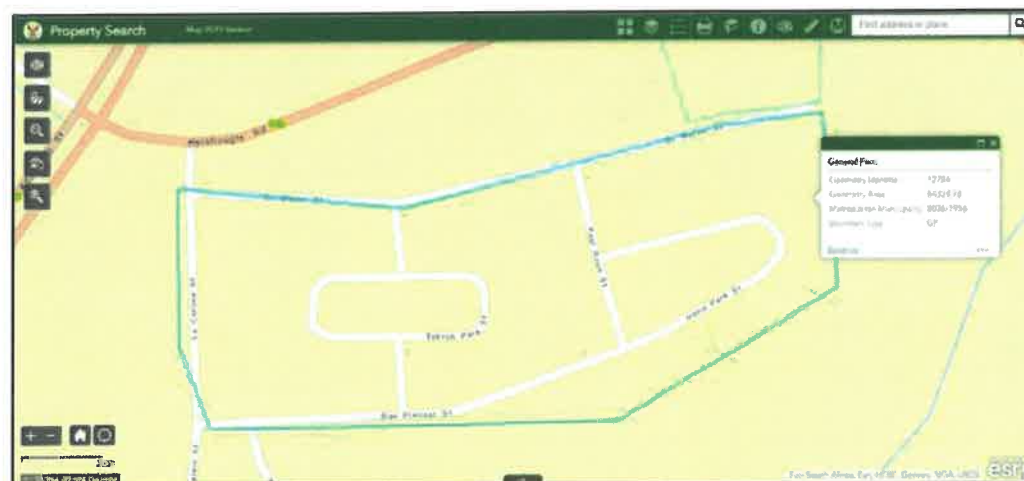


Figure 2: La Colline township outline (GP 8036/1956)

Houses in the township area (Stellenbosch Extension 2; GP 8036/1956) are being modernised and redeveloped following disposal of the erstwhile provincial social

housing to individual owners. Some houses have retained their original scale and form, mostly double storey semidetached houses, while others have been converted to accommodate additional dwelling units and rooms (flatlets) for the accommodation of individuals and small households.

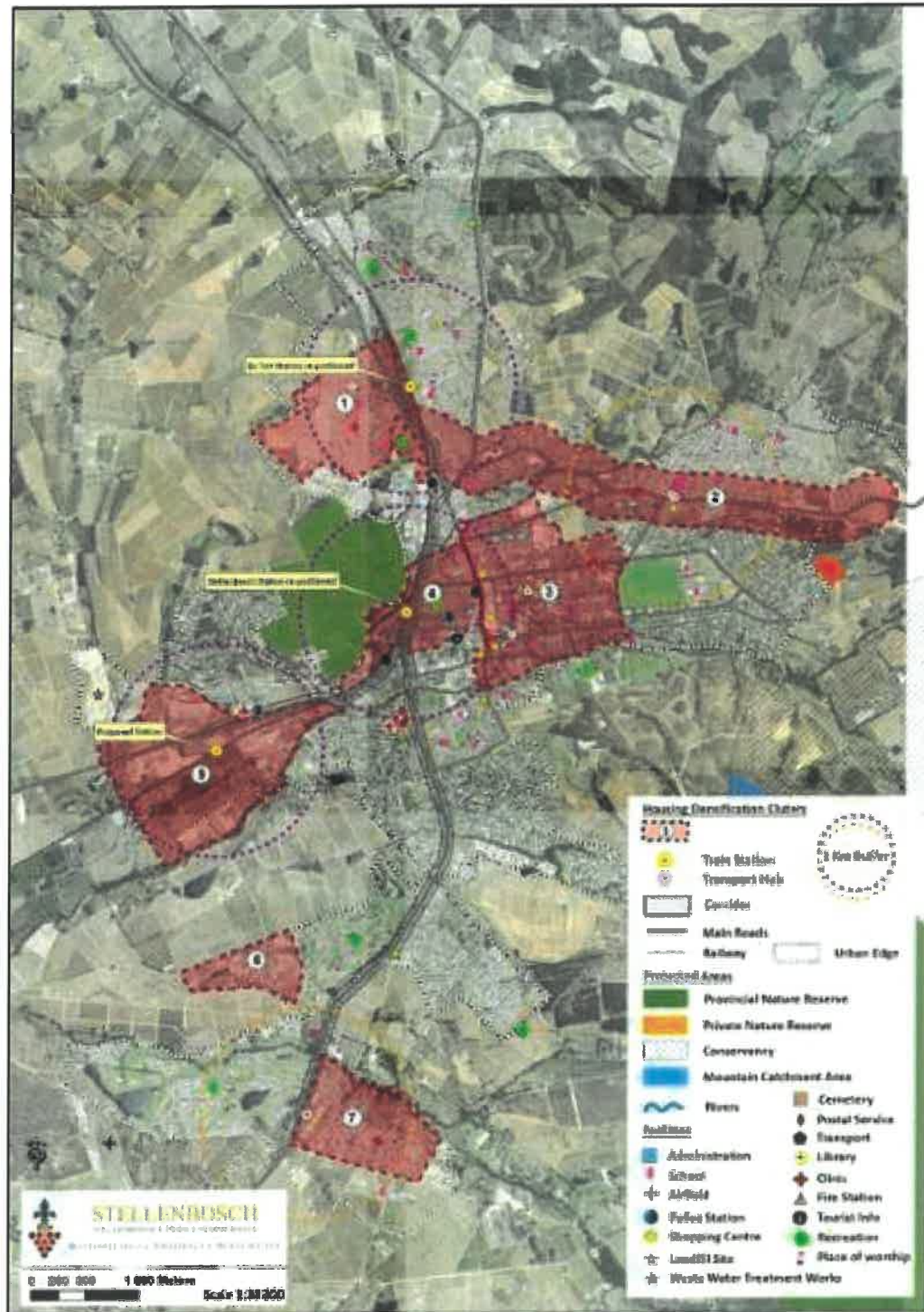


Figure 3: La Colline spatial context

Some of the original four-unit flats established around Tobruk Park still exist, creating the impression that some of the erven in the area are larger than 1 000 m², while in reality the average size of erven in the area is around 500 m², the majority of which contain semidetached double storey dwellings. All of the properties, but

for those where applications for removal of the restrictive title conditions have been approved, are subject to the same title conditions limiting the use and extent of development permitted on them.

2.2 Land use motivation

As indicated above, the property is located in one of the Stellenbosch settlement restructuring zones, where more dense residential development is supported and proposed to create more affordable housing, inclusive of social housing.

The historic nature of the La Colline development, effectively with four households sharing an erf around Tobruk Park, separating the land only through clever design and planning of access and of more recent medium density developments in the area point to the acceptability of more dense residential development in the neighbourhood. Establishment of a commune on a single erf is another means of densification if the dwelling within which it is established is in a scale and form appropriate for the area.



Figure 4: Architectural proposal for commune on Erf 2664

The proposed dwelling house together with the extended second dwelling consisting of eight interleading rooms as shown in the annexure, resembles the scale and form of the dwellings in the surrounding area, albeit oriented differently on the erf. Moreover, due to the provision of undercroft parking, the building would appear to be a large house in the architectural style of the surrounding double storey houses and flats.

A separate (second) communal kitchen is proposed for the commune. The restrictive title condition relating to the use of the property for a single dwelling only, needs to be removed to allow for the use of the property for a commune, effectively in a second dwelling. This is as a result of the second kitchen being fitted in the communal living area¹.

An amendment of the title conditions by removal of those restricting the development to parameters which do not allow for the densification as envisaged in the spatial development policies as approved for the area, would be essential for the proposed commune. However, it would apply equally to the proposed social housing envisaged for the area. Thus, by indicating the area as a restructuring zone, the Municipality has in principle already indicated its position in this regard and an application should be considered favourably if subjected to the proper process. The process to be followed must adhere to that as determined in the judgment in the *Camps Bay Ratepayers and Residents Association and Others v Minister of Planning, Culture and Administration, Western Cape 2001(4) SA294 (C)*. It indicates that one or more of the following criteria need to be met for the successful removal of a restriction:

- a) It must be desirable to remove the restriction in the interests of the public;
- b) It must be desirable to remove the restriction in the interests of an establishment;
- c) It must be desirable to remove the restriction in the interests of a development;
or
- d) It must be desirable to remove the restriction in the interests of any area.

The judgment further indicates that any removal, amendment, or suspension of a restrictive title deed condition must be in accordance with Section 25 of the Constitution of the Republic of South Africa Act, 1996, Act 108 of 1996 (The Constitution), in so far as it implies a deprivation of land rights. The requested removal must therefore be supported by the written consent of all those affected, or beneficiary property owners as contemplated in Section 25 of The Constitution. It appears that the surrounding residents have already consented to such changes, considering the redevelopment of some dwellings in the area, with similar scaled buildings and many encroachments of the common boundary building lines.

The title deed development parameters are more restrictive than those contained in the Zoning Scheme Bylaw. The title deed restrictions were imposed in terms of the Townships Ordinance, 1934, Ordinance 33 of 1934, in 1981 with the creation of the individual erven in the then social housing development. At the time the conditions were imposed in favour of the then Administrator (now the Municipality) when the Stellenbosch Municipality did not have a township or zoning scheme through which to manage land use in the area. The title conditions are no longer appropriate to the area, where densification and more intensive land use is required to provide for more dense residential development in a manner appropriate to a

¹ *Dwelling unit means a self-contained set of inter-leading rooms which consist of at least one bedroom, one bathroom and no more than one kitchen or open-plan area set aside for preparation of meals, and which is utilised or intended to be utilised as a complete residence and accommodation for one family, and can be a dwelling house, second dwelling house, additional dwelling house, group house, employee housing or dwelling units in flats or apartments;*

settlement restructuring zone. These conditions could be removed, suspended, or relaxed where a zoning scheme is in effect. The application herewith is for removal.

