

28 February 2021

The Director: Planning and Development
Stellenbosch Municipality
PO Box 17
Stellenbosch
7599
Per: Landuse.Enquiries@stellenbosch.gov.za

Dear Sir / Madam Geagte Heer / Dame

**NOTICE OF LAND DEVELOPMENT APPLICATION: ERF 224, RAITHBY (YONDER HILL WINE ESTATE /
KENNISGEWING VAN GROND ONTWIKKELING AANSOEK: ERF 224, RAITHBY (YONDER HILL
WYNLANDGOED)**

(YOUR INTEREST (Property or function) / U BELANG (Eiendom of funksie): Erf All)

Please take note of the following application regarding a land development as prescribed in the Stellenbosch Land Use Planning Bylaw, 2015. // Neem asseblief kennis van die volgende aansoek om ontwikkeling soos uiteengesit in die Stellenbosch Grondgebruikbeplanningsverordening, 2015.

Locality / Ligging: Erf 224 is better known as Yonder Hill, on the R44.

Applicant / Aansoeker: Dupré Lombaard, Virdus Works (Pty) Ltd, 77 Buitekring, Dalsig, STELLENBOSCH, 7600; Email / E-pos: dupre.lombaard@virdus.com

Owner / Eienaar: Yonder Hill Wine Farming (Pty) Ltd, Reg. No. 64/03560/07, Phone: +27 21 882 8525, E-mail: Daniel Naude <info@danielnaude.com>, Address: R44

Stellenbosch Municipality reference number / Verwysing: LU 12275

Application type / Tipe aansoek: Application is made in terms of Section 15(2)(o) of the Stellenbosch Municipality Land Use Planning Bylaw, 2015, for a Consent Use on Erf 224 Raithby to utilise the existing buildings (approved cottage) as a Guest House and to allow the use of the outdoor space to the east of the wine cellar as outdoor wine tasting and picnic area. The proposed use and development parameters will be in keeping with the Stellenbosch Municipality Zoning Scheme Bylaw, 2019. // Aansoek word gedoen ingevolge Artikel 15(2)(o) van die Stellenbosch Munisipaliteit Grondgebruikbeplanning Verordening, 2015, vir 'n vergunningsgebruik om die bestaande goedgekeurde tweede woning te gebruik as 'n gastehuis en om die tuin en buite ruimte aan die oostekant van die wynkelder te gebruik as buitelug wynproe en piekniek area. Die voorgestelde gebruik en grondgebruik parameters sal ingevolge die Stellenbosch Munisipaliteit Soneringskema Verordening, 2019, wees.

Comment request / Versoek vir kommentaar:

Notice is hereby given in terms of the provisions of Section 46 of the said Bylaw that the above-mentioned application has been submitted to the Stellenbosch Municipality for consideration. The application is available for inspection on the Planning Portal of the Stellenbosch Municipal Website for the duration of the public participation process at the following address: [<https://www.stellenbosch.gov.za/documents/planning-and-building-plans/planning-portal>]. If the website or documents cannot be accessed, an electronic copy of the application can be requested from the Applicant.

You are hereby invited to submit comments and / or objections on the application in terms of Section 50 of the said Bylaw with the following requirements and particulars:

- The comments must be made in writing;
- The comments must refer to the Application Reference Number and Address,
- The name of the person that submits the comments;
- The physical address and contact details of the person submitting the comments;
- The interest that the person has in the subject application;
- The reasons for the comments, which must be set out in sufficient detail in order to:
 - Indicate the facts and circumstances that explain the comments;
 - Where relevant demonstrate the undesirable effect that the application will have if approved;
 - Where relevant demonstrate any aspect of the application that is not considered consistent with applicable policy; and
 - Enable the applicant to respond to the comments.

The **comments must be addressed to the applicant by electronic mail** as follows: Dupré Lombaard, Virdus Works, dupre.lombaard@virdus.com. The comments must be submitted within 30 days from the date of this notice to be received on or before the **closing date** of **01 April 2021**.

It should be noted that the Municipality, in terms of Section 50(5) of the said Bylaw, may refuse to accept any comments/ objection received after the closing date.

For any enquiries on the Application or the above requirements, or if you are unable to write and /or submit your comments as provided for, you may contact the Applicant for assistance at the e-mail address provided or telephonically at +27 82 895 6362 during normal office hours.

Kennis word hiermee gegee in terme van die voorskrifte van die Artikel 46 van die genoemde Verordeninge dat bovermelde aansoek by die Stellenbosch Munisipaliteit ingedien is vir oorweging. Die aansoek is beskikbaar vir insae op die Beplannings Portaal van die Stellenbosch Munisipaliteit se Webtuiste vir die tydsduur van die publieke deelname proses by die volgende adres: [<https://www.stellenbosch.gov.za/documents/planning-and-building-plans/planning-portal>]. Indien die webtuiste of tersaaklike dokumente nie toeganklik is nie, kan die Aansoeker versoek word om 'n elektroniese kopie van die aansoek beskikbaar te stel.

Kommentaar en/ of besware kan vervolgens gedien word op die aansoek ingevolge Artikel 50 van die tersaaklike Verordening wat die volgende vereistes en besonderhede moet bevat:

- Die kommentaar moet skriftelik wees;
- Die kommentaar moet die aansoek se verwysings nommer en adres insluit;
- Die naam van die persoon wat die kommentaar lewer;
- Die fisiese adres en kontak besonderhede van die persoon wat die kommentaar lewer.
- Die belang wat die persoon wat die kommentaar lewer, in die aansoek het.
- Die redes vir die kommentaar wat gelewer word, welke redes genoegsame besonderhede moet bevat ten opsigte van die volgende aspekte:
 - Die feite en omstandighede aantoon wat die kommentaar toelig;
 - Indien toepaslik, aantoon wat die onwenslike resultaat sal wees indien die aansoek goedgekeur word;
 - Waar toepaslik moet aangetoon word indien enige aspek van die aansoek strydig geag word met enige relevante beleid;
 - Dat die insette voldoende inligting sal gee wat die aansoeker in staat sal stel om kommentaar daarop te lewer.

Die **kommentaar moet by wyse van elektroniese pos aan die aansoeker gestuur word** as volg: Dupré Lombaard, Virdus Works, dupre.lombaard@virdus.com. Die kommentaar moet binne 30 dae vanaf die datum van hierdie kennisgewing gestuur word en moet ontvang word voor of op die laaste dag van die **sluitings datum van 01 April 2021**.

Daar moet kennis geneem word dat die Munisipaliteit, in terme van Artikel 50(5) van die vermelde Verordeninge, mag weier om enige kommentaar / beswaar te aanvaar wat na die sluitingsdatum ontvang word.

Indien daar enige navrae op die aansoek of bovermelde vereistes vir die lewer van kommentaar is, of indien dit nie moontlik is om geskrewe kommentaar te lewer of die kommentaar op die wyse te lewer soos voorsiening gemaak is nie, kan die Aansoeker geskakel word vir bystand by die vermelde elektroniese pos adres of telefonies by +27 82 895 6362 gedurende normale kantoor ure.

Your support of the application will be appreciated. // U ondersteuning van die aansoek sal waardeer word.

Yours faithfully



Dupré Lombaard

**LAND DEVELOPMENT APPLICATION FOR:
CONSENT USES ON**

YONDER HILL WINE FARM, ERF 224, RAITHBY



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EXECUTIVE SUMMARY

<p><u>Owner:</u></p> <p>Mr Frikkie Naudé</p> <p>as Director of Yonder Hill Wine Farming (Pty) Ltd, Reg. No. 64/03560/07</p> <p>Telephone: +27 21 882 8525</p> <p>Mobile: +27 82 455 3298</p> <p>E-mail: frikkien@intertechnic.co.za</p> <p>Address: 6 Dorp Street, Stellenbosch, 7600</p>	<p><u>Project Consultant:</u></p> <p>Mr Dupré Lombaard</p> <p>Viridus Works (Pty) Ltd Reg. No. 2018/585747/07</p> <p>Cellular phone: +27 82 895 6362</p> <p>E-mail: dupre.lombaard@viridus.com</p> <p>Address: 77 Buitekring, Dalsig, Stellenbosch, 7600, South Africa</p>
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This application is for consent uses in terms of Section 15(2)(o) (a consent use contemplated in the zoning scheme) of the Stellenbosch Municipality Land Use Planning Bylaw, 2015, read with Section 207 and 213 of the Stellenbosch Municipality Zoning Scheme Bylaw, 2019 (ZSB). Application is made for the use of existing buildings (approved cottage) on the property for a guest house and the use of the wooden deck and lawns outside the winery and wine tasting facility for open air wine tasting and picnics. No new structures or buildings are envisaged for this application. Only existing buildings and grassed areas will be used. No restaurant or related facilities are envisaged, as only platters and food pairings are offered in the wine tasting facilities.

- 1) The application is for the improved use of the additional dwelling (wine-maker's cottage) as a new guest house; and
- 2) to allow for the use of the outdoor space to the east of the wine cellar as a picnic area where platters are served, food pairing is done, and wine is served (as an extension of the existing tourist facility).

The primary dwelling was approved as a guest house with consent in 2016 and the cellar was approved as an agricultural industry with an area of 1 067m² in 1999. The property has an Agricultural and Rural Zone, with consent for an agricultural industry (wine cellar), tourist facilities and a guest house.

Yonder Hill Wine Farming must better utilise its property through diversification of the use. The natural assets of the area create the ideal setting for diversification. The agricultural component of the farm is not sufficient to financially sustain it. The farm has an area of approximately 12 ha, of which approximately 4,5 ha are irrigated grazing where Ankole cattle are kept for breeding and as an attraction for eco-tourism, 4,5 ha are cultivated with vineyards and the remainder consists of the farm dwellings, winery and farm infrastructure. Access to the farm is directly off the R44.

There are no title deed restrictions preventing the proposed land developments.

MOTIVATION REPORT

1. BACKGROUND

1.1 Introduction

This application is for consideration of a guest house and extended tourist facilities on Erf 224, Raithby (Yonder Hill Wine Farm) in terms of Section 15 of the Stellenbosch Municipality Land Use Planning Bylaw, 2015 (LUPB) for consent uses. Only an existing approved cottage will be used as a guesthouse after minor renovations, while the existing wooden deck and lawns will be used for outdoor wine tasting.

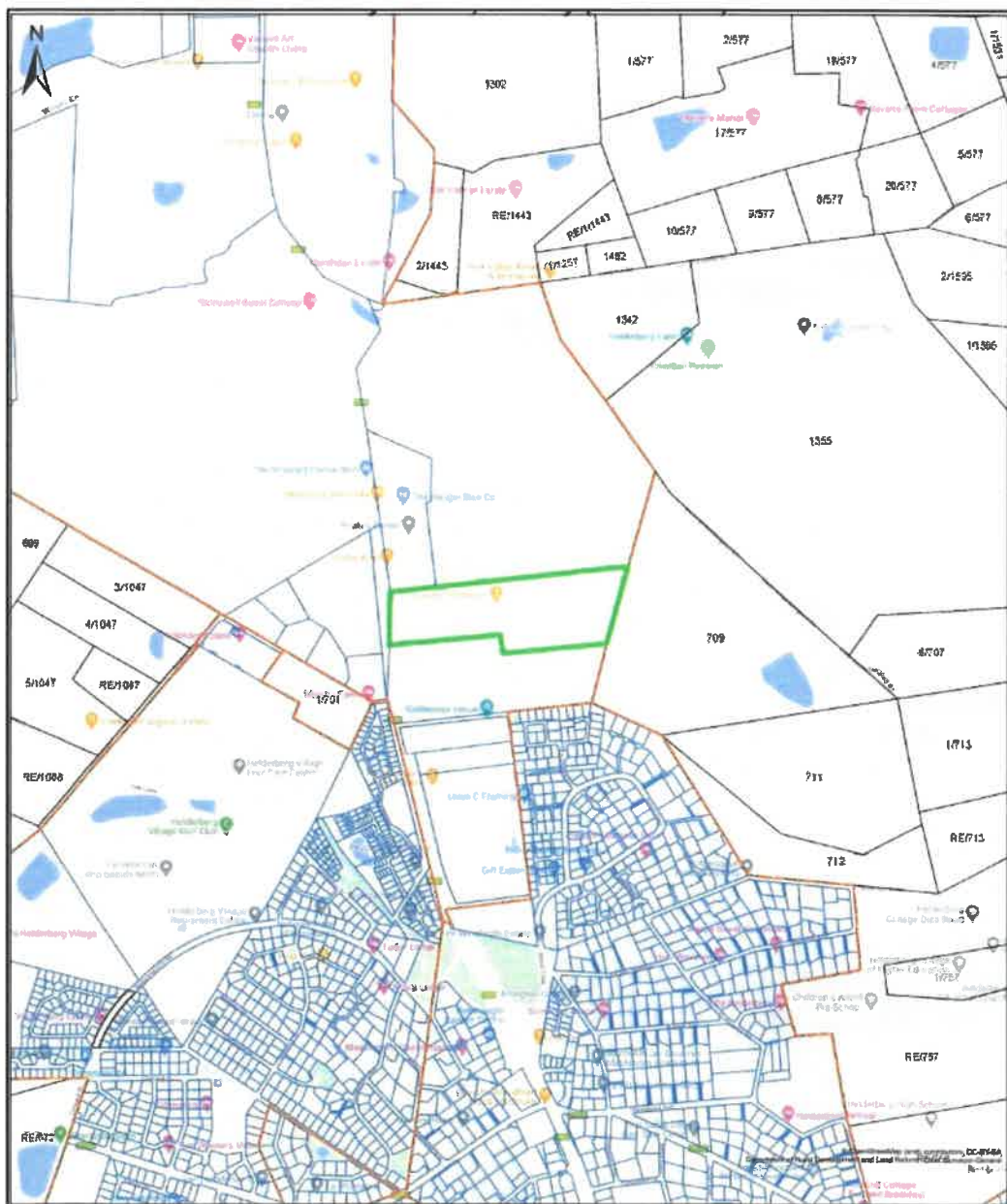


Figure 1: Yonder Hill locality

Yonder Hill Wine Farming must better utilise its property through diversification of the use. The location of the farm and natural assets of the area create the ideal setting for diversification. The agricultural component of the farm is not sufficient to financially sustain it given its size and the lack of available irrigation water. The farm has an area of approximately 12 ha, of which approximately 4,5 ha are irrigated grazing where Ankole cattle are kept for breeding and as an eco-tourism attraction, 4,5 ha are cultivated with vineyards and the remainder consists of the two approved farm dwellings, the winery with its wine tasting facility and farm infrastructure.

Access to the farm is directly off the R44, between the Bredell Road and the old Stellenbosch Road intersections, on the eastern side of the R44.

1.2 Context

The development of tourist facilities and accommodation establishments in the Stellenbosch municipal area is promoted in the Integrated Development Plan (IDP) 2020. Yonder Hill Farm is under-developed in terms of tourism facilities and potential. The farm is located in proximity of the Stellenbosch municipal boundary and Helderberg area urban edge.

The winery and tourist facilities have been upgraded over time to accommodate roughly 50 people for wine tasting indoors (Figure 2). On the outside of the facilities, the area has been landscaped and improved to be able to accommodate 50 – 80 guests for picnics and less formal wine tasting and visits (Figure 3). This area overlooks the vineyards and has views of the Helderberg Mountain.



Figure 2: Yonder Hill Wine Farming indoor wine tasting area



Figure 3: Yonder Hill tourism facilities and outdoor area for picnics and wine tasting

1.3 Proposal

The proposal is to further diversify the use of the property by:

- 1) Using the existing wine-maker's cottage for guest accommodation (Annexure D) with minor renovations; and
- 2) Allowing for the use of the gardens and lawns for picnics and informal wine tasting (Annexure C).

2. LAND DEVELOPMENT APPLICATION AND AUTHORISATION

2.1 Proposed use

The location, quality and scope of the tourist facilities and an appropriate number of beds in the guest accommodation are important to ensure long term sustainability and viability of the farm. The wine-maker's cottage of approximately 180m² contains three bedrooms and two bathrooms, with a single kitchen, to be used as a self-catering guest house together with the guest accommodation in the main dwelling that has four en-suite interleading bedrooms and a single kitchen and dining area. Minor renovations are envisaged for the proposed use, in keeping with the attached plans, which still need to be approved. In total, seven guest bedrooms are proposed in two existing approved dwellings, of which one requires minor renovations.

A new parking area is proposed for the farm, containing 54 parking bays. In addition thereto, there are 4 parking bays in the cottage garage, together with the existing 30 bays for the winery and wine tasting facility and 4 bays in the driveway of the main

dwelling. In total there will be one parking bay per bedroom in the guest accommodation, plus one parking bay for the owner / manager (eight parking bays for the guest accommodation) and 84 parking bays for the winery, wine tasting and tourist facilities.

The outdoor picnic and tasting area covers approximately 800m², of which 36m² is a wooden deck and the rest is grassed and landscaped. The outdoor area can accommodate roughly 50 – 80 visitors in an informal distribution. The existing ablution facilities are adequate for serving the extended tasting area.



Figure 4: Yonder Hill additional use areas and context

2.2 Title deed restrictions

The title deed (T23971/1987) of the farm is attached together with the conveyancer's certificate in Annexure E. There are no restrictive title conditions that prevent the proposed land use.

2.3 Zoning scheme requirements

The wine tasting facility is open from Monday to Friday from 09:00 to 16:00 and Saturdays from 09:00 - 14:00 during the summer months, while it is closed during winter months, on Sundays and public holidays. Five people are currently employed in the wine tasting facility, which includes wine sales, and it is expected that two additional people will be seasonally employed in the extended outdoor area.

The proposed guest accommodation in the existing three bedroomed cottage of approximately 180 m², will create three additional employment opportunities.

In addition to the above, the land development parameters, uses and provisions of the Stellenbosch Municipality Zoning Scheme Bylaw, 2019 have been considered. The application does not require any departures and due to it making use of existing buildings and facilities, it does not require a consent use.

3. MOTIVATION

3.1 Stellenbosch Municipality IDP

The Integrated Development Plan 2020 (IDP), including the municipal spatial development framework (SDF) make specific provision for the establishment of tourist facilities on farms and the diversification of agricultural activities to enhance the economic sustainability of the farms. It confirms that tourism, linked to the natural environment and agriculture, is one of the largest creators of employment and that it makes substantial contribution to the economic sustainability of the agricultural sector. This application is in line with the provisions of both said documents and an attempt to increase the feasibility and sustainability of the farm, which as stated above, has already been in liquidation due to it being of limited potential, primarily due to the severe shortage of summer irrigation water and weak soil conditions in the lower lying sections. Diversification and better use of the existing buildings will contribute to the sustainability of the farm by generating additional income.

IDP Strategy 5 makes specific provision for the use of farms as tourism attractions: *"Manage and develop tourism as one of the key economic sectors - Facilitate the development of tourism attractions, as contained in the Local Economic Development Strategy, in all sectors and at all levels of the local economy"*. It further states that the Municipality must *"Support compatible and sustainable rural activities outside the urban edge (including tourism) if these activities are of a nature and form appropriate in a rural context, generate positive socio-economic returns, and do not compromise the environment, agricultural sustainability, or the ability of the municipality to deliver on its mandate"*.

The SDF specifically states that the protection and expansion of tourism assets and the protection of agricultural land, enablement of its use and expansion of

agricultural output are core to the sustainability of Stellenbosch. Without diversification Yonder Hill Wine Farming is not sustainable, like most wine farms in the Stellenbosch region (Municipal Economic Review Outlook (MERO), 2019). The MERO is a good indicator of the economic need for diversified use of the agricultural and natural resources and the nature of the tourism that occurs. It indicates that visitors partake in wine tasting (24,0%), culture/heritage (19,0%), culinary (17,0%), and outdoor activities (13,0%), which symbolise the core product offering of the Cape Winelands District (CWD) and also that proposed for Yonder Hill.

The SDF continues to indicate that the Municipality supports compatible and sustainable rural activities outside the urban edge (including tourism) if these activities are *"of a nature and form appropriate in a rural context, generate positive socio-economic returns, and do not compromise the environment, agricultural sustainability, or the ability of the municipality to deliver on its mandate"*. The Yonder Hill proposals comply in every respect with these criteria, as the additional uses will have positive socio-economic effect. As stated before, it will also expand the product offering of the farm and increase the sources of revenue. The farm is not sustainable as a single product (vineyard and wine producing) entity, due to the challenges in the viticulture environment and its small size.

The CWD is known as a primary destination for tourists who visit Cape Town, with world renowned, wine estates. It is the fifth most visited attraction in the country by international visitors (MERO, 2019). The tourism sector plays an integral part in the CWD economy and has great potential for growth due to the availability of natural and historical resources. According to the MERO, the *"Winelands is a wonderful example of agri-tourism (wine tourism), creating an integrated share economy through the promotion of routes and experiential activities"*.

The economy of the municipal area is mainly driven by the wholesale and retail trade, catering and accommodation, and the finance, insurance, real estate and business services sectors. These sectors are the largest contributors to both GDP and employment in the area. Notably, some sectors absorb more labourers relative to their GDP contribution. This is illustrated by the agriculture, forestry and fishing and community, social and personal services sectors. Other sectors, such as transport, storage and communication, and manufacturing, contribute more to GDP relative to employment. Economic challenges were encountered mainly in the manufacturing and agriculture, forestry and fishing sectors. Although these sectors contribute significantly to employment creation, they shed more jobs in recent years than the number of employment opportunities created. An expanded offering, such as at Yonder Hill could thus create alternative opportunities, given the nature thereof.

3.2 Provincial Spatial Development Framework

The Provincial Spatial Development Framework (PSDF) and the supporting and complementary regional spatial development framework as contemplated in Section 18 of the Spatial Planning and Land Use Management Act, 2013 determine principles and the planning and development norms and criteria for tourism related uses in the area. Nothing proposed in this application contradicts any of the said principles or guidelines.

The Western Cape Rural Development Guidelines indicate that: "*The Western Cape economy is founded on the Province's unique asset base. These include farming resources, that make the Western Cape the country's leading exporter of agricultural commodities and whose value chains (e.g. agri-processing) underpin the Province's industrial sector; and its natural capital (i.e. biological diversity) and varied scenic and cultural resources which are the attraction that makes the Western Cape the country's premier tourism destination. The Western Cape seeks to ensure: 1) sustainable development of its rural areas; 2) conservation of their biological diversity; 3) functionality of ecosystems; 4) protection of agricultural productive land; and 5) safeguarding of rural heritage and culture.*"

Chapters 10 and 11 of the Rural Development Guidelines determine the following sustainability principles and management guidelines for tourism and tourist accommodation in rural and agricultural areas:

- *To offer a range of appropriate nature, cultural and agri-based rural tourism facilities, and recreational opportunities across the rural landscape (e.g. animal sanctuary, paintball, shooting ranges, and conference facilities).*
- *Rural tourism and recreation facilities and activities should not compromise farm production, and must be placed to reinforce the farmstead precinct.*
- *To provide a range of opportunities, including different typologies, for tourists and visitors to experience the Western Cape's unique rural landscapes; e.g. additional dwelling units on farms, B&Bs, guesthouses, backpacker lodges, lodges, resorts, hotels, and camping sites.*
- *To offer more people access to unique tourism and recreational resources in sought-after natural areas, where it would not otherwise have been possible.*
- *To contribute towards the sustainability and well-being of the relevant areas where tourist accommodation is considered.*
- *To align the scale and form of overnight facilities with the character and qualities of the Western Cape's diverse rural areas.*
- *To diversify farm income.*

An assessment of the proposals show that they meet all of the aforementioned principles and criteria.

- ✓ To offer a range of appropriate facilities. When considering the main attractions of the CWD (wine tasting, culture/heritage, culinary, and outdoor activities), it is obvious that Yonder Hill will contain three of the four product ranges, of which two will be new. The increased size and scope of the wine tasting area and the outdoor eco-tourism attraction (Ankole cattle) and activities create new opportunities for tourism related activities at the edge of the urban area.
- ✓ No compromise to agricultural activities. The location of the proposed uses and activities were chosen in relation to the current farming activities and cultivated areas. The guest accommodation is located in existing buildings, one of which has to be renovated, while the wine tasting picnic area is on existing lawns abutting the winery, previously only used for landscaping.