Vehicular access to and egress from the property is possible off La Colline Road, albeit a street with significant pedestrian and vehicular movement opposite a school. The street has sufficient sidewalk space to allow for pedestrian movement and vehicle stacking space off the roadway for a vehicle to safely enter or exit the property.

The ten parking bays that are provided in the undercroft parking are sufficient to provide for the rooms in the commune and the main dwelling. The evidence relating to accommodation in communes indicates that not all the residents have vehicles and most commute by ride-hailing services for extended trips, and by bicycle or on foot for shorter trips inside of the town. Thus, the parking provision is deemed sufficient for the commune.



Figure 5: La Colline building development satellite image

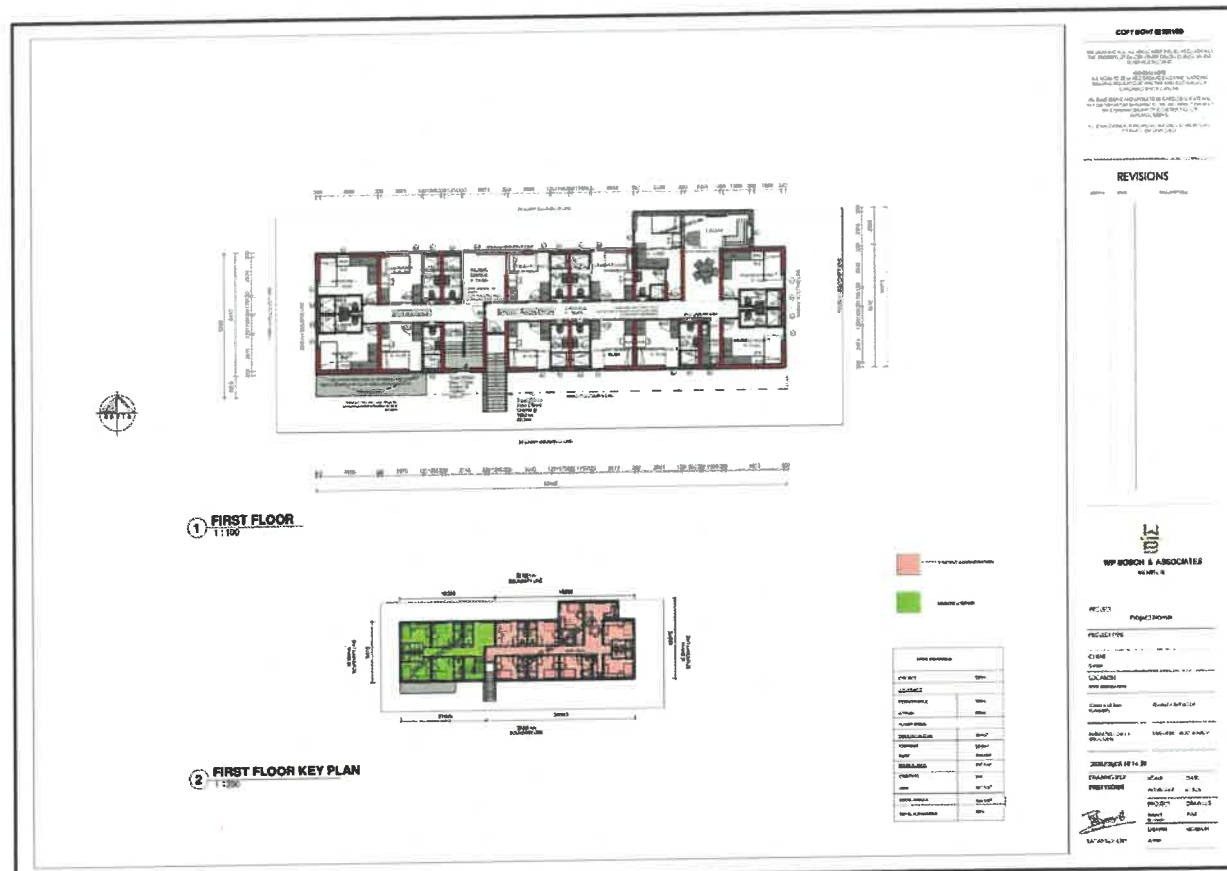


Figure 6: Erf 2664 first floor layout plan

It might be necessary to exceed the coverage as in the restrictive title conditions and the Zoning Scheme Bylaw. Although the current site development plan indicates compliance with the coverage factor of 50%, the definition of coverage² would cause a coverage of 50,7% being applied, due to the first floor area of 297,1m².

The proposed building lines are in keeping with building lines as determined in the Zoning Scheme Bylaw. The reconstruction of the existing semidetached house used for single dwelling purposes by a new building used for a commune on the side boundary could lead to reconsideration of the building line. In view thereof, the retention of the nil metre building line is included in the application. The current land use parameters (and title conditions) allow for a dwelling unit on the common boundary. The effect of the new building attached to the neighbouring property is negligible, as the building would be converted from a dwelling house to residential accommodation in rooms, which form part of the dwelling unit. Moreover, the already appears to be extensions to the dwelling and an outbuilding which encroach on the common boundary building line with Erf 2665 to the north.

The general welfare and safety of the residents and landowners in the area will not be affected by the proposal, which is of residential nature, and it would not cause any noise or other disturbances due to fumes or emissions. The removal of the

² Coverage means the total area of a land unit that may be covered by buildings with a roof, expressed in square meters or as a percentage of the area of the land unit. Coverage is measured from the outer surface of outside walls of the building, and the following shall be disregarded in the calculation of coverage: ...

restrictive title deed conditions as applied for will allow the owner to maximise the use of the property and facilitate its redevelopment with socio-economic benefits in keeping with the Municipality's spatial development policies.

2.3 IDP and SDF

The Integrated Development Plan 2023 (IDP), inclusive of the municipal spatial development framework approved in 2019 and as proposed for amendment in 2023 make specific provision for the intensification and densification of the so-called Adam Tas Corridor and the identified restructuring zones. While the property is just outside of the Adam Tas Corridor, it is within its sphere of influence, and it is inside of the identified restructuring zone.

The proposed redevelopment of the property and establishment of a commune is in keeping with the proposals for and policies relating to high intensity developments and densification in the area and will fit the overall character thereof.

The addition of rooms in a commune contributes to the achievement of the goal set for the increased density in Stellenbosch town (SDF paragraph 3.3). Not only that, but it also contributes to the "*densification of traditional residential areas through second dwellings, guest establishments*" as envisaged in paragraph 6.7 of the SDF.

The property will by redevelopment offer accommodation for a household and eight additional residents, where currently a single household is accommodated.

The SDF further promotes the consideration of relaxed parking requirements for appropriately located developments. Under the MSDF Policies, it states that the Municipality should: "*Move away from self-reinforcing conditions for development in terms of car parking minimum standards, and ensure the active participation and collaboration between land owner, developer, and municipality towards the provision of alternatives to car use*". The proposal is to accommodate as many vehicles as possible on the site by creating under croft parking, thus providing sufficient parking for the commune, but leaving a bay short for the main dwelling as motivated above. This single bay shortfall could however be considered positively in view of the SDF policies, which include amongst others a decision-making checklist to be used in the consideration of development applications, in which there is specific provision to evaluate the parking requirements and to consider rational parking proposals such as contained herein.

2.4 SPLUMA Principles

The principles referred to in Section 42 of the Spatial Planning and Land Use Management Act, 2013, Act 16 of 2013 (SPLUMA) with reference to Chapter 2 and in Chapter VI of the Western Cape Land Use Planning Act, 2014 (LUPA), have been and are addressed in the process, with specific reference to:

A.	Spatial Justice	
a.	Redress	Redress is achieved by reversing the effects of past socially and spatially segregated development. By establishing a

	development that would cater for single residents who would normally not be able to afford accommodation in Stellenbosch town, it creates social opportunities for the residents, and leads to upliftment of the area.
b. Inclusion	This kind of affordable communal residential development mostly attracts students who are otherwise reliant on daily commutes to the campus, resulting in more traffic congestion. It does not attract specific race or social groups. While it would probably not contribute significantly to the creation of integrated communities, it will allow for residents who would otherwise find it difficult to afford accommodation in the town, allowing for economic integration.
c. Flexibility for all types of settlements	The surrounding area is characterised by multi- and semidetached single residential development for middle and lower middle income residents, and social housing. The proposed commune, aimed at the provision of affordable single accommodation will offer more opportunities for people wanting to live in the area, rather than commute to it daily.
d. Tenure and informality	The owner will manage the accommodation by rental agreements with the communal residents. Alternative forms of ownership are not being considered. While informality is not directly addressed through the proposed development, it does create affordable opportunities for people in an otherwise unaffordable environment.
e. Settlement upgrading	Some settlement upgrading is achieved in the process, as a small dwelling house is proposed to be redeveloped and replaced with a house of larger capacity, which will also lead to upgrading of the surrounding area over time.
f. Responsive	The development is in response to a range of needs, from the need for affordable single accommodation units to the need to densify the town centre by small-scale development.
B. Spatial Sustainability	
a. Capacity of state	The Municipality has the capacity to provide the bulk services required for the proposed development, which would have benefits for the community, amongst others by contributing to the reduction in trips to and from the town and congestion. Moreover, the Municipality has the capacity to provide non-infrastructure services such as library, health, and other social services to the residents.
b. Food security	Food security is not affected by the development.
c. Environmental sustainability	The nature of the development and the decreased need for travel by residents allow for more environmentally friendly movement patterns. The development does not have any known negative environmental effect other than the demand for infrastructure services.
d. Land markets	The proposed development does not diminish the supply of affordable land intended for the provision of subsidised housing or community facilities. While it falls inside of the restructuring zone, it does not occupy one of the identified erven earmarked for redevelopment by the Municipality.