- ✓ Provide a range of opportunities. Employment should be included in the elements that make up the opportunities, in addition to the range of tourism opportunities listed in the policy. By adding new attractions in proximity of the urban area, the owners create more and a wider range of opportunities for tourists and for job seekers within a short commuting distance on a major transport route (R44).
- ✓ Offer access to more people. The locality of and connectivity to the Yonder Hill farm and the proposed tourist facilities and accommodation in relation to the northern edge of the Helderberg will ensure its accessibility. It is within walking distance of residential neighbourhoods, where potential visitors and job seekers reside, and within a short commute from Stellenbosch town and existing hotels and tourist infrastructure, where the tourists and day visitors are likely to originate.
- ✓ Improve the economic viability and sustainability of farms. As reflected above, the farm in its current state is not viable or sustainable. The addition of more attractions and activities would probably lead to increased sales of the main product (wine), but also generate revenue through the well-located guest accommodation that could serve a business and a tourist market and surrounding residents looking for a safe environment to relax and be active in natural surroundings.
- ✓ Align scale and form of facilities with character of area. The surrounding area has a diverse character, with urban development creeping up to the farm from the south and west and with similar scaled agri-tourism related facilities on adjacent farms. The new building sizes and forms are of agricultural scale and do not require any departures (floor area of less than 600m²) and it is only the outdoor wine tasting area that causes tourist facilities to exceed the 250m² threshold of the ZSB.
- ✓ Diversify farm income. Currently the farm relies solely on a single product offer, namely viticulture. It is not sustainable. The consent uses proposed on the farm will increase the range of income sources and more importantly, allow for the income seasonality to change. While tourism accommodation is mostly (summer) seasonal, the increased capacity allows for business visitors that are not seasonal and the expanded tourism facilities will allow for small events that could attract more visitors and non-seasonal visitors.

There is therefore a good match between the relevant policies and the proposed development of Yonder Hill by the expansion of the tourist facilities and guest accommodation, and related diversification of the product offering.

3.3 SPLUMA and LUPA principles

The matters referred to in Section 42 of the Spatial Planning and Land Use Management Act, 2013 and the principles referred to in Chapter VI of the Western Cape Land Use Planning Act, 2014, with specific reference to spatial justice, spatial sustainability, efficiency and good administration have all been considered.

The LUPA considerations and development principles of SPLUMA require:

- ✓ The protection and promotion of the sustainable use of agricultural land, which is the purpose of the proposal. In its current state, the farm is not sustainable, and it is essential to better use the resource to diversify its income sources. It requires adherence to national and provincial government policies, as illustrated above, inclusive of the municipal spatial development framework.
- ✓ Consideration of the public interest, which is done through the compliance with the aforementioned policies and guidelines, together with the creation of employment opportunities in proximity of the urban area.
- ✓ Promotion of constitutional transformation imperatives and the related duties of the state. No comment.
- ✓ Proper consideration of the facts and circumstances relevant to the application, as have been set out above, indicating grounds for a positive land development consideration and decision. The relevant facts are that the farm in its current state is not viable and it is essential for its retention as an agricultural unit to allow for the best use of the resources and locality and to permit the development of tourist facilities and related attractions, without diminishing the agricultural capacity thereof.
- ✓ The respective rights and obligations of all those potentially affected, primarily the existing residents and surrounding property owners, public and private service providers and the wider community have been considered and there are no identified significant issues. The only identified issue is the access conditions as imposed by the Western Cape Department of Transport.
- ✓ The impact of the proposed development on engineering services infrastructure, social infrastructure, and open space requirements. The impact is minimal and there are no negative effects on the social infrastructure or open space requirements. The proposed development makes use of own resources.
- ✓ Spatial justice must be considered, and past spatial and other development imbalances must be redressed through improved access to and use of land. At the scale of the proposed development and the nature thereof, it does not offer any significant opportunity for redress. The proposed development does not have any negative effect on the spatial development framework and policies for such redress, while the employment opportunities would be significantly better than that for a single product farm.
- ✓ Spatial sustainability has been considered and the proposed land development is within the fiscal, institutional, and administrative means of the state, given that the development will contribute to the municipal and local economic revenue base, without requiring public expenditure to occur. It could even enhance past expenditure, through increasing thresholds of users of municipal services infrastructure and public transport networks. As stated before, prime, and unique agricultural land is not affected. The proposed development could contribute to the improved maintenance of the services and facilities in the area, through increase used and revenues for the service providers. Current and future costs for the provision of infrastructure and social services have been considered and it is more efficient and sustainable to use this site for a higher intensity and diversified use as proposed. It is unlikely to cause the lowering of the service levels in municipal or other public infrastructure.

- ✓ Efficiency (optimising the use of existing resources and infrastructure) has been addressed and the use of the site will contribute to increased efficiencies, also due to its location in proximity of the town. The location of the site would allow for pedestrian and public transport access to the employment opportunities and for short commuting by tourists and visitors.
- ✓ Spatial resilience has been addressed, as the SDF and other policies allow for flexibility to ensure sustainable development, amongst others by determining policy to assess the applications for land development in the rural area.
- ✓ Good administration is a function of the authorities, not affected by the proposed development.

3.4 National Development Plan

The National Development Plan, 2030 (NDP) is extensively quoted in the Stellenbosch SDF 2019. *It serves as the strategic framework guiding and structuring the country's development imperatives and is supported by the New Growth Path (NGP) and other national strategies. In principle, the NDP is underpinned by, and seeks to advance, a paradigm of development that sees the role of government as enabling by creating the conditions, opportunities and capabilities conducive to sustainable and inclusive economic growth. The NDP sets out the pillars through which to cultivate and expand a robust, entrepreneurial and innovative economy that will address South Africa's primary challenge of significantly rolling back poverty and inequality by 2030.* The recently released Tourism Transformation Strategy (2018) goes to detail about the matter. *The tourism sector is one of the few sectors in South Africa that continues to grow economically and globally despite the recent economic challenges. The tourism sector is one of the six core pillars of growth in the country according to the New Growth Path and the Industrial Policy Action Plan (IPAP2) identified the sector as one of the areas that contributes to the development of areas of potential such as rural areas and cultural industries amongst others.*

3.5 Zoning scheme

The proposed development of the consent uses must be considered in terms of Section 207 and 213 of the Stellenbosch Municipality Zoning Scheme Bylaw, 2019, read with the relevant considerations as set out in the Stellenbosch Municipality Land Use Planning Bylaw, 2015. Said ZSB determines that "*When approving new consent uses the Municipality shall have regard for the objectives of the zone namely the preservation of agricultural land and the continued use of farm land for agriculture. The scale of the individual buildings used for consent uses shall remain in keeping with the character of buildings on the land unit, the character of the area and non-agricultural land uses may not dominate the farm activities or buildings form.*

These consent uses may only be undertaken from a land unit where the primary use of the land unit is bona fide agriculture/and or natural environment and where the proposed activity is subservient to these two primary land use activities on the land unit".

Given that all the applied consent uses are either directly related to the primary use of the property (viticulture) and intended to supplement the agricultural activities of

the Yonder Hill Farm, and being established in existing buildings, there is no threat of the uses diminishing the agricultural capacity and resource of the farm.

3.6 Environmental Management

The proposed development of the consent uses does not trigger an authorisation application in terms of the National Environmental Management Act, 1998, Act 107 of 1998.

3.7 Heritage

The proposed tourist facilities and guest house will not require authorisation in terms of Section 34 or 38 of the National Heritage Resources Act, 1999, Act 25 of 1999, as the buildings are older than 60 years or larger than 5 000m².

3.8 Architecture

Attached hereto as Annexure D, are proposals for the establishment of the above consent uses applicable to the farm. Separate building plans will be submitted to the Municipality for upgrading of the Winemaker's Cottage as a guest house.

The existing buildings are all approved and Annexure E shows the plans of the existing buildings and the site development plans over the years 1991 - 2001.

3.9 Engineering

3.9.1 A traffic statement (TIS) is not required, as the maximum additional traffic that could be generated regularly in relation to the proposed expansions, are less than 20 trips per day.

3.9.2 Electricity is supplied by Eskom, through an existing service, which does not require any upgrading.

3.9.3 The farm is self-sufficient with water and sewerage. The additional demand generated by the consent uses do not justify any connection to municipal services, which are currently located too far from the boundary, in the City of Cape Town area of jurisdiction, to justify the cost of connection.

Two boreholes provide potable and irrigation water to the farm. The calculated daily water demand will not increase, as the use of the Winemaker's Cottage changes from a permanently used dwelling to a periodically used dwelling and not many more guests will use the wine tasting facilities at the same time.

Sewerage is extracted by way of a private contract, by a service provider, from the existing conservancy tanks. Sewerage flows will probably not increase.

3.9.4 Solid waste is removed by the Municipality, which service will continue with insignificant increase in volume, given that visitors tend to create less waste than permanent residents.

3.10 Chapter V evaluation

In Section 65 of the SMLUPB, the following criteria for deciding applications are prescribed. While all of the matters referred to in Section 65 have been addressed in broad above, this section summarises and highlights the relevant matters which the Municipality must consider.

Criterion in Section 65	Applicability	Compliance of application
<i>(a) the application submitted in terms of this By-law;</i>	Application must comply with the processes of the LUPB.	Application covers all the relevant aspects, i.e. consent, departures and permissions and is supported by the required documents and reports.
<i>(b) the procedure followed in processing the application;</i>	Application must be consistent with the LUPB.	Process still has to be concluded. Preparation and submission followed prescribed process.
<i>(c) the desirability of the proposed utilisation of land and any guidelines issued by the Provincial Minister regarding the desirability of proposed land uses;</i>	Desirability test according to Section 207 and 213 of the Zoning Scheme Bylaw, read with the provincial Rural Development Guidelines.	See paragraph 3.2 and 3.5 above. <ul style="list-style-type: none"> • Uses are not likely to cause nuisances and therefore desirable. • Guidelines indicate better use of agricultural resources necessary to diversify economy. • Guidelines require least impact on agricultural capacity, amongst others by use of existing buildings. • Guidelines promote the addition of new and a wider range of attractions and opportunities.
<i>(d) the comments in response to the notice of the application, including comments received from organs of state, municipal departments and the Provincial Minister in terms of section 45 of the Land Use Planning Act;</i>	Notices still to be circulated.	Compliance can only be monitored after conclusion of the public participation process.
<i>(e) the response by the applicant, if any, to the comments referred to in paragraph (d);</i>	Notices still to be circulated.	Compliance can only be monitored after conclusion of the public participation process.
<i>(f) investigations carried out in terms of other laws that are relevant to the consideration of the application;</i>	NEMA Act 107/1998 NHRA Act 25/1999	See paragraphs 3.6 and 3.7 above. <ul style="list-style-type: none"> • No authorisations required.

Criterion in Section 65	Applicability	Compliance of application
<i>(h) the impact of the proposed land development on municipal engineering services;</i>	No assessments and reports done, due to the low scale and limited extent of the proposed uses.	See paragraph 3.9 above. <ul style="list-style-type: none"> • Insignificant additional traffic. • Eskom electricity supply network has capacity. • Own water supply from boreholes is sufficient in quality and quantity. • Sewerage managed on-site in existing conservancy tanks for disposal into municipal system. • Solid waste removed by Municipality
<i>(i) the integrated development plan, including the municipal spatial development framework;</i>	Aligned to: IDP 2020 Tourism Development Strategy; and SDF Agricultural Sector Policy	See paragraph 3.1 above. <ul style="list-style-type: none"> • Tourism important economic contributor. • New guest accommodation outside of existing nodes promoted, i.e. on farms and natural areas. • Agricultural sector to be strengthened through appropriate diversification.
<i>(j) the integrated development plan and spatial development framework of the district municipality, where applicable;</i>	Compliant with Rural Area Plan.	See paragraph 3.2 above. <ul style="list-style-type: none"> • The appropriate diversification of use on farms is desirable.
<i>(k) the applicable local spatial development frameworks adopted by the Municipality;</i>	None identified.	None.
<i>(l) the applicable structure plans;</i>	Not applicable.	Not applicable.
<i>(m) the applicable policies of the Municipality that guide decision-making;</i>	None identified.	None.
<i>(n) the provincial spatial development framework;</i>	Compliant with Rural Area Plan.	See paragraph 3.2 above. The appropriate diversification of use on farms is desirable.
<i>(o) where applicable, a regional spatial development framework contemplated in section 18 of the Spatial Planning and Land Use Management Act or provincial regional spatial development framework;</i>	Compliant with Rural Area Plan.	See paragraph 3.2 above. The appropriate diversification of use on farms is desirable.
<i>(p) the policies, principles and the planning and development norms and criteria set by the national and provincial government;</i>	Compliant with principles and criteria.	See paragraph 3.2 above. <ul style="list-style-type: none"> • Assessed against spatial justice, spatial sustainability, efficiency and good administration.

Criterion in Section 65	Applicability	Compliance of application
<i>(q) the matters referred to in section 42 of the Spatial Planning and Land Use Management Act;</i>	Compliant with principles and criteria.	See paragraph 3.2 above. <ul style="list-style-type: none"> Assessed against spatial justice, spatial sustainability, efficiency and good administration.
<i>(r) the principles referred to in Chapter VI of the Land Use Planning Act; and</i>	Compliant with principles and criteria.	See paragraph 3.2 above. <ul style="list-style-type: none"> Assessed against spatial justice, spatial sustainability, efficiency and good administration.
<i>(s) the applicable provisions of the zoning scheme.</i>	SM Zoning Scheme Bylaw, 2019 considered	See paragraph 3.5 above <ul style="list-style-type: none"> Consent evaluated against Section 207 and 213. Definition of tourist facilities in Bylaw includes occasional use under tourist facilities.

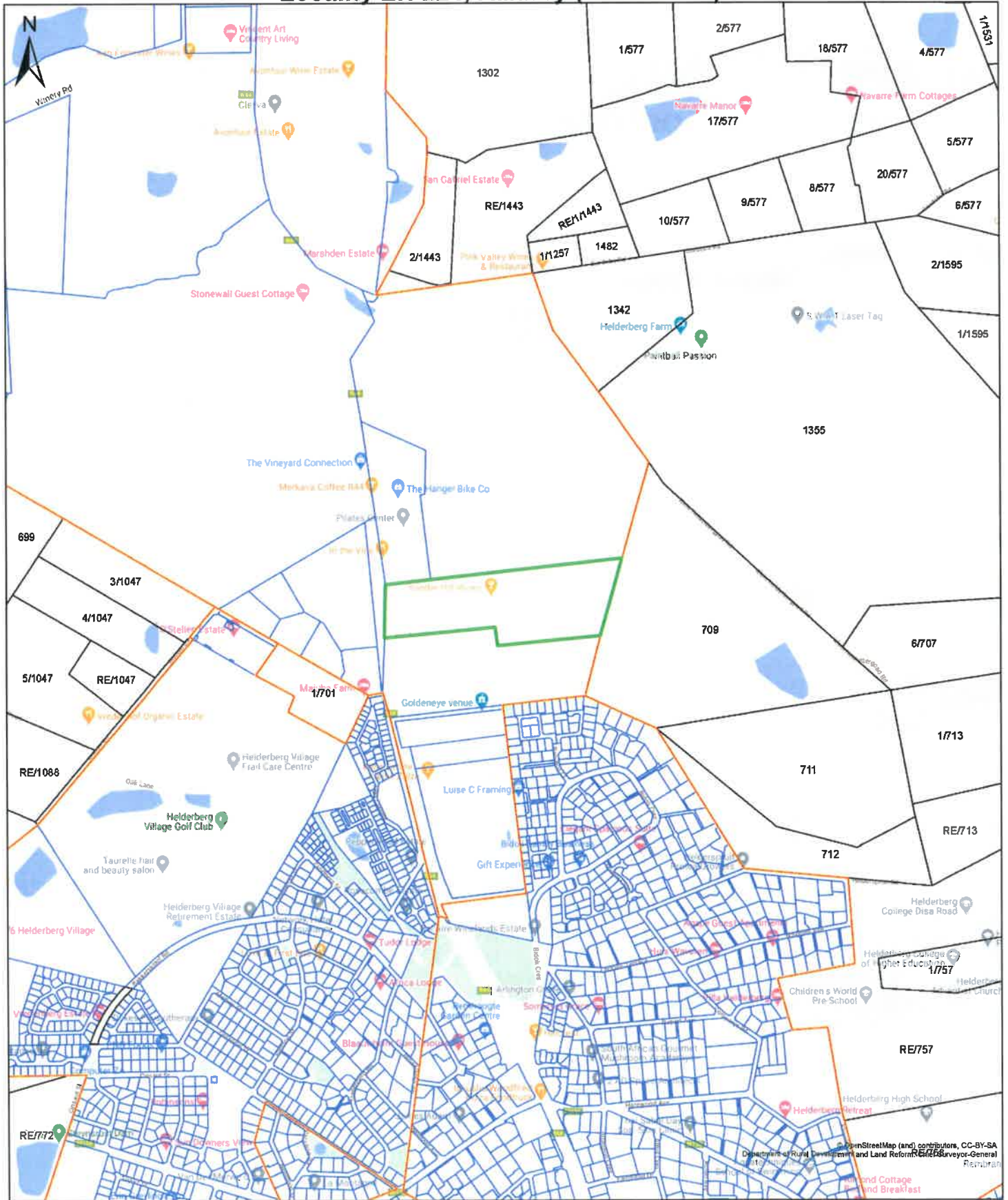
4. CONCLUSION

The application for approval of the proposed consent uses in terms of Section 15(2)(o) of the Bylaw, namely:

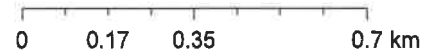
- 1) approximately 800 m² of outdoor wine tasting and picnic area where only food and wine pairing will be done, and platters will be available; and
 - 2) the use of the existing cottage with minor renovations, for which building plans need to be approved, as a three-bedroom guesthouse,
 - 3) together with the creation of a new parking area containing 54 parking bays,
- is in line with municipal policy and does not require any other investigations, assessments or reports and the application could be approved.

ANNEXURE A: LOCALITY

Locality Erf 224, Raithby (Yonder Hill)



- Allotment
- Township
- Farm Portions
- Erf



Scale: 1:12 500

Date created: October 27, 2020

Compiled with CapeFarmMapper



Situation Erf 224, Raithby (Yonder Hill)

- Legend**
- Farm Portions
 - Erf
 - Contours 5m



Scale: 1:5 000

Date created: October 27, 2020

Compiled with CapeFarmMapper

Western Cape
Government
Agriculture



ANNEXURE B: APPLICATION AUTHORISATION AND FORM

RESOLUTION BY THE DIRECTORS OF
Yonder Hill Properties (Pty) Ltd Reg. No. 1964/003560/07

IT WAS RESOLVED THAT:

1. The Directors of Yonder Hill Properties (Pty) Ltd Reg. No. 1964/003560/07 hereby authorise Frederik Stephanus Naudé, ID. No. 5208235092 081, as representative of the company to sign all documents, appointments and agreements, as may be required for the day to day management of the land development and related applications for Erf 224, Raithby (Yonder Hill farm).

2. This includes the appointment of and Power of Attorney to Dupré Lombaard of Viridus Works (Pty) Ltd (Reg. No. 2018/585747/07) as development management consultant to sign and submit all applications for approval and authorisation required for the achievement of the envisaged land development outcomes, namely: *For the amendment of the conditions of approval of the existing consent uses and departures, to apply for additional consent uses and departures to allow for the best utilization of the existing facilities on the farm for tourism purposes, inclusive of authorisations and applications in terms of any applicable legislation, including but not limited to the Stellenbosch Municipality Land Use Planning Bylaw, 2015, the Advertising on Roads and Ribbon Development Act, 1940, Act 21 of 1940, the National Environmental Management Act, 1998, Act 107 of 1998 and the National Heritage Resources Act, 1999, Act 25 of 1999.*

Signed in Stellenbosch on 28 SEPTEMBER 2020.

F.S. Naudé

F.S. Naudé ID. No. 520823 5092 081
Director

D.M. Naudé

D.M. Naudé ID.No. 550921 0183 088
Director

Director ID.No. _____

LETTER OF AUTHORISATION/ POWER OF ATTORNEY

(Requirement in terms of the Stellenbosch Municipality Land Use Planning Bylaw, 2015 and other relevant legislation)

I, **Frederik Stephanus Naude**, ID. No. **520823 5092 081**, the undersigned representative of the landowner of Erf 224, Raithby (Yonder Hill farm), being: Yonder Hill Properties Pty Ltd Reg. No. 1964/003560/07 confirm that permission and special power of attorney has been granted to Viridus Works (Pty) Ltd (Reg. No. 2018/585747/07) and Dupré Lombaard, to act on the behalf of the land owner(s) to perform any act which he / she / it may be legally entitled to undertake to accomplish the following objectives and goals in terms of the above Bylaw and any other applicable legislation:

To prepare and submit applications for the authorisation of the following activities/ land use / development in terms of the relevant Acts and Bylaws: For the amendment of the conditions of approval of the existing consent uses and departures, to apply for additional consent uses and departures to allow for the best utilization of the existing facilities on the farm for tourism purposes, inclusive of authorisations and applications in terms of any applicable legislation, including but not limited to the Stellenbosch Municipality Land Use Planning Bylaw, 2015, the Advertising on Roads and Ribbon Development Act, 1940, Act 21 of 1940, the National Environmental Management Act, 1998, Act 107 of 1998 and the National Heritage Resources Act, 1999, Act 25 of 1999.

Contact details (physical address / phone / fax):

Physical address: 6 Dorp Street, Stellenbosch, 7600
Postal address: PO Box 914, Stellenbosch, 7599
Telephone: 021- 882 8525
Facsimile:
Cellular: 082 455 3298
Email: frikkien@intertechnic.co.za



Signed: /

Date 28 SEPTEMBER 2020.

By my/ our signature(s) I/ we confirm that I/ we have been fully authorised to act on behalf the above landowner (annex the applicable resolution or other proof of authorisation to act on behalf of a juristic person hereto).



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

LAND USE PLANNING APPLICATION FORM

(Additional use, Stellenbosch Municipal Zoning Scheme By-Law (2019) and other relevant legislation)

KINDLY NOTE: Please complete this form using BLOCK letters and ticking the appropriate boxes.

PART A: APPLICANT DETAILS

First name(s)	Dupré		
Surname	Lombaard		
Company name (if applicable)	Virdus Works (Pty) Ltd		
Postal Address	77 Buitekring, Dalsig, Stellenbosch		Postal Code
			7600
Email	dupre.lombaard@virdus.com		
Tel		Fax	Cell
			082 895 6362

PART B: REGISTERED OWNER(S) DETAILS (If different from applicant)

Registered owner(s)	Yonder Hill Wine Farming (Pty) Ltd, Reg. No. 64/03560/07		
Physical address	Yonder Hill Farm, R44, Raithby		Postal code
E-mail	frikkien@intertechnic.co.za		
Tel	+27 21 882 8525	Fax	Cell
			+27 82 455 3298

PART C: PROPERTY DETAILS (in accordance with title deed)

Erf / Erven / Farm No.	224	Portion(s) if Farm		Allotment area	Raithby
Physical Address	On City of Cape Town boundary, on eastern side of R44				
Current Zoning	Agriculture and Rural Zone	Extent	12,6232 ha	Are there existing buildings?	Yes

Applicable Zoning Scheme	Stellenbosch Municipality Integrated Zoning Scheme Bylaw, 2019											
Current Land Use	Agriculture - tourist facilities, guest house and winery											
Title Deed number and date	T		T23971/1987									
Attached Conveyance's Certificate	<input checked="" type="radio"/>	<input type="radio"/>	Any Restrictions to the Attached Conveyance's Certificate? If yes, please list condition(s) as per certificate									
Are the restrictive conditions in favour of a third party(ies)?	<input type="radio"/>	<input checked="" type="radio"/>	If Yes, list the party(ies):									
Is the property encumbered by a bond?	<input type="radio"/>	<input checked="" type="radio"/>	If Yes, list the bondholder(s):									
Is the property owned by Council?	<input type="radio"/>	<input checked="" type="radio"/>	If Yes, kindly <u>attach a power of attorney</u> from the Manager Property Management									
Is the building located within the historical core?	<input type="radio"/>	<input checked="" type="radio"/>	Is the building older than 60 years?	<input type="radio"/>	<input checked="" type="radio"/>	Is the application triggered by the National Heritage Resources Act, 1999 (Act 25 of 1999) ¹	<input type="radio"/>	<input checked="" type="radio"/>	If Yes, kindly indicate which section are triggered and attached the relevant permit if applicable.			
Any existing unauthorized buildings and/or land use on the subject property(ies)?	<input type="radio"/>	<input checked="" type="radio"/>	If yes, is this application to legalize the building / land use??				<input type="radio"/>	<input checked="" type="radio"/>				
Are there any pending court case(s) / order(s) relating to the subject property(ies)?			<input type="radio"/>	Are there any land claim(s) registered on the subject property(ies)?							<input type="radio"/>	<input checked="" type="radio"/>
PART D: PRE-APPLICATION CONSULTATION												
Has there been any pre-application consultation?	<input type="radio"/>	<input checked="" type="radio"/>	If Yes, please attach the minutes of the pre-application consultation.									
PART E: LAND USE PLANNING APPLICATIONS AND APPLICATION FEES PAYABLE												
APPLICATIONS IN TERMS OF SECTION 15 OF THE STELLENBOSCH MUNICIPAL LAND USE PLANNING BY-LAW (2015)												
Tick	Type of application: Cost are obtainable from the Council Approved tariffs³											
	15(2)(a) Rezoning of Land											
	15(2)(b) a permanent departure from the development parameters of the zoning scheme											
	15(2)(c) a departure granted on a temporary basis to utilise land for a purpose not permitted in terms of the primary rights of the zoning applicable to the land;											
	15(2)(d) a subdivision of land that is not exempted in terms of section 24, including the registration of a servitude or lease agreement;											
	15(2)(e) a consolidation of land that is not exempted in terms of section 24;											