e. Costs of infrastructure	The engineering services analysis in support of the SDF proposals and identified restructuring zone indicate that sufficient municipal infrastructure services exist in the surrounding area, and in the bulk services, to accommodate the proposed development, with minor upgrading.
f. Sustainable settlements	Settlement sustainability includes amongst others, the efficiency of the development in the use of scarce resources and its contribution to carbon emissions and other climate change catalysts. Due to the location and nature of the commune, few of the residents would need vehicles to travel inside of Stellenbosch town, and probably only for traveling to the town and back to their origins. The development will satisfy the SANS requirements for energy efficient development, inclusive of water saving and other similar systems that contribute to the environmental sustainability of the development.
g. Innovation	None.
h. Context specific development	The development is primarily focused on the provision of affordable accommodation for single residents in proximity of the academic institutions in town. It creates an opportunity for students and singles who would otherwise not be able to afford accommodation in town.
C. Efficiency	
a. Optimises use of existing resources	As indicated in the SDF, the La Colline land resources are under-utilised and could be better utilised, to improve on the socio-economic efficiencies of the town. Infill development benefits municipal service provision, making collection routes shorter, increasing the intensity of use of existing infrastructure and reducing traffic and daily commuter movement.
b. Processes to limit negative impact	No negative impacts have been identified.
c. Streamlined processes	The municipal land use consideration process is unfortunately not efficient.
d. Innovation	None to report.
e. Spatial Performance Management	Performance is a reflection of how a development was designed and built and should be a reflection of the community in which it exists. The success of a commune depends on how well it is managed after completion and the success of the development in community context is how it contributes to uplifting the socio-economic situation. It remains to be assessed.
f. Development Planning Tools	The Municipality needs to implement planning processes and structures that can efficiently respond to development applications and shorten the timelines for evaluation and decision-making.
g. Institutionalise for Efficiency	As above, systems and processes need to be implemented by the Municipality to lead to efficiencies in the development process and resultant willingness of investors to support development projects.
D. Resilience	

a. Sustainable livelihoods	Although at a small and local scale, the proposed development and especially the better use of the land are likely to improve the economic outlook for some of the local residents.
b. Resilience against shocks [avoid + bounce back ability]	Given the expected positive socio-economic effects of the proposed development it should improve the resilience of the surrounding community without any expected negative effects that could jeopardise their situation.
c. Innovation	None.
d. Context specific	By fulfilling a demand for more affordable accommodation,. This improves the resilience of the tourism sector, as more visitors can come to the town more often regardless of the seasonal fluctuations in accommodation costs.
e. Flexibility	The apartment hotel creates flexibility in the provision of accommodation for visitors. Not only does it create more affordable accommodation units which could be occupied for longer periods due to the affordability thereof, but it also allows owners and visitors to visit the town year round without being impeded by seasonal peak bookings.
E. Good Administration	
a. Planning Decision-making tools	The Municipality needs to introduce a system whereby developments with economic benefit are prioritised and dealt with expeditiously. This significantly improves investor outlook and causes investors to participate in projects from the early stages.
b. IGR and integrated approach	No comment.
c. Meet time frames	As part of the decision-making system, the Municipality must provide a decision-making process program and continuously update the system to ensure the meeting of timeframes.
d. Transparency	Meetings and communications need to be recorded and shared, leading to transparency in the decision-making process.
e. Community empowerment	Public participation for development applications ensures that those owners and residents who could potentially be affected by the proposed development have the opportunity to give input on the development proposal.
f. Spatial Performance Management	Performance is to be measured against the success of the development in uplifting the surrounding area and improving the socio-economic situation. It remains to be assessed.
g. Values	It is obvious that the Municipality attaches value to social housing and the creation of affordable accommodation by investment in the town, as highlighted in the SDF.

Municipalities have been tasked with driving spatial transformation. The achievement of the spatial transformation objective must be measured against the reaching of the need to improve on inclusivity, mobility and access, economic development that drives local and regional growth prospects and transforms space in a manner that is socially and environmentally sustainable. The proposed

commune can form one of the building blocks for the redevelopment of the La Colline neighbourhood in keeping with the vision for it to become a settlement restructuring zone and will therefore contribute to the achievement of the spatial transformation objective even if it is a small development.

While there is no agreed definition for spatial transformation, it is referred to as "*major urban change or restructuring*" with resulting socio-economic benefit, which is a likely outcome for the development as set in the surrounding community. The addition of singles accommodation in a commune makes it possible for lower income residents to reside in Stellenbosch rather than having to commute to it daily. This will reduce the number of vehicles causing the congestion on the road network and increase the number of residents who stay in the town and make use of the social and economic opportunities.

2.5 Provincial planning

The principles referred to in Chapter VI of the LUPA, with specific reference to spatial justice, spatial sustainability, efficiency, and good administration have all been considered, as are elaborated on above. In addition, the proposal adheres to the policy guidelines of the Western Cape Provincial Spatial Development Framework (PSDF).

- ✓ The PSDF focuses strongly on densification and intensification of urban areas to achieve its desired outcomes. The average gross residential density of urban areas should increase to 25 units / ha before extensions to an urban edge are considered. In this instance the urban edge is not relevant to the argument, the proposal being consistent with the SDF, as indicated above.
- ✓ The policy of more intense use of nodes and urban core areas further requires consideration of the bio-physical environment, cultural heritage, municipal infrastructure services and social infrastructure issues and factors. With these in mind, the density targets should be achieved by allowing a variety of development methodologies, including, but not limited to demolition and redevelopment of existing properties; utilisation of vacant and under-utilised land and changing of permitted land use of existing developments. The purpose of densification is primarily to maintain sustainable supplies of natural resources, for food production and ecological functioning, to achieve more economical use of municipal services infrastructure and community facilities, provide for efficient public transport services and reduce traveling distances to a variety of opportunities. This fits with the location of the property in an urban area with full services, in proximity of major feeder roads, where social housing is envisaged and a commune will not have any significant negative consequences or effect, and where the future residents can walk to the various social and economic opportunities in the town.
- ✓ The proposed use of the property for a main and second dwelling accommodating a commune in a building that retains the scale and form of buildings in the area, contributes to intensification and densification by appropriate use of the property in terms of its location. It leads to improvement of the efficiencies in service provision as set out above, on under-

utilised land within an identified urban node. It does not diminish the supply of ecological or agricultural resources, opportunities for redress, or improved spatial integration with access to land for those previously dispossessed.

2.6 Heritage

The proposed land development does not require authorisation in terms of Section 34 or 38 of the National Heritage Resources Act, 1999, Act 25 of 1999. The house was built in the mid 1950's but has been renovated and changed over time. There are no townscape character area guidelines applicable to the surrounding area and the proposed dwelling will fit the character of the original social housing buildings erected in the neighbourhood.

2.7 Engineering

Storm water, water and sewerage services are existing, and the demand will not change significantly. Solid waste is removed by the Municipality. The existing connections are sufficient and could be replaced with new connections for the proposed redevelopment.

Electrical services and capacity are existing, but an upgraded connection might be required to service the second dwelling and commune.

The proposed use will add minimal additional traffic to the area. No upgrading of the road infrastructure is required.

3. CONCLUSION

From the above it is clear that the La Colline neighbourhood is identified as a social housing settlement restructuring area and that according to the spatial development policies of the Municipality it can accommodate change. Increased density and more affordable residential opportunities in the area are desirable and promoted in the Spatial Development Framework. Approval of the proposed use of the property for a second dwelling and a commune and the simultaneous removal of the restrictive title conditions will allow for the development of a commune providing affordable accommodation with eight rooms to residents who would otherwise not be able to afford accommodation in the town and would have to commute daily, with obvious negative effects.

The removal of the restrictive title conditions will also allow for the redevelopment and more intense residential use of Erf 2664 in terms of the land development parameters as set out in the Stellenbosch Municipality Zoning Scheme Bylaw, 2019 without any identified negative effect on the surrounding properties, many of which will over time be redeveloped with similar buildings and uses in keeping with the spatial development policies applicable to the neighbourhood.

In view of the above, the following applications could therefore be approved:

- 3.1 Application in terms of Section 15(2)(b) of the Stellenbosch Municipality Land Use Planning Bylaw, 2023, for a permanent departure from the development parameters of the zoning scheme:

- to encroach the side building line and to reconstruct the existing building for undercroft parking onto the side boundary where currently exists a semi-detached dwelling.