¹ All applications triggered by section 38(1)(a)-(e) in terms of the National Heritage Resources Act, 1999 (Act 25 of 1999) may not be processed without a permit issued by the relevant department

² No application may be submitted to legalize unauthorised building work and or land use on the property if a notice have been served in terms of Section 87(2)(a), and until such time a Section 91 Compliance Certificate have been issued in terms of the Stellenbosch Land Use Planning By-law (2015)

³ <http://www.stellenbosch.gov.za/documents/idp-budget/2017-2/4873-appendix-3-tariff-book-2017-2018/file>

	15(2)(f) a removal, suspension or amendment of restrictive conditions in respect of a land unit;
	15(2)(g) a permission required in terms of the zoning scheme;
	15(2)(h) an amendment, deletion or imposition of conditions in respect of an existing approval;
	15(2)(i) an extension of the validity period of an approval
	15(2)(j) an approval of an overlay zone as contemplated in the zoning scheme;
	15(2)(k) an amendment or cancellation of an approved subdivision plan or part thereof, including a general plan or diagram ;
	15(2)(l) a permission required in terms of a condition of approval;
	15(2)(m) a determination of a zoning;
	15(2)(n) a closure of a public place or part thereof;
X	15(2)(o) a consent use contemplated in the zoning scheme;
	15(2)(p) an occasional use of land;
	15(2)(q) to disestablish a home owner's association
	15(2)(r) to rectify a failure by a home owner's association to meet its obligations in respect of the control over or maintenance of services;
	15(2)(s) a permission required for the reconstruction of an existing building that constitutes a non-conforming use that is destroyed or damaged to the extent that it is necessary to demolish a substantial part of the building.
	15(2)(6) When the Municipality on its own initiative intends to conduct land development or an activity
	15(2)(l) Amendment of Site Development Plan
	15(2)(l) Compilation / Establishment of a Home Owners Association Constitution / Design Guidelines

OTHER APPLICATIONS

	Deviation from Council Policies/By-laws;	R
	Other (specify) : _____	R
TOTAL A:		R

PRESCRIBED NOTICE AND FEES (for completion and use by official)**

Tick	Notification of application in media	Type of application	Cost
	SERVING OF NOTICES	Delivering by hand; registered post; data messages	R
	PUBLICATION OF NOTICES	Local Newspaper(s); <i>Provincial Gazette</i> ; site notice; Municipality's website	R
	ADDITIONAL PUBLICATION OF NOTICES	Site notice, public meeting, local radio station, Municipality's website, letters of consent or objection	R
	NOTICE OF DECISION	<i>Provincial Gazette</i>	R
	INTEGRATED PROCEDURES	T.B.C	R
TOTAL B:			R
TOTAL APPLICATION FEES* (TOTAL A + B)			R

* Application fees that are paid to the Municipality are non-refundable and proof of payment of the application fees must accompany an application.

** The applicant is liable for the cost of publishing and serving notice of an application. Additional fees may become applicable and the applicant will be informed accordingly.

BANKING DETAILS

Name: Stellenbosch Municipality
 Bank: NEDBANK
 Branch no.: 198765
 Account no.: 1152271679
 SWIFT: NEDSZAJJ

Payment reference:
 (Erf/Farm number)

DETAILS FOR INVOICE	
Name & Surname/Company name (details of party responsible for payment)	DUPRÉ LOMBAARD
Postal Address	77 BUITEKRING, DALSIG, STELLENBOSCH, 7600, SOUTH AFRICA
Vat Number (where applicable)	

PART F: DETAILS OF PROPOSAL							
Building line encroachment	Street		From	m	To	m	
	Street		From	m	To	m	
	Side		From	m	To	m	
	Side		From	m	To	m	
	Aggregate side		From	m	To	m	
	Rear		From	m	To	m	
Exceeding permissible site coverage		From	%	To	%		
Exceeding maximum permitted bulk / floor factor / no of habitable rooms		From		To			
Exceeding height restriction		From	m	To	m		
Exceeding maximum storey height		From	m	To	m		
Consent/Conditional Use/Special Development							
To permit Tourist facilities, occasional use and market in terms of Section.....of the.....Zoning Scheme Regulations							
Other (please specify)	<hr/> <hr/> <hr/>						

Brief description of proposed development / intent of application:
Application is made for the use of existing buildings (approved cottage) on the property for a guest house and the use of the shaded lawns outside the winery and wine tasting facility as tourist facility for open air wine tasting and picnics. No new structures or buildings are envisaged for this application. Only existing buildings and grassed areas will be used.

PART G: ATTACHMENTS AND SUPPORTING INFORMATION AND DOCUMENTATION FOR LAND USE PLANNING APPLICATION

Complete the following checklist and attach all the information and documentation relevant to the proposal. Failure to submit all information and documentation required will result in the application being deemed incomplete.

Information and documentation required

<input type="checkbox"/>	N		Power of attorney / Owner's consent if applicant is not owner	<input type="checkbox"/>	N		Bondholder's consent (if applicable)
<input type="checkbox"/>	N		Resolution or other proof that applicant is authorised to act on behalf of a juristic person	<input type="checkbox"/>	N		Proof of any other relevant right held in the land concerned
<input type="checkbox"/>	N		Written motivation pertaining to the need and desirability of the proposal	<input type="checkbox"/>	N		S.G. diagram / General plan extract (A4 or A3 only)
<input type="checkbox"/>	N		Locality plan (A4 or A3 only) to scale	<input type="checkbox"/>	N		Site development plan or conceptual layout plan (A4 or A3 only) to scale
<input type="checkbox"/>	N		Proposed subdivision plan (A4 or A3 only) to scale	<input type="checkbox"/>	N		Proof of agreement or permission for required servitude
<input type="checkbox"/>	N		Proof of payment of application fees	<input type="checkbox"/>	N		Proof of registered ownership (Full copy of the title deed)
<input type="checkbox"/>	N		Conveyancer's certificate	<input type="checkbox"/>	N		Minutes of pre-application consultation meeting (if applicable)
<input type="checkbox"/>	N	N/A	Consolidation plan (A4 or A3 only) to scale	<input type="checkbox"/>	N	N/A	Land use plan / Zoning plan (A4 or A3 only) to scale
<input type="checkbox"/>	N	N/A	Street name and numbering plan (A4 or A3 only) to scale	<input type="checkbox"/>	N	N/A	1 : 50 / 1:100 Flood line determination (plan / report) (A4 or A3 only) to scale
<input type="checkbox"/>	N	N/A	Landscaping / Tree plan (A4 or A3 only) to scale	<input type="checkbox"/>	N	N/A	Home Owners' Association consent
<input type="checkbox"/>	N	N/A	Abutting owner's consent	<input type="checkbox"/>	N	N/A	Services Report or indication of all municipal services / registered servitudes
<input type="checkbox"/>	N	N/A	Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD)	<input type="checkbox"/>	N	N/A	Proof of failure of Home owner's association
<input type="checkbox"/>	N	N/A	Copy of original approval and conditions of approval	<input type="checkbox"/>	N	N/A	Any additional documents or information required as listed in the pre-application consultation form / minutes
<input type="checkbox"/>	N	N/A	Proof of lawful use right	<input type="checkbox"/>	N	N/A	Other (specify)
<input type="checkbox"/>	N	N/A	Required number of documentation copies	<input type="checkbox"/>	N	N/A	

PART H: AUTHORISATION(S) SUBJECT TO OR BEING CONSIDERED IN TERMS OF OTHER LEGISLATION

Y	N	If required, has application for EIA / HIA / TIA / TIS / MHIA approval been made? If yes, attach documents / plans / proof of submission etc.	Specific Environmental Management Act(s) (SEMA) (e.g. Environmental Conservation Act, 1989 (Act 73 of 1989))		
			Y	N/A	National Environmental Management: Air Quality Act, 2004 (Act 39 of 2004)
			Y	N/A	National Environmental Management: Waste Act, 2008 (Act 59 of 2008)
			Y	N/A	National Water Act, 1998 (Act 36 of 1998)
			Y	N/A	Other (specify)
Y	N/A	Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)			
Y	N/A	Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013)(SPLUMA)			
Y	N/A	Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations			
Y	N/A	Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA)			
Y	N	Do you want to follow an integrated application procedure in terms of section 44(1) of the Stellenbosch Municipality Land Use Planning By-Law? If yes, please attach motivation.			

SECTION I: DECLARATION

I hereby wish to confirm the following :

1. That the information contained in this application form and accompanying documentation is complete and correct.
2. I'm aware that it is an offense in terms of section 86(1)(e) to supply particulars, information or answers knowing the particulars, information or answers to be false, incorrect or misleading or not believing them to be correct.
3. I am properly authorized to make this application on behalf of the owner and that a copy of the relevant power of attorney or consent is attached hereto.
4. Where an agent is appointed to submit this application on the owner's behalf, it is accepted that correspondence from and notifications by the Municipality in terms of the by-law will be sent only to the agent and that the owner will regularly consult with the agent in this regard.
5. I confirm that the relevant title deed(s) have been read and that there are no restrictive title deed restrictions, which impact on this application, or alternatively an application for removal/suspension or amendment forms part of this submission.
6. I confirm that I have made known all information relating to possible Land / Restitution Claims against the application property.
7. It is the owner's responsibility to ensure that approval is not sought for a building or land use which will be in conflict with any applicable law.
8. The Municipality assesses an application on the information submitted and declarations made by the owner or on his behalf on the basis that it accepts the information so submitted and declarations so made to be correct, true and accurate.
9. Approval granted by the Municipality on information or declarations that are incorrect, false or misleading may be liable to be declared invalid and set aside which may render any building or development pursuant thereto illegal.
10. The Municipality will not be liable to the owner for any economic loss suffered in consequence of approval granted on incorrect, false or misleading information or declarations being set aside.
11. Information and declarations include any information submitted or declarations made on behalf of the owner by a Competent Person/professional person including such information submitted or

declarations made as to his or her qualification as a Competent person and/or registration as a professional.

12. A person who provides any information or certificate required in terms of Regulation A19 of the National Building Regulations and Building Standards Act No 103 of 1977 which he or she knows to be incomplete or false shall be guilty of an offence and shall be prosecuted accordingly.
13. A person who supplies particulars, information or answers in a land use application in terms of the Stellenbosch Municipality Land Use Planning By-law knowing it to be incorrect, false or misleading or not believing them to be correct shall be guilty of an offence and shall be prosecuted accordingly.
14. The Municipality will refer a complaint to the professional council or similar body with whom a Competent Person/professional person is registered in the event that it has reason to believe that information submitted or declaration/s made by such Competent Person/professional person is incorrect, false or misleading.

Applicant's signature:  Date: 09 December 2020

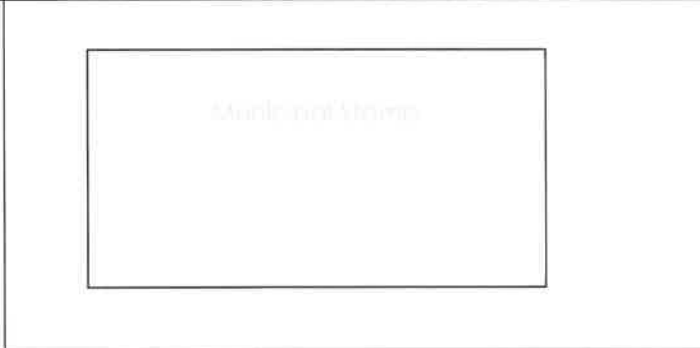
Full name: DUPRÉ LOMBAARD

Professional capacity: Applicant

FOR OFFICE USE ONLY

Date received: _____

Received By: _____



ANNEXURE C: PHOTOGRAPHS OF SUBJECT PROPERTY



Picnic area and tourist facilities with winery and wine tasting area on the left.



Wine tasting area and wine sales



Outdoor wine tasting area looking towards guest accommodation



Wooden deck for outdoor wine tasting in more formal setup



Wine sales area looking towards wine tasting room

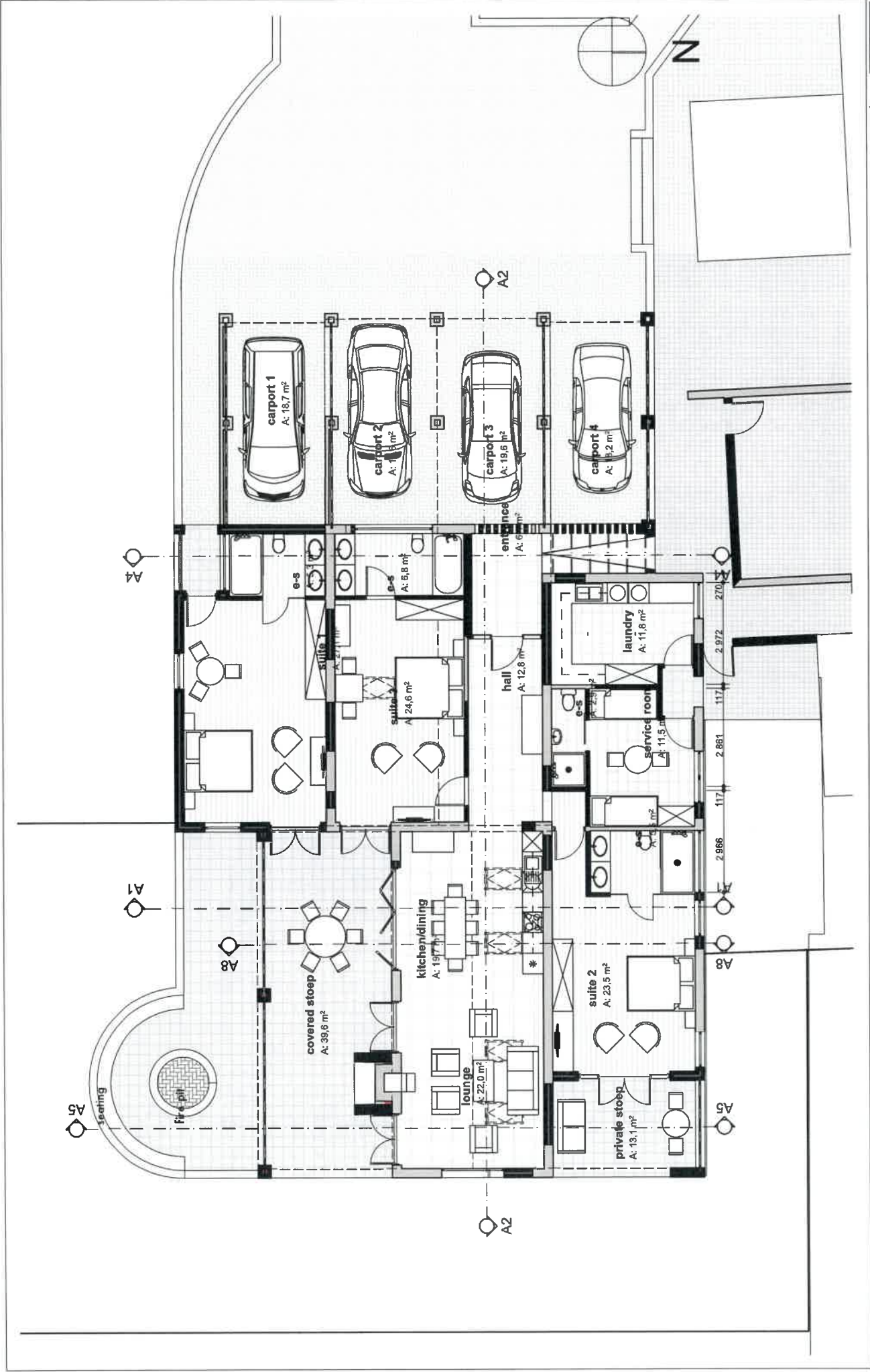
ANNEXURE D: SITE DEVELOPMENT FRAMEWORK AND PLANS



Site Plan
SCALE 1:500

Thursday, 26 November 2020
 /Volumes/GoogleDrive/My Drive/ Projekte/1178 Yonder Hill/1178 In-House/ArchCad/Masterfiles/1190 Yonder Hill copy.pln

Proposed alterations to existing building, Yonder Hill, Stellenbosch



Ground Storey
SCALE 1:100

Thursday, 26 November 2020
/Volumes/GoogleDrive/My Drive/ Projekte/ 1178 Yonder Hill/1178 In-House/ArchCad/Masterfiles/1190 Yonder Hill copy.pln

Proposed alterations to existing building, Yonder Hill, Stellenbosch

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t +27 82 572 2842
f +27 82 243 9949
bontjens@bva.co.za



3D

Thursday, 26 November 2020
/Volumes/GoogleDrive/My Drive/ Projekte/1178 Yonder Hill/1178 In-House/ArchiCad/Masterfiles/1190 Yonder Hill copy.ph

Proposed alterations to existing building, Yonder Hill, Stellenbosch

bva
barte@bvaeng.com
+27 02 243 9949
+27 02 572 2842
barte@open.ordad



View from driveway

Thursday, 26 November 2020
/Volumes/GoogleDrive/My Drive/ Projects/1178 Yonder Hill/1178 In-House/ArchCad/Masterfile/1190 Yonder Hill copy.ph

Proposed alterations to existing building, Yonder Hill, Stellenbosch

Field upon which
+27 82 572 2842
+27 82 243 9599
bert@bva.co.za
bva

GENERAL NOTES

- * DIMENSIONS SHOWN IN THIS DRAWING ARE TO FACE UNLESS OTHERWISE SPECIFIED.
- * DIMENSIONS SHOULD BE VERIFIED ON SITE AND NOT ASSUMED TO BE CORRECT.
- * THE EXISTING FLOOR FINISH IN THIS DRAWING IS THE FINISH AS SHOWN ON THE ARCHITECT'S AND THE CONTRACTOR'S RECORD DRAWINGS.

REV	DATE	DESCRIPTION
00		INITIAL DESIGN

STANDER ORCHARD architects

8 Arch, B Build
 P.O. Box 148290
 St. Leonards, NSW 2239
 ph & fax: (02) 887-8582
 email: info@standerorchard.com.au

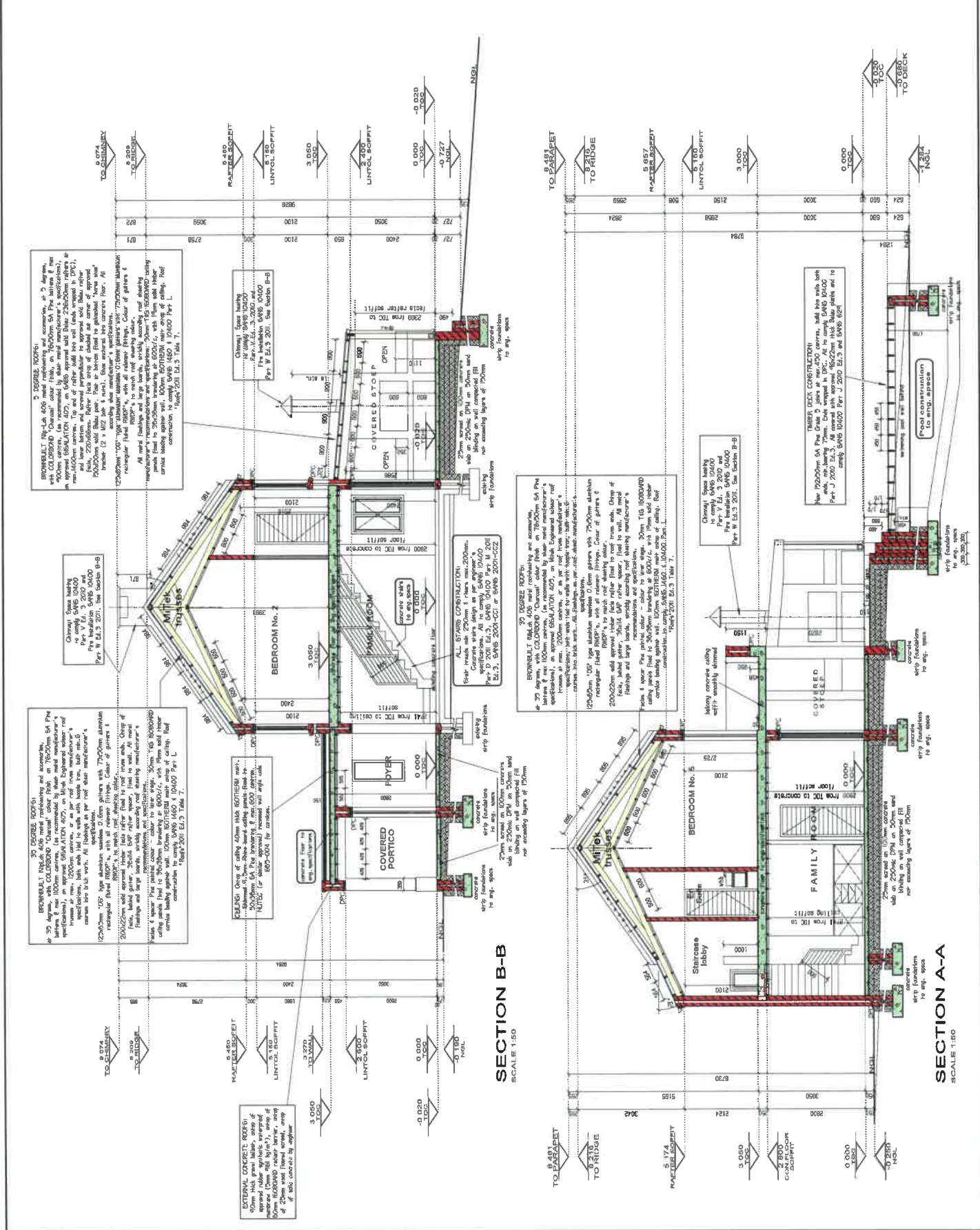
in association with



PROPOSED ALTERATIONS & ADDITIONS TO EXISTING HOUSE FOR YONERHILL WINE FARMING (PROPRIETARY) LTD (THE WADE FAMILY), DN ERF No.224, PALMIST, DIVISION OF BELLEBOSCH MUNICIPAL DRAMINGS

SECTIONS A-A & B-B

DATE: 2017/04/25
 DRAWN: J. M. J. J.
 CHECKED: J. M. J. J.
 PROJECT NO: 17/04/25
 CLIENT: YONERHILL WINE FARMING (PROPRIETARY) LTD



35 DEGREE ROOF
 BROWNELL 150° type aluminium window 0.6m gables with 750mm aluminium frame, with all relevant fittings. Color of gables to be approved by the manufacturer. All fittings to be approved by the manufacturer. All fittings to be approved by the manufacturer. All fittings to be approved by the manufacturer.

35 DEGREE ROOF
 BROWNELL 150° type aluminium window 0.6m gables with 750mm aluminium frame, with all relevant fittings. Color of gables to be approved by the manufacturer. All fittings to be approved by the manufacturer. All fittings to be approved by the manufacturer. All fittings to be approved by the manufacturer.

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SECTION B-B
 SCALE 1:50

SECTION A-A
 SCALE 1:50

REVISIONS	NO.	DATE	DESCRIPTION
	01		ISSUED FOR PERMIT

GENERAL NOTES:

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL BUILDING STANDARDS.
- 2. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.
- 3. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.
- 4. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.