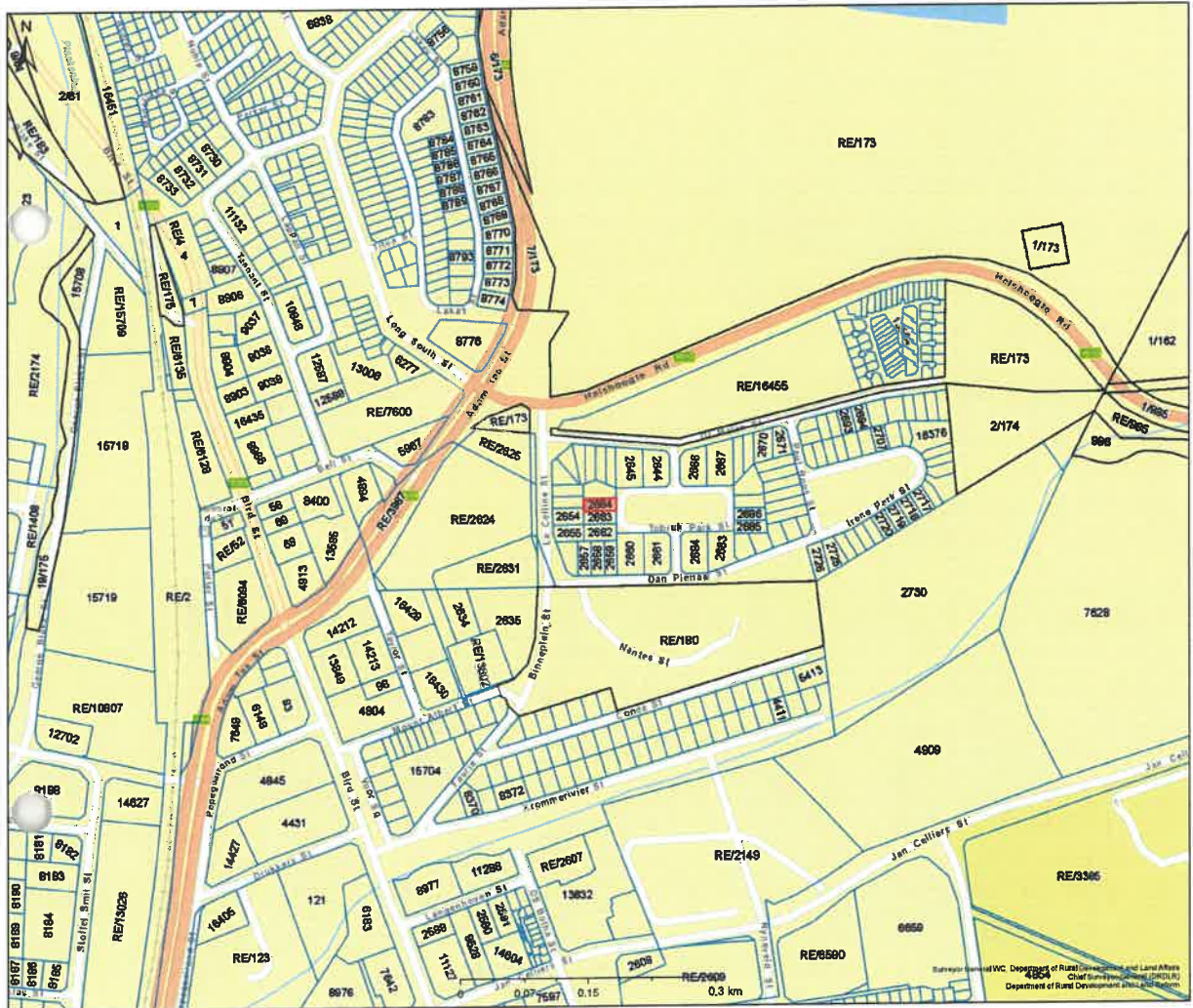
3.2 Application in terms of Section 15(2)(f) of the Land Use Planning Bylaw for a removal, suspension, or amendment of restrictive conditions in respect of a land unit to permit its redevelopment for a commune in a second dwelling and buildings that exceed the coverage and building lines as determined in the title deed as detailed in the attached conveyancer's certificate and title deed (Annexure D and E):

- *C. SUBJECT FURTHER to the following special conditions contained in Deed of Transfer Number T45012/1987 imposed by the Administrator of the Province of the Cape of Good Hope under Ordinance Number 33 of 1934 with approval of the establishments of Stellenbosch Town Extension Number 2, namely:*
 - *5. This erf shall be subject to the following further conditions, provided especially that where, in the opinion of the Administrator after consultation with the Townships Board and the local authority, it is expedient that the restriction in any such condition should at any time be suspended or relaxed, he may authorise the necessary suspension or relaxation subject to compliance with such conditions as he may impose:*
 - *(b) It shall be used only for the purpose of erecting thereon one dwelling together with such outbuildings as are ordinarily required to be used therewith;*
 - *(c) Not more than half the area thereof shall be built upon;*
 - *(d) No building or structure or any portion thereof, except boundary walls and fences, shall be erected nearer than 4,72 metres to the street line which forms a boundary of this erf nor within 3,15 metres of the rear of 1,57 metres of the lateral boundary common to any adjoining erf provided that with the consent of the local authority, an outbuilding not exceeding 3,05 metres in height, measured from the floor to the wall plate and no portion of which will be used for human habitation, may be erected within the above prescribed rear space, provided further that in the event of a pair of semi-detached houses being erected on this and the adjoining erf, no building line restriction shall apply to the lateral boundary collinear with the dividing wall of the two residential units."*

3.3 Section 15(2)(o) of the Land Use Planning Bylaw for a consent use as contemplated in Section 53 of the Stellenbosch Municipality Zoning Scheme Bylaw, 2019 to allow for the establishment of a commune consisting of eight rooms on the property together with a main dwelling.

3.4 Application for a second dwelling by technical consideration as contemplated in Sections 13 and 49 of the Stellenbosch Municipality Zoning Scheme Bylaw, 2019 to allow for the establishment of a commune consisting of eight rooms with a communal kitchen on the property together with a main dwelling.

ANNEXURE A: LOCALITY



Erf 2664, Stellenbosch

- Legend**
- Farm Portions
 - Erf

Map Center: Lon: 18°51'33.9"E
 Lat: 33°55'25.1"S
 Scale: 1:5 000
 Date created: May 23, 2023



Surveyed by W.C. Department of Rural Development and Land Affairs
 Chief Surveyor General (SARLGA)
 Department of Rural Development and Land Affairs



Erf 2664, Stellenbosch

- Legend**
- Farm Portions
 - Erf

Map Center: Lon: 18°51'33.9"E
Lat: 33°55'25.1"S
Scale: 1:1 500
Date created: May 23, 2023





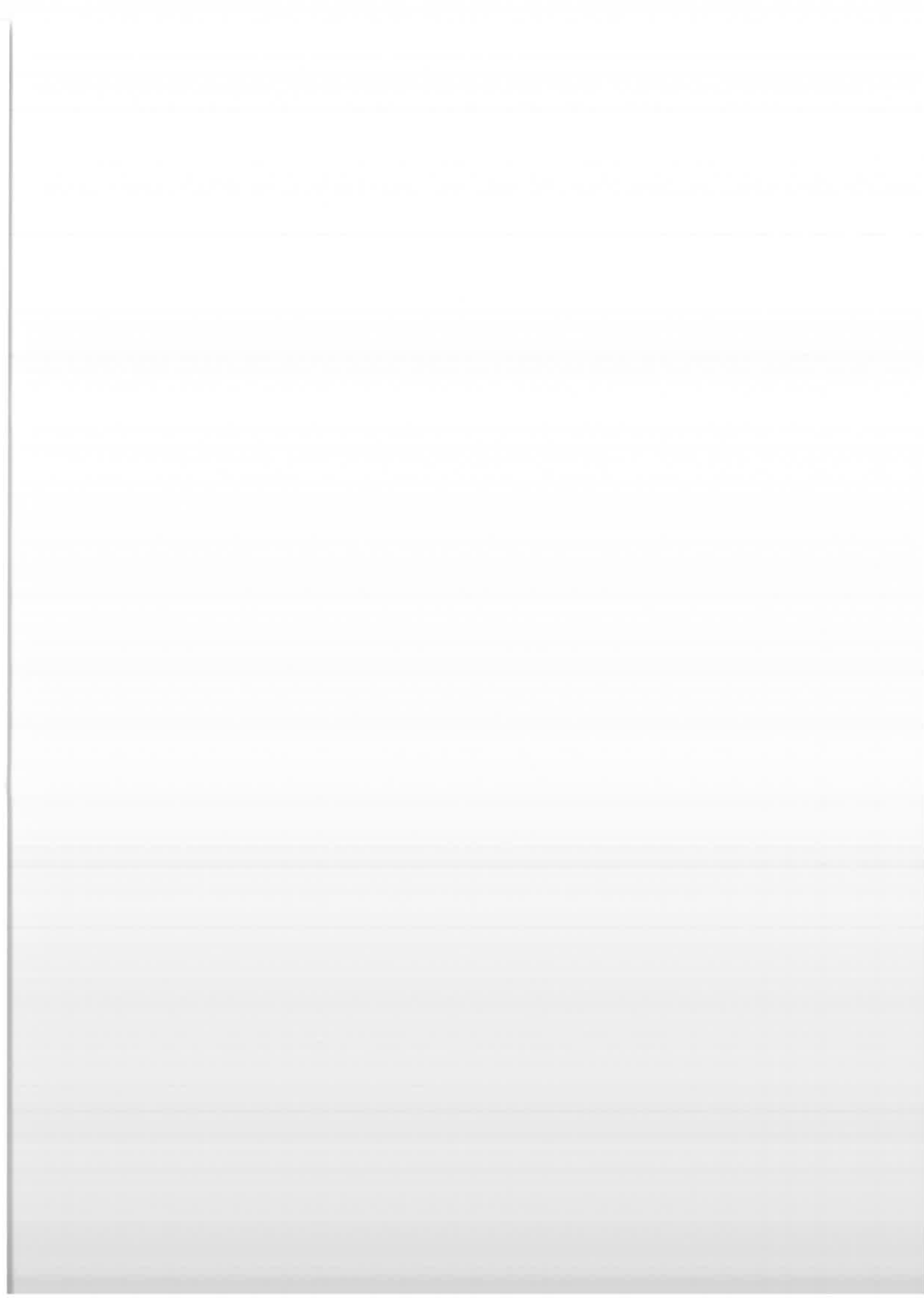
Erf 2664, Stellenbosch

Legend
Erf

Map Center: Lon: 18°51'33.9"E
Lat: 33°55'25.1"S
Scale: 1:500
Date created: August 14, 2023