STANDER ORCHARD architects

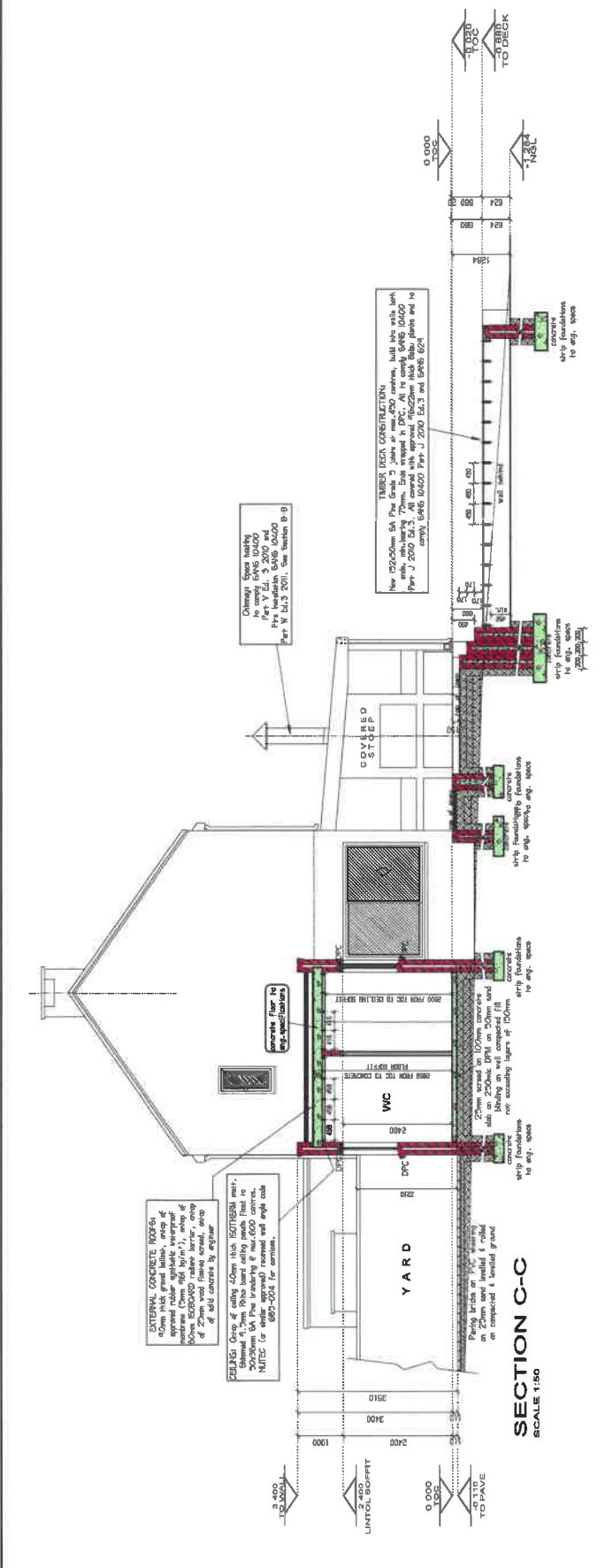
B.Arch. B.Build
P.O. Box 1483
17 Victoria Road
Ph & Fax: (021) 887-9692
stander@standerorchard.co.za

db architects

db architects is a
division of
standerorchard.co.za

17 Victoria Road
Ph & Fax: (021) 887-9692
stander@standerorchard.co.za

PROJECT:	PROPOSED ALTERATIONS & ADDITIONS TO EXISTING HOUSE FOR YOUNGERLILLY (THE NAUDE FAMILY), ON ERF No. 224, RAITHY, DIVISION OF STELLENBOSCH
CLIENT:	MUNICIPAL DRAWINGS SECTION C-C
DESIGNER:	STANDER ORCHARD ARCHITECTS
DRAWN BY:	ALL
CHECKED BY:	ALL
DATE:	2020-01-24
PROJECT NO.:	2020-01-24
CLIENT NO.:	2020-01-24
PROJECT NO.:	2020-01-24
PROJECT NO.:	2020-01-24



GENERAL SPECIFICATIONS & NOTES:

5.1.1. EXTERNAL CONCRETE WORK:

- 1. All external concrete work shall be in accordance with the requirements of SANS 10400-1:2011.
- 2. The design of this project complies with the requirements of SANS 10400-1:2011.
- 3. The design of this project complies with the requirements of SANS 10400-1:2011.

5.1.2. EXTERNAL CONCRETE WORK:

- 1. All external concrete work shall be in accordance with the requirements of SANS 10400-1:2011.
- 2. The design of this project complies with the requirements of SANS 10400-1:2011.
- 3. The design of this project complies with the requirements of SANS 10400-1:2011.

5.1.3. EXTERNAL CONCRETE WORK:

- 1. All external concrete work shall be in accordance with the requirements of SANS 10400-1:2011.
- 2. The design of this project complies with the requirements of SANS 10400-1:2011.
- 3. The design of this project complies with the requirements of SANS 10400-1:2011.

5.1.4. EXTERNAL CONCRETE WORK:

- 1. All external concrete work shall be in accordance with the requirements of SANS 10400-1:2011.
- 2. The design of this project complies with the requirements of SANS 10400-1:2011.
- 3. The design of this project complies with the requirements of SANS 10400-1:2011.

5.1.5. EXTERNAL CONCRETE WORK:

- 1. All external concrete work shall be in accordance with the requirements of SANS 10400-1:2011.
- 2. The design of this project complies with the requirements of SANS 10400-1:2011.
- 3. The design of this project complies with the requirements of SANS 10400-1:2011.

5.1.6. EXTERNAL CONCRETE WORK:

- 1. All external concrete work shall be in accordance with the requirements of SANS 10400-1:2011.
- 2. The design of this project complies with the requirements of SANS 10400-1:2011.
- 3. The design of this project complies with the requirements of SANS 10400-1:2011.

GENERAL NOTES

- DRAWINGS ARE TO BE SEEN, ONLY REAR
- DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE
- DIMENSIONS SHOULD BE VERIFIED ON SITE AND ANY DISCREPANCIES SHOULD BE REPORTED TO THE ARCHITECT OR REPRESENTATIVE ON SITE BEFORE PROCEEDING
- WORK COMMENCED BY THE DRAWING IS THE PROPERTY OF THE ARCHITECTS AND THE COPYRIGHT IS RESERVED.

DRAINAGE & WATER SUPPLY - ALL TO COMPLY:

- SANS 2001 - DPA Earthworks for rural pipelines.
- SANS 2001 - DPA Earthworks for urban pipelines.
- SANS 2001 - DPA Sewers (larger than 150mm).
- SANS 2001 - DPA Stormwater drainage.
- SANS 2001 - DPA Water supply for buildings.

All drains shall be installed to comply SANS 10400 Part P 2010 Edition 3.

REVISIONS

REV	DATE	DESCRIPTION
01		PREPARED FOR DESIGN DRAWING

**STANDER
ORCHARD
architects**



B.Arch. B.Build
P.O. Box 1499
Stellenbosch 7129
Tel: +27 (0)21 887-8692
stander@standerorchard.co.za

in association with

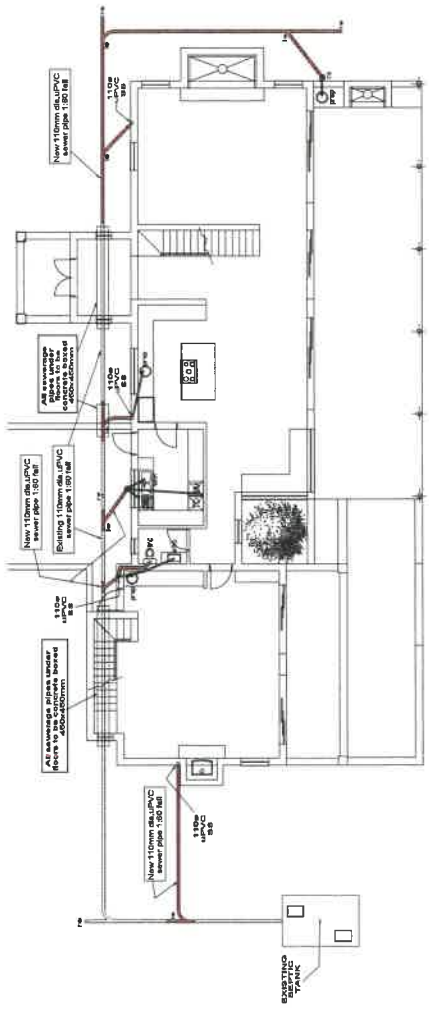


dirk debeer is weth
architectural director
www.db-architects.com
17 Vonderstand Street
Stellenbosch
7129
Tel: +27 (0)21 887-8692
info@db-architects.com

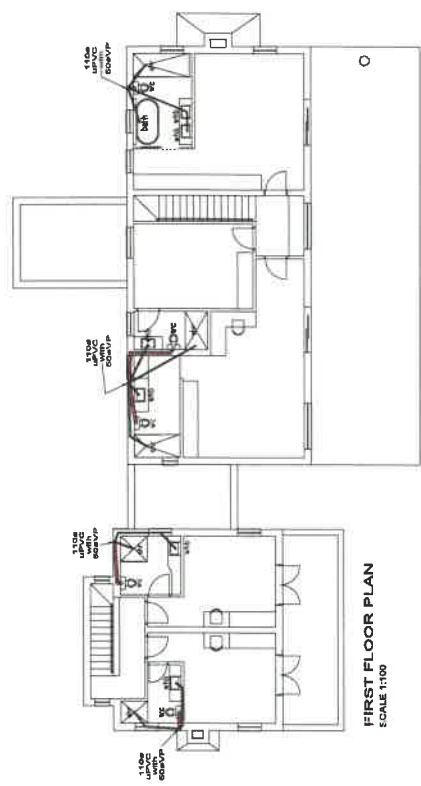
PROJECT: PROPOSED ALTERATIONS & ADDITIONS
TO EXISTING HOUSE FOR YONDERHILL
TINE FARMING (PROPRIETARY) LTD
(THE MAUDE FAMILY), ON Erf No.224,
RAITHBY, DIVISION OF STELLENBOSCH

DRAWING TITLE: MUNICIPAL DRAWINGS
SEWERAGE LAYOUTS

DESIGNER:	DIRK DEBEER
CHECKED:	AMALIO DREYER
DATE:	09-11-2017
PROJECT NO:	SCUP ST 2433
FOR CLIENT:	
SCALE NO:	
PROJECT/CLIENT/DATE/SCALE/REF:	
DRAWING NO:	2017-08
REVISION:	00



GROUND FLOOR PLAN
SCALE 1:100



FIRST FLOOR PLAN
SCALE 1:100

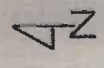
ANNEXURE E: HISTORIC BUILDING PLANS

STELLENBOSCH AFDELINGSRAAD

SKATTINGSREKORD

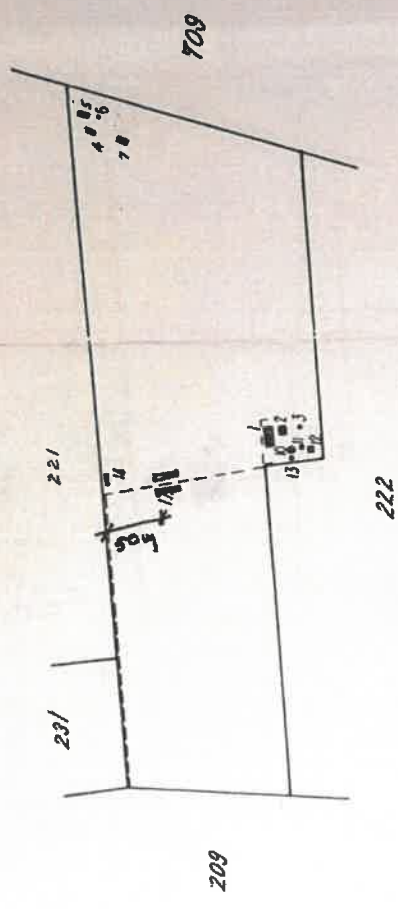
PLAAS No. ERF 224 RAITHBY

VERW. No. Wijk 5



VIL 1 VAN 6 VELLE
GROOTTE: 12,6232 Ha

Item	Geboue
1	WOONHUIS
2	GARAGE
3	BUITEKAMER
4	WOONHUIS
5	WOONHUIS
6	TOILET
7	WOONHUIS
8	
9	
10	DAM
11	KOELKAMER
12	STOOR
13	POMPHUIS
14	WOONHUIS
15	
16	
17	STOOR



14-11-75

WASSTAND	DATUM
Ervas	11.6.83
Malis	1973-06-22
EA	5/10/98

Wes-Kaapse Streeklidengeraad
 Western Cape Regional Services Council
 Plan No. 21103/93
 Goedgekeur onderbewys aan die
 voorwaardes afdienings-
 brief verwyng No. 21103/93
 gedateer 25/6/93
 Approved subject to the conditions
 stated in letter reference
 No. Dated
 INGENIEUR/ENGINEER
 DATUM/DATE 25/6/93

SKAAL 1:5 000 (A3)

1:10 000 (A4)