ANNEXURE G: SITE DEVELOPMENT PLAN

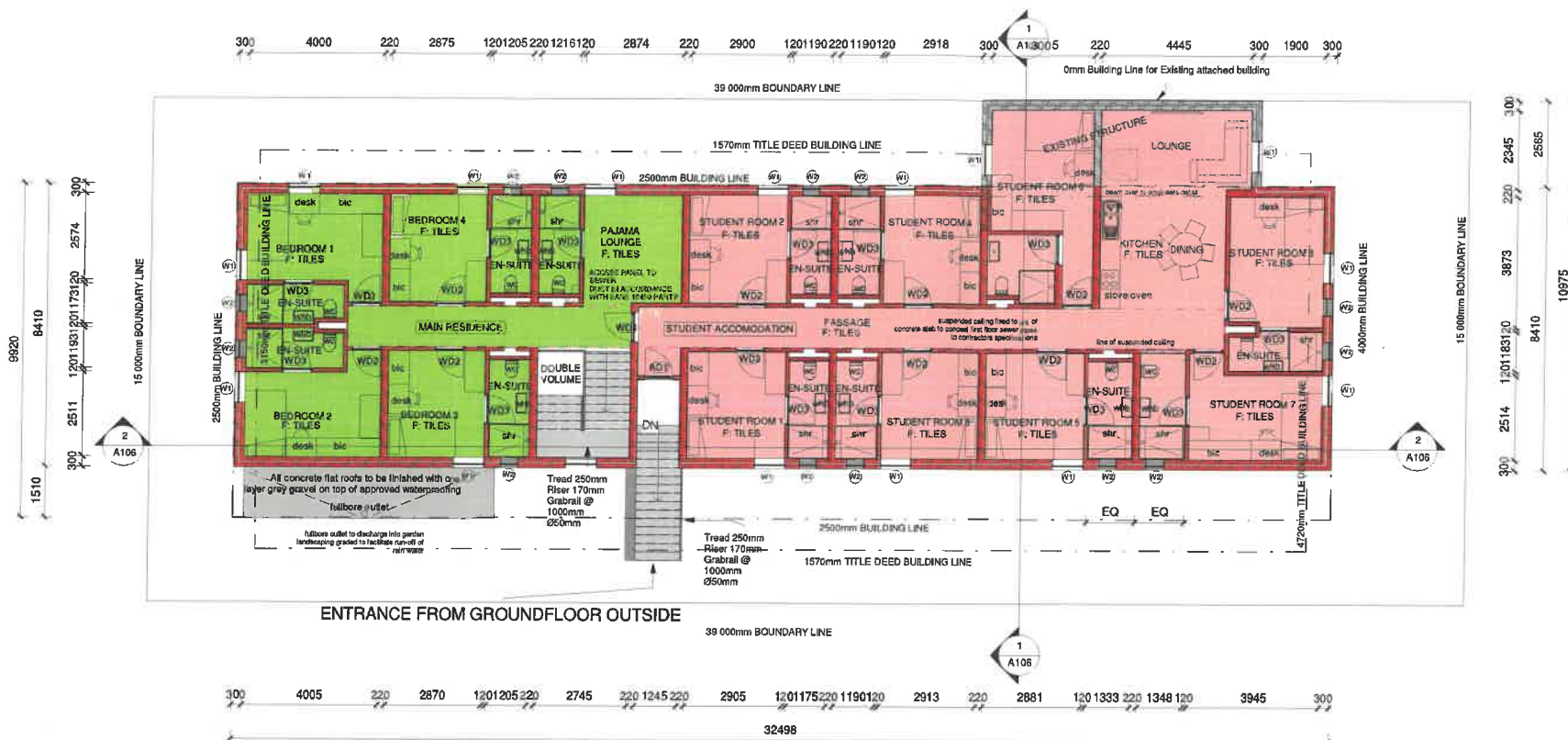


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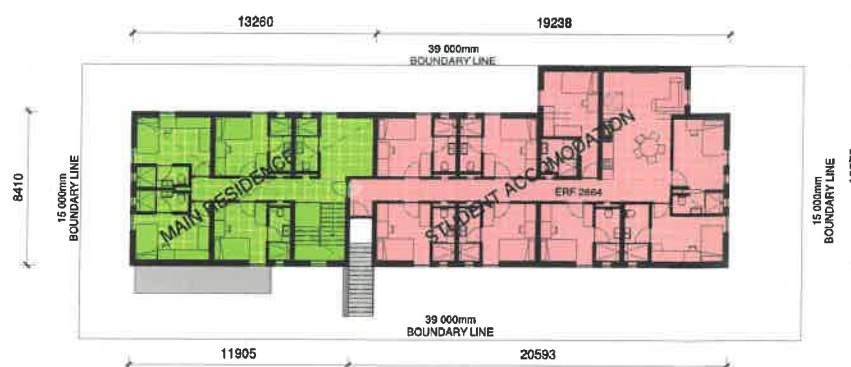
GENERAL NOTE
ALL WORK TO BE IN ACCORDANCE WITH THE "NATIONAL BUILDING REGULATIONS" AND THE SABS 0400 MINIMUM STANDARDS SPECIFICATIONS.

ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OR MANUFACTURING.

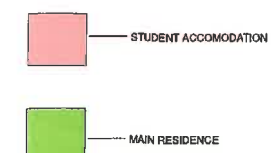
ALL DIMENSIONS FOR PROPOSED BUILDING WORK IN TERMS OF PART C OF SABS 10400.



1 FIRST FLOOR
1 : 100



2 FIRST FLOOR KEY PLAN
1 : 200



AREA SCHEDULE	
SITE:	585m ²
COVERAGE ALLOWED:	300m ²
TOTAL ACTUAL:	300m ²
PARKING:	2/MAIN RESIDENCE 8 (1/STUDENT)
TOTAL:	10

REVISIONS

SUFFIX DATE DESCRIPTION



WP BOSCH & ASSOCIATES
ARCHITECTS

PROJECT
ERF 2664 TOBRUK PARK RD

PROJECT TYPE
MULTI RESIDENTIAL

CLIENT
ULTIMATE REAL ESTATE

LOCATION
STELLENBOSCH, TOBRUK PARK RD, ERF 2664

TOWN & URBAN PLANNERS QUANTITY SURVEYOR

ENGINEERS - CIVIL & STRUCTURAL ENGINEERS - ELEC. & MECH.

2023/10/03 15:35:30

DRAWING TITLE SCALE DATE
FIRST FLOOR As indicated 28/08/2023

PROJECT DRAWING
Number A103
DRAWN REVISION
Author

SACAP NO: 4215

TOBRUK PARK RD

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GENERAL NOTE
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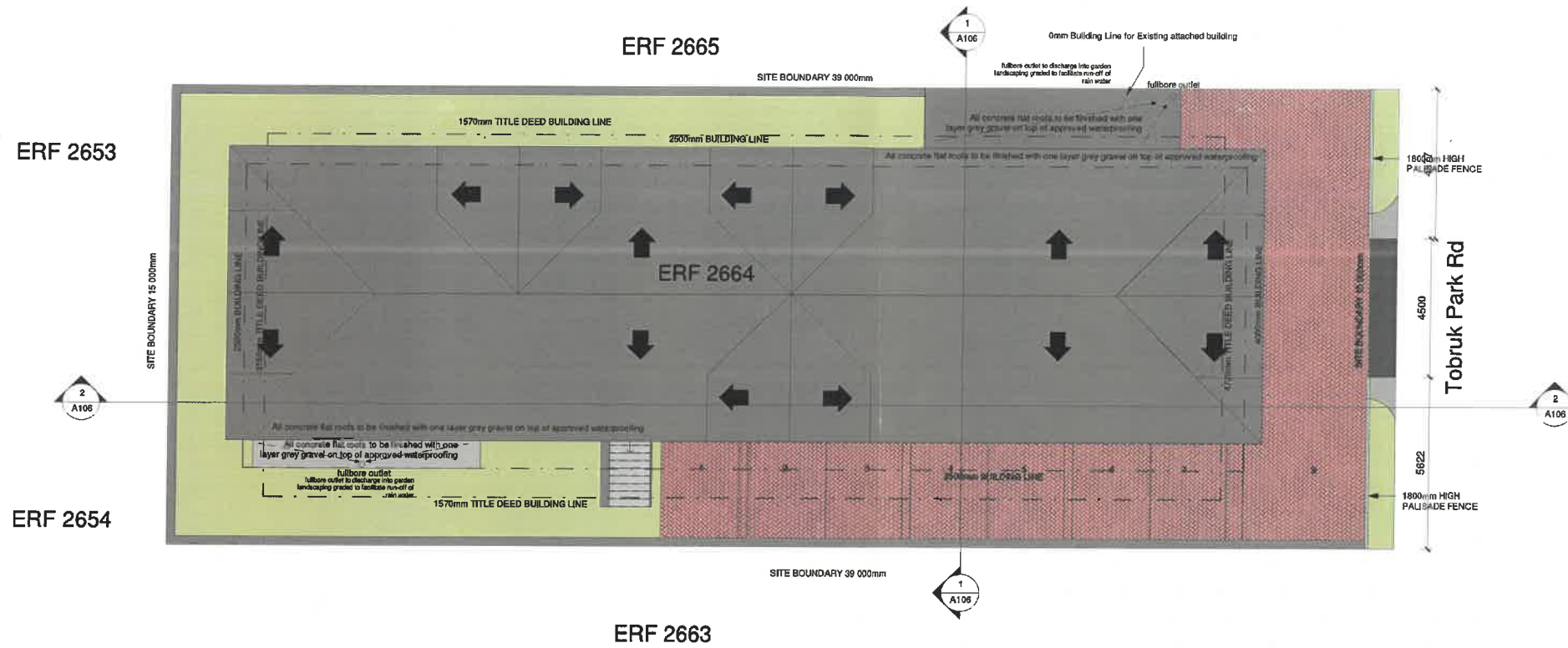
ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE AND ANY DISCREPANCIES REPORTED TO THE ARCHITECTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OR MANUFACTURING.

ALL DIMENSIONS FOR PROPOSED BUILDING WORK IN TERMS OF PART C OF SANS 10400.



REVISIONS

SUFFIX	DATE	DESCRIPTION
--------	------	-------------



1 Site
1 : 100

TOBRUK PARK RD



WP BOSCH & ASSOCIATES
ARCHITECTS

PROJECT
ERF 2664 TOBRUK PARK RD

PROJECT TYPE
MULTI RESIDENTIAL

CLIENT
ULTIMATE REAL ESTATE

LOCATION
STELLENBOSCH, TOBRUK PARK RD, ERF 2664

TOWN & URBAN PLANNERS
QUANTITY SURVEYOR

ENGINEERS - CIVIL & STRUCTURAL
ENGINEERS - ELEC. & MECH.

2023/10/03 15:35:25

DRAWING TITLE	SCALE	DATE
SITE PLAN	1 : 100	01/23/07

PROJECT	DRAWING
Project Number	A104
DRAWN	REVISION
Author	

SACAP NO: 4215

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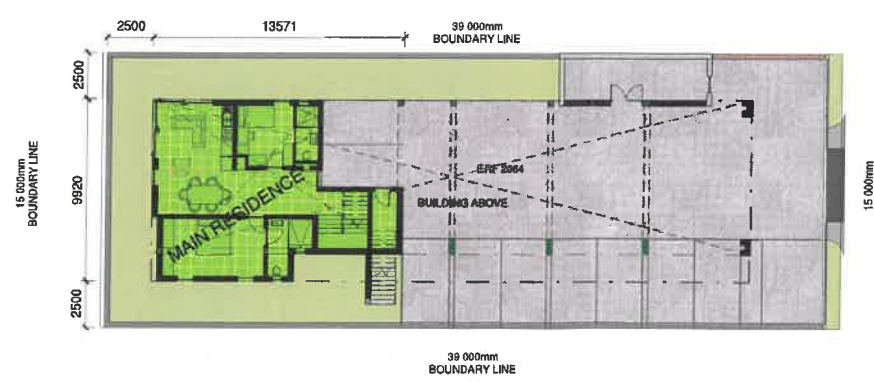
GENERAL NOTE
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ALL DIMENSIONS FOR PROPOSED BUILDING WORK IN TERMS OF PART C OF SANS 10400.



1 GROUND FLOOR
1 : 100



3 GROUND FLOOR KEY PLAN
1 : 200

- STUDENT ACCOMMODATION
- MAIN RESIDENCE

AREA SCHEDULE	
SITE:	585m ²
COVERAGE ALLOWED:	300m ²
TOTAL ACTUAL:	300m ²
PARKING:	2/MAIN RESIDENCE 8 (1/STUDENT)
TOTAL:	10

TOBRUK PARK RD

REVISIONS

SUFFIX	DATE	DESCRIPTION



WP BOSCH & ASSOCIATES
ARCHITECTS

PROJECT
ERF 2664 TOBRUK PARK RD

PROJECT TYPE
MULTI RESIDENTIAL

CLIENT
ULTIMATE REAL ESTATE

LOCATION
STELLENBOSCH, TOBRUK PARK RD, ERF 2664

TOWN & URBAN PLANNERS QUANTITY SURVEYOR

ENGINEERS - CIVIL & STRUCTURAL ENGINEERS - ELEC. & MECH.

2023/10/03 15:35:28

DRAWING TITLE SCALE DATE
GROUND FLOOR As indicated 29/08/2023

PROJECT	DRAWING
Project Number	A100
DRAWN	REVISION
Author	

SACAP NO: 4215

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ALL DIMENSIONS FOR PROPOSED BUILDING WORK IN TERMS OF PART C OF SANS 10400.

REVISIONS

SUFFIX DATE DESCRIPTION

KLP-LOK ROOF SHEETING ON 76X50MM SA PINE PURLINS AT 900MM C/C NAILED TO 152X50 TIMBER GRADE V4 RAFTERS AT 900MM C/C. 70MM ISOTHERM INSULATION ON TOP OF RAFTERS. WALL PLATES 114X38MM ANCHORED TO TOP OF WALL. 114X38MM CROSS BRACING TO BOTH PLANES TAKEN OVER 4 RAFTERS IN BOTH DIRECTIONS. RAFTERS TIED DOWN WITH GALVANIZED HOOP IRON STRAPS EMBEDDED 6 COURSES INTO WALL TO ADHERE TO SANS 10400 PART L TABLE 9

TO ENGINEERS DETAIL

SEAMLESS OGEE ALUMINIUM RAINWATER GUTTERS AND DOWNPIPES

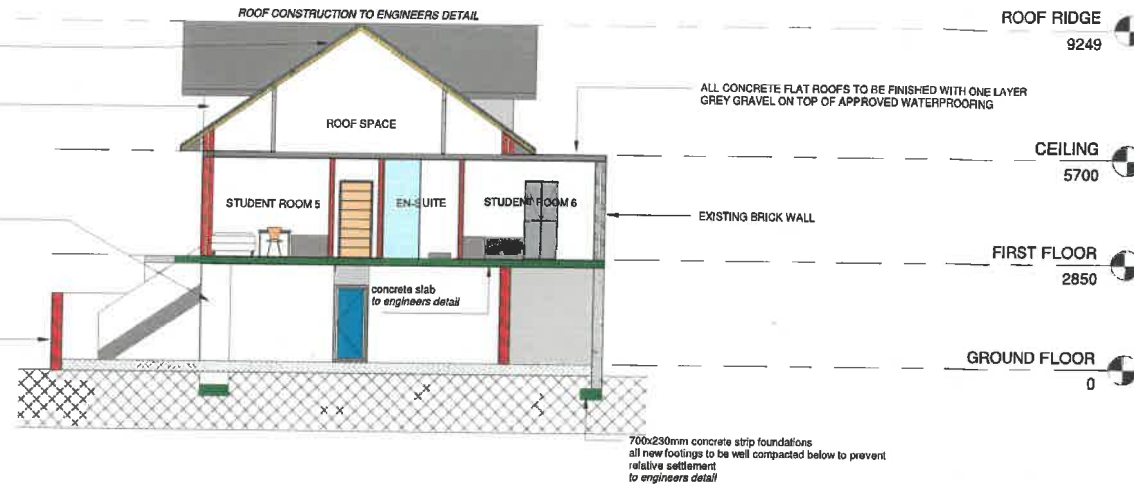
VERMONT NUTEC BUILDING PLANK TIED TO SUPPORTING FRAME FIXED BRICK WALL AS PER SPECIALIST DETAIL

CONCRETE COLUMNS & BEAMS TO ENGINEERS DETAIL

280MM BRICK WALL TO HAVE BRICKFORCE EVERY 3RD COURSE

WALLS TO BE CONSTRUCTED ACCORDING TO THE TABLE 17 OF THE SANS 10400 PART K

TO ENGINEERS DETAIL



1 Section 1
1 : 100

KLP-LOK ROOF SHEETING ON 76X50MM SA PINE PURLINS AT 900MM C/C NAILED TO 152X50 TIMBER GRADE V4 RAFTERS AT 900MM C/C. 70MM ISOTHERM INSULATION ON TOP OF RAFTERS. WALL PLATES 114X38MM ANCHORED TO TOP OF WALL. 114X38MM CROSS BRACING TO BOTH PLANES TAKEN OVER 4 RAFTERS IN BOTH DIRECTIONS. RAFTERS TIED DOWN WITH GALVANIZED HOOP IRON STRAPS EMBEDDED 6 COURSES INTO WALL TO ADHERE TO SANS 10400 PART L TABLE 9

TO ENGINEERS DETAIL

SEAMLESS OGEE ALUMINIUM RAINWATER GUTTERS AND DOWNPIPES

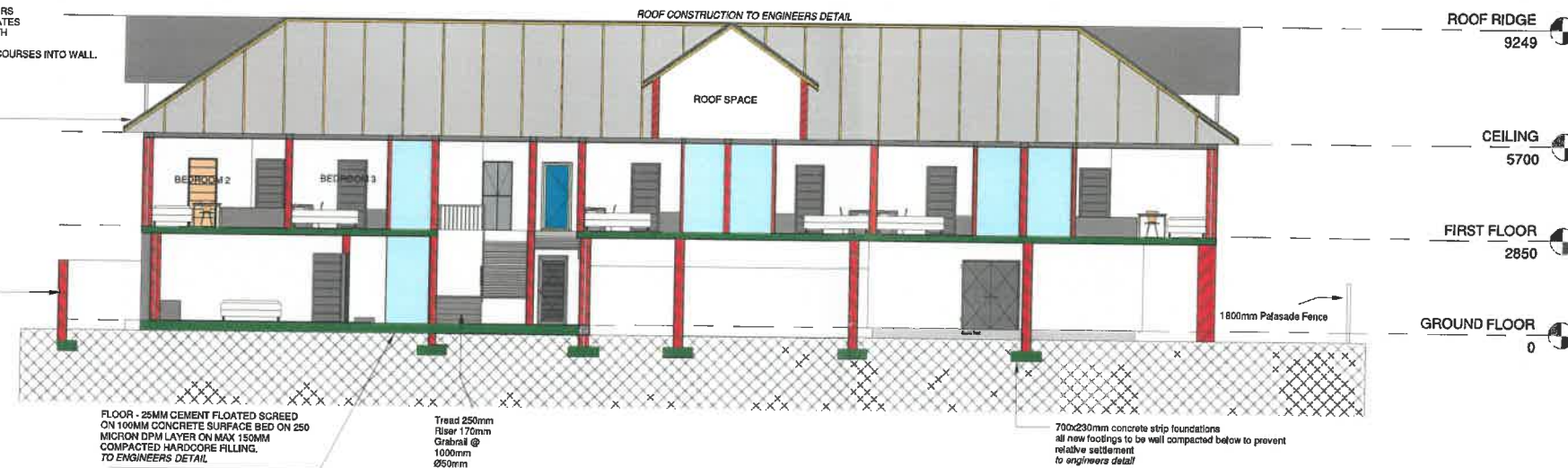
SKIMMED AND PAINTED CEILING BOARDS ON 38X38MM SA PINE BATTENS AT MAXIMUM 450MM C/C

NOTE: ALL GLAZING TO COMPLY WITH REQUIREMENTS OF SANS 10137 & SANS 10400 PART H - ACCESS DOORS AND SIDELIGHTS. WINDOWS LOWER THAN 900MM FROM FLOOR TO BE SAFETY GLASS AND CLEARLY INDICATED AS SUCH ON GLASS AT EYE LEVEL

280MM BRICK WALL TO HAVE BRICKFORCE EVERY 3RD COURSE

WALLS TO BE CONSTRUCTED ACCORDING TO THE TABLE 17 OF THE SANS 10400 PART K

TO ENGINEERS DETAIL



2 Section 2
1 : 100

TOBRUK PARK RD



WP BOSCH & ASSOCIATES
ARCHITECTS

PROJECT
ERF 2664 TOBRUK PARK RD

PROJECT TYPE
MULTI RESIDENTIAL

CLIENT
ULTIMATE REAL ESTATE

LOCATION
STELLENBOSCH, TOBRUK PARK RD, ERF 2664

TOWN & URBAN PLANNERS QUANTITY SURVEYOR

ENGINEERS - CIVIL & STRUCTURAL ENGINEERS - ELEC. & MECH.

2023/10/03 15:35:33

DRAWING TITLE SCALE DATE
SECTIONS 1 : 100 29/08/2023

PROJECT DRAWING

Project Number A106

DRAWN REVISION

SACAP NO: 4215

Author

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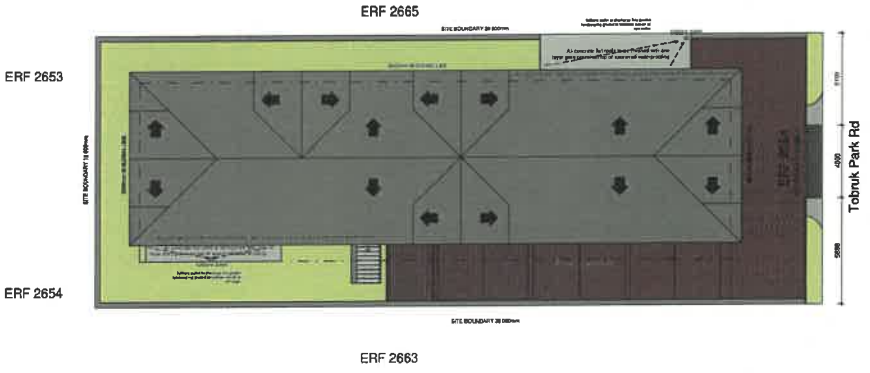
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REVISIONS

NO.	DATE	DESCRIPTION



PROJECT: LA COLINE
 PROJECT TYPE: CLUB
 CLIENT: QTA
 LOCATION: JALAN KEMANGSAH, KEMANGSAH, KEMANGSAH, KEMANGSAH, KEMANGSAH
 TOWN & COUNTRY PLANNING NO.: 123456789
 DRAWING NO.: 123456789
 DATE: 2023/08/17 07:00:00
 DRAWING TITLE: SITE PLAN
 SCALE: 1:100
 DATE: 2023/08/17 07:00:00
 PROJECT: LA COLINE
 DRAWING: SITE PLAN
 SHEET: 1 OF 1
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]

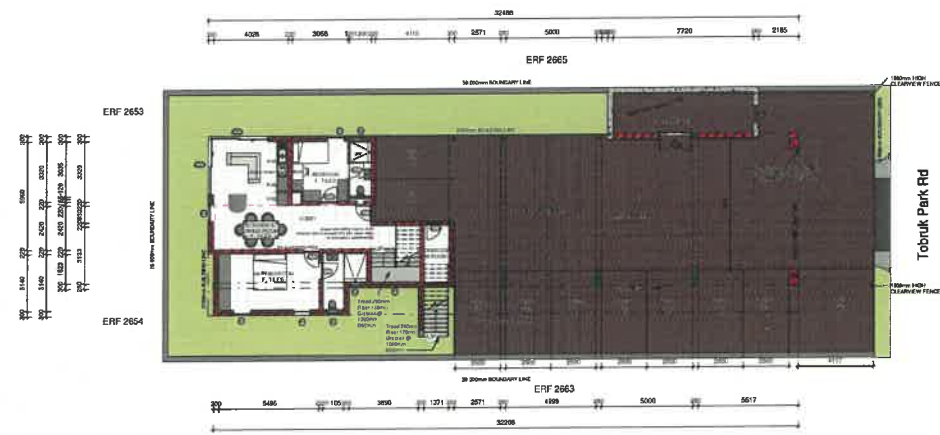


1 Site
 1:100

AREA SCHEDULE	AREA
ERF 2653	3000
ERF 2654	3000
ERF 2663	3000
ERF 2665	3000
TOTAL AREA	12000
ERF 2653	3000
ERF 2654	3000
ERF 2663	3000
ERF 2665	3000
TOTAL AREA	12000
ERF 2653	3000
ERF 2654	3000
ERF 2663	3000
ERF 2665	3000
TOTAL AREA	12000



1 GROUND FLOOR
1:100



3 GROUND FLOOR KEY PLAN
1:200



- EXISTING ACCRETION
- MAIN SERVICES

AREA SCHEDULE	
KEY FLOOR	384m ²
COVERABLE	
POTENTIAL	350m ²
ACTUAL	384m ²
FLOOR AREA	
EXISTING	123m ²
NEW	153m ²
EXISTING	191m ²
NEW	191m ²
TOTAL AREA	384m ²
TOTAL COVERABLE	350m ²

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REVISIONS

NO.	DATE	DESCRIPTION



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ARCHITECTS

PROJECT: LA COULNE

PROJECT TYPE: _____

CLIENT: _____

LOCATION: _____

DATE: _____

SCALE: _____

DATE: _____

PROJECT: _____

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PROJECT: _____

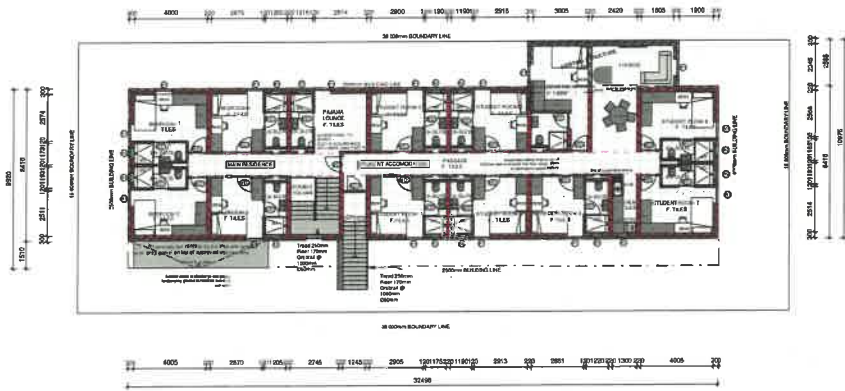
DATE: _____

PROJECT: _____

DATE: _____

PROJECT: _____

DATE: _____



1 FIRST FLOOR
1:100



2 FIRST FLOOR KEY PLAN
1:200

- FUTURE ACCOMMODATION
- EXISTING

AREA SCHEDULE	
NEW	1000
EXISTING	1000
TOTAL	2000
NEW	1000
EXISTING	1000
TOTAL	2000
TOTAL COVERED	1000

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REVISIONS

NO.	DATE	DESCRIPTION



WP BOBICH & ASSOCIATES
ARCHITECTS

PROJECT LA COISNE

PROJECT TYPE

CLIENT

OWNER

LOCATION

DATE

SCALE

DATE

PROJECT

DATE

PROJECT

DATE

PROJECT

DATE

PROJECT

DATE

PROJECT

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DATE



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REVISIONS

NO.	DATE	DESCRIPTION

WP BOSCH & ASSOCIATES
 ARCHITECTS

PROJECT: LA COLINE
 PROJECT TYPE: _____
 CLIENT: _____
 LOCATION: _____
 PREPARED BY: _____
 CHECKED BY: _____
 DATE: 11/07/2025

DESIGNED BY: _____ SCALE: _____ DATE: _____
 DRAWING NO.: _____ PROJECT: _____ DRAWING: _____
 SHEET: _____ NO.: _____ SHEET: _____ CHECKED: _____
 SACUP NO. 425

ALUMINIUM WINDOW SCHEDULE		
ELEMENT ID.	W1	W2
NEW FROM REUSE SEE		
NOTE	ALUMINIUM WINDOW SCHEDULES TO BE SUPPLIED WITH GLAZING AND FINISHES TO BE SPECIFIED.	ALUMINIUM WINDOW SCHEDULES TO BE SUPPLIED WITH GLAZING AND FINISHES TO BE SPECIFIED.
QUANTITY	17	
W x H SIZE	1000 x 1200	800 x 1200
FRAME	ALUMINIUM FRAME AS PER SPECIALTY SPECIFICATION	ALUMINIUM FRAME AS PER SPECIALTY SPECIFICATION
FINISH	POWER COATED POLYURETHANE PAINT	POWER COATED POLYURETHANE PAINT
GLASS	6mm CLEAR GLASS WITH 12mm AIR GAP & 6mm CLEAR GLASS	6mm CLEAR GLASS WITH 12mm AIR GAP & 6mm CLEAR GLASS
MANUFACTURE	AS PER MANUFACTURER	AS PER MANUFACTURER

WINDOW SCHEDULE
T:50

WOODEN WINDOW SCHEDULES		
ELEMENT ID.	W3	W4
NEW FROM REUSE SEE		
NOTE	WOODEN WINDOW SCHEDULES TO BE SUPPLIED WITH GLAZING AND FINISHES TO BE SPECIFIED.	WOODEN WINDOW SCHEDULES TO BE SUPPLIED WITH GLAZING AND FINISHES TO BE SPECIFIED.
QUANTITY	7	7
W x H SIZE	1000 x 1200	1000 x 1200
FRAME	WOODEN FRAME AS PER SPECIALTY SPECIFICATION	WOODEN FRAME AS PER SPECIALTY SPECIFICATION
FINISH	POWER COATED POLYURETHANE PAINT	POWER COATED POLYURETHANE PAINT
GLASS	6mm CLEAR GLASS WITH 12mm AIR GAP & 6mm CLEAR GLASS	6mm CLEAR GLASS WITH 12mm AIR GAP & 6mm CLEAR GLASS
MANUFACTURE	AS PER MANUFACTURER	AS PER MANUFACTURER

ALUMINIUM DOOR SCHEDULE
T:50

WOODEN WINDOW SCHEDULES			
ELEMENT ID.	W5	W6	W7
NEW FROM REUSE SEE			
NOTE	WOODEN WINDOW SCHEDULES TO BE SUPPLIED WITH GLAZING AND FINISHES TO BE SPECIFIED.	WOODEN WINDOW SCHEDULES TO BE SUPPLIED WITH GLAZING AND FINISHES TO BE SPECIFIED.	WOODEN WINDOW SCHEDULES TO BE SUPPLIED WITH GLAZING AND FINISHES TO BE SPECIFIED.
QUANTITY	14	14	14
W x H SIZE	1000 x 1200	1000 x 1200	1000 x 1200
FRAME	WOODEN FRAME AS PER SPECIALTY SPECIFICATION	WOODEN FRAME AS PER SPECIALTY SPECIFICATION	WOODEN FRAME AS PER SPECIALTY SPECIFICATION
FINISH	POWER COATED POLYURETHANE PAINT	POWER COATED POLYURETHANE PAINT	POWER COATED POLYURETHANE PAINT
GLASS	6mm CLEAR GLASS WITH 12mm AIR GAP & 6mm CLEAR GLASS	6mm CLEAR GLASS WITH 12mm AIR GAP & 6mm CLEAR GLASS	6mm CLEAR GLASS WITH 12mm AIR GAP & 6mm CLEAR GLASS
MANUFACTURE	AS PER MANUFACTURER	AS PER MANUFACTURER	AS PER MANUFACTURER

WOODEN DOOR SCHEDULE
T:50

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REVISIONS

NO.	DATE	DESCRIPTION



WP BOGGS & ASSOCIATES
ARCHITECTS

PROJECT: LA COLINE

PROJECT TYPE:

CITY:

DATE:

SCALE: 1:50

DATE: 2023/05/17 07:18:27

DRAWING TITLE: WINDOW SCHEDULES

SCALE: 1:50

DATE: 2023/05/17 07:18:27

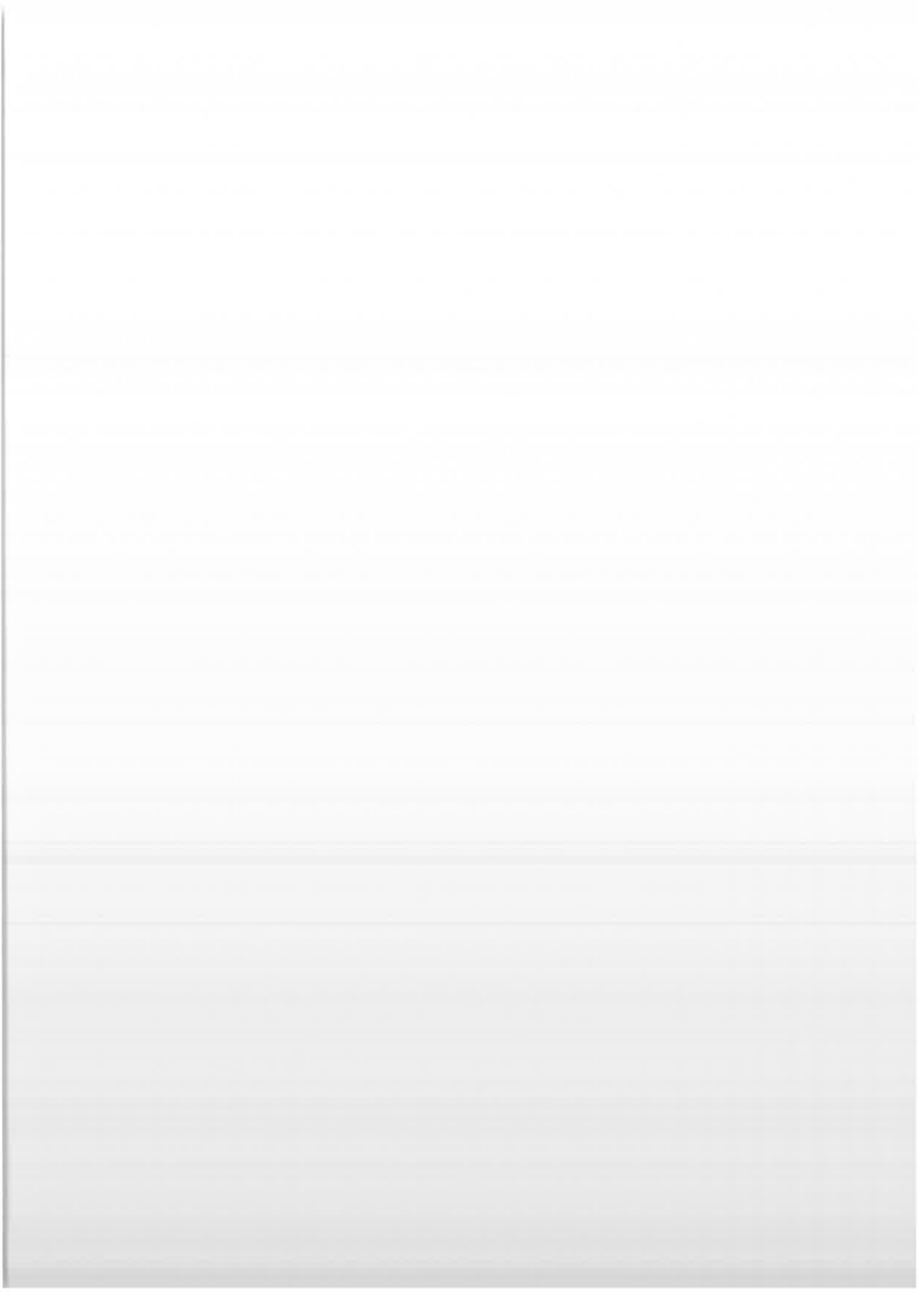
PROJECT: LA COLINE

DATE: 2023/05/17 07:18:27

SCALE: 1:50

DATE: 2023/05/17 07:18:27

ANNEXURE F: DIAGRAM



STELLENBOSCH TOEKENNINGSGBIED

ALGEMENE PLAN 1437 LP CDR.

STELLENBOSCH DORP UITBREIDING N°2

Verwittigende op deze plannen... 1437 LP CDR.

L.A. N° 2002/200

Handwritten signature and date: 1970-1971

Table with multiple columns containing alphanumeric codes and data, likely a legend or index for the plan.

Handwritten notes and a scale bar in meters.



- OFFICE NOTES: A list of numbered notes explaining symbols and details on the plan.

Handwritten notes at the bottom of the plan, possibly detailing specific plot information.



1437 CDR.

Small table or legend located at the bottom left corner of the plan.