Admission

STELLENBOSCH AFDELINGSRAAD

SKATTINGSREKORD

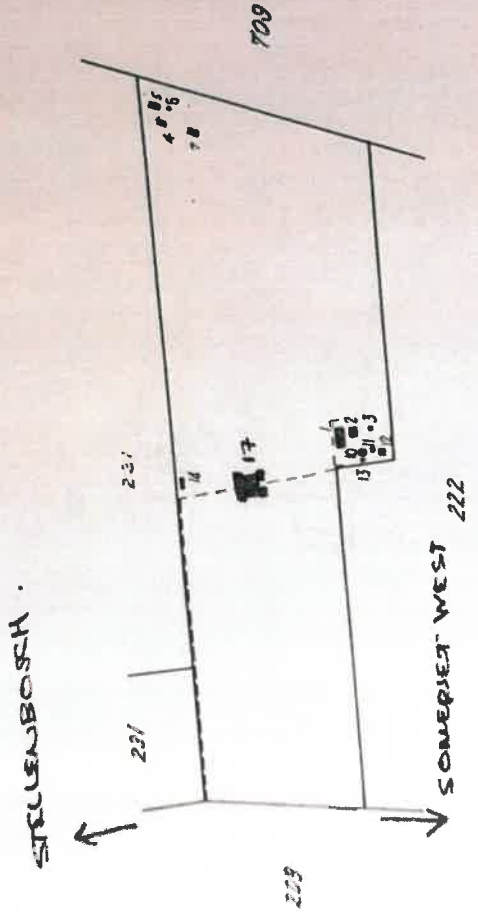
PLAAS No. ERF 224 RAITHBY

VERV. No. Wjk 5

VEL	1	VAN	6	VELLE
GROOTTE:	12,6232 Hg			



4N



14-11-75

OPPOORTKEUNTELE KONSTRUKSIES	14-11-75
INOSIEUR	
VALSNOEDID	
BEPLANNING	
BEGRONDE	
UITWISSEL	
ANDER	
HAARTEKENING	
DATUM	9/8/11
	A.P. 99
	11-5-99
	11/8/99

*66#062
muller
gamm*

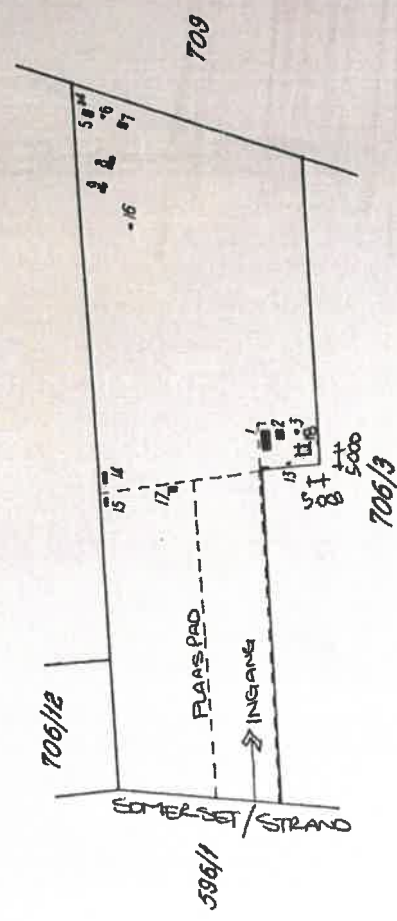
*YONDER HILL WINE FARMING (PTY) LTD.
SITE PLAN*

WESELS ALBERTYN
 ARCHITECTS INC
 REG. No. 96044/21
 HOOFSTR. 195 MAIN STR., PAARL. 7646
 TEL: (021) 871-1866
 FAX/TAX: (021) 872-0004

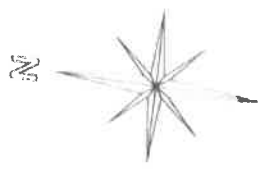
SKAAL 1:5000

1. HUIS
 2. GARAGE
 3. OUBOUWING
 4. HUIS
 5. HUIS
 6. TOILET
 7. HUIS
 8. OUBOUWING
 9. OUBOUWING
 10. DAM (to be demolished)
 11. COLD STORAGE (to be demolished)
 12. STORE (to be demolished)
 13. PUMP HOUSE
 14. HUIS
 15. GARAGE
 16. STORE
 17. KELDER
 18. PROPOSED STORE

1. HOUSE
2. GARAGE
3. OUTBUILDING
4. SHED
5. HOUSE
6. TOILET
7. HOUSE
8. SHED
9. OUTBUILDING
10. DAM (to be demolished)
11. COLD STORAGE (to be demolished)
12. STORE (to be demolished)
13. PUMP HOUSE
14. HOUSE
15. GARAGE
16. STORE
17. KELDER
18. PROPOSED STORE



DEPARTEMENTELE GOEDEREDERS	MANDTEKENING	DATUM
BOUW	[Signature]	20/11/07
BOUW	[Signature]	14-11-01
BOUW	[Signature]	14-11-01

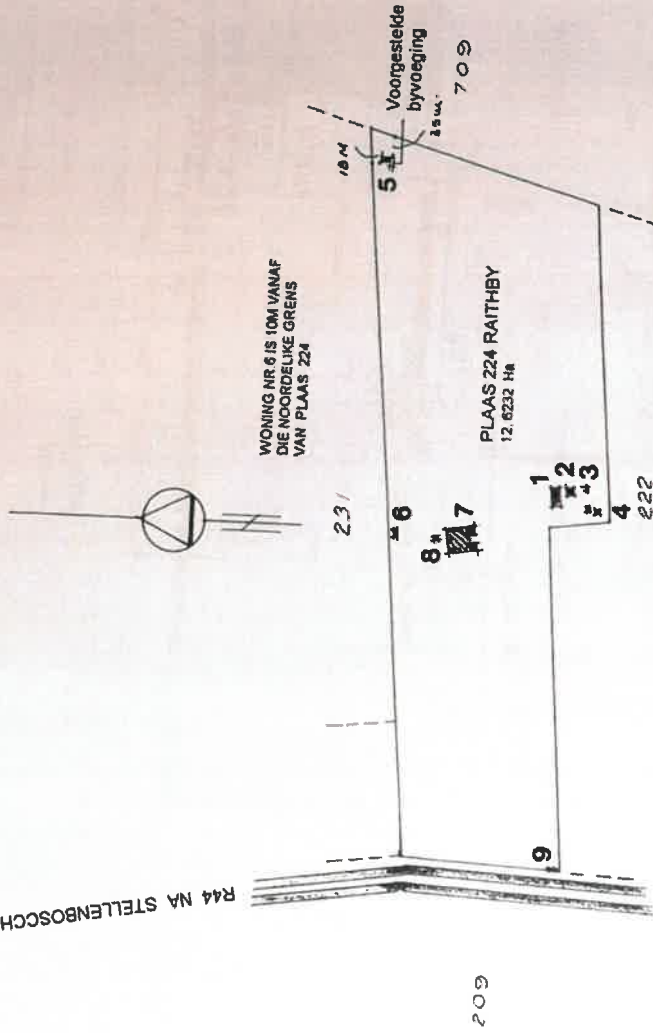


site plan
scale 1:5000

PROPOSED STORE = 9000 sqm

Farm
YONDER HILL
 SITE PLAN
 596-11-11
 SOMERSET ROAD
 R4007
 SHEET 1 SCALE 1:5000

NA SOMERSET-WES R44 NA STELLENBOSCH



209

OP VOORWAARDE DAT DREIFING, AAN DIE RAAD SE REGULASIES EN STANDAARDE VOLDOEN.

ITEM	GEBOU
1	HOOF WONING
2	MOTORHUIS
3	BUITEKAMER
4	STOOR
5	WONING
6	WONING
7	KELDER
8	KLEEDKAMER
9	INGANGSPILARE

Das diar voetsien word aan al die brand verskous gods virvat in SANS 0400-90 That all fire prevention requisiments as contained in SANS 0400-90 is complied with.

Munisipaliteit STELLENBOSCH Municipality
 PLAN No. 16/10/2009 BY No. 304 RB
 DATUM ONTVANG DATE RECEIVED
 DATUM OORSCHEID DATE APPROVED
 N. BOESBERG BEAMPT P. BUILDING CONTROL OFFICER

Hierdie goedkeuring versien nie vrystelling van enige ander wetlike voorskrif van enige ander beherende gesag of enige ander wet van toepassing op hierdie aansoek nie.
 This approval does not exempt the applicant from the legal provisions of any other controlling authority or any other law applicable to this application.

LIGGINGSPLAN VAN DIE PLAAS
 YONDER HILL NR. 224 RAITHBY
 SKAAL 1:5000 SEPTEMBER 2009

ITEM	BUILDINGS
1	MAIN HOUSE
2	WINE MAKER'S HSE ROOM
3	STORE ROOM
4	HOUSE
5	CELLAR
6	CHANGE ROOM
7	ENTRANCE GATE

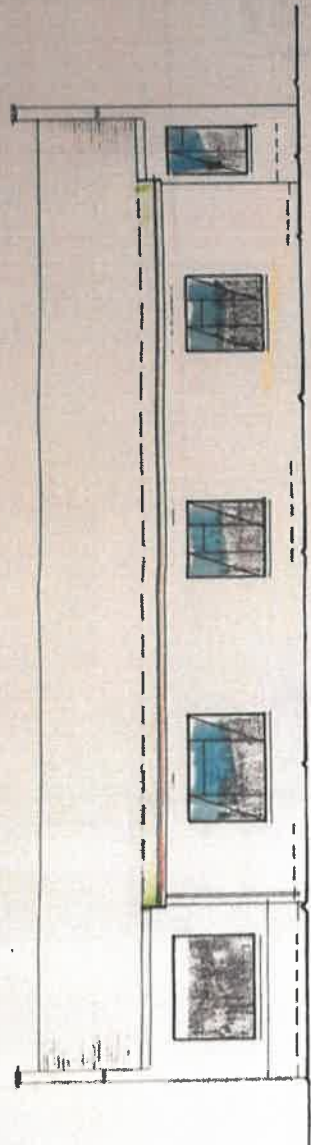
NOTE
 INTRODUCE EXTRA TIE BEAMS OF 30X100MM BETWEEN 30X150MM RAFTERS TO REDUCE SPAN OF BRANDING TO MAX 1200MM

IFR LONGSPAN ROOF SHEETS
 50X75MM PURLINS 30X114MM
 WALL-PLATE STANDARD FC
 FASCIA STANDARD PVC
 GUTTERS WALLS IN MAXI BRICKS

DETAIL 2 = 1:10

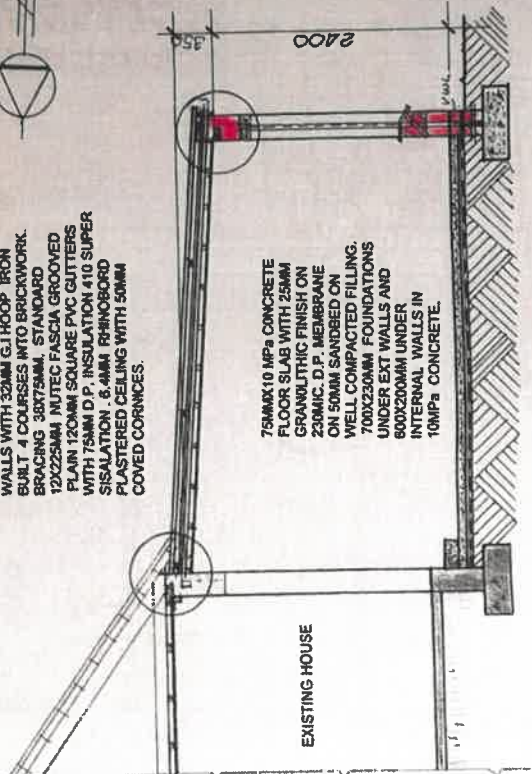
EXISTING FC ROOF TILES
 SHEET LEAD FLASHING
 BETWEEN OLD AND NEW ROOF
 RAINGOTE FINISH SHEET LEAD
 ON NEW ROOF G.I. STEEL
 BRACKET 75X75MM ANGLE
 30X150MM S.A. PINE RAFTER
 30X35MM BRANDING
 RHINOBOARD PLASTERED
 CEILING 12X25MM FC BARGE BOARDS

DETAIL 1 = 1:10



NORTH ELEVATION

ROOF AT 4 DEGREE PITCH OF LONGSPAN
 IFR SHEETS ON 50X75MM PURLINS AT
 1500MM CNTRS ON 30X150MM S.A. PINE
 RAFTERS AT 2300MM CNTRS. RAFTERS
 ON 30X114MM WALL-PLATES. RAFTERS
 AND PURLINS SECURED TO BRICK
 WALLS WITH 32MM G.I HOOP IRON
 BUILT 4 COURSES INTO BRICKWORK.
 BRACING 30X75MM. STANDARD
 12X25MM MUTEC FASCIA GROOVED
 PLAIN 120MM SQUARE PVC GUTTERS
 WITH 75MM D.P. INSULATION 410 SUPER
 SISALATION. 6.4MM RHINOBOARD
 PLASTERED CEILING WITH 50MM
 COVERED CORNICES.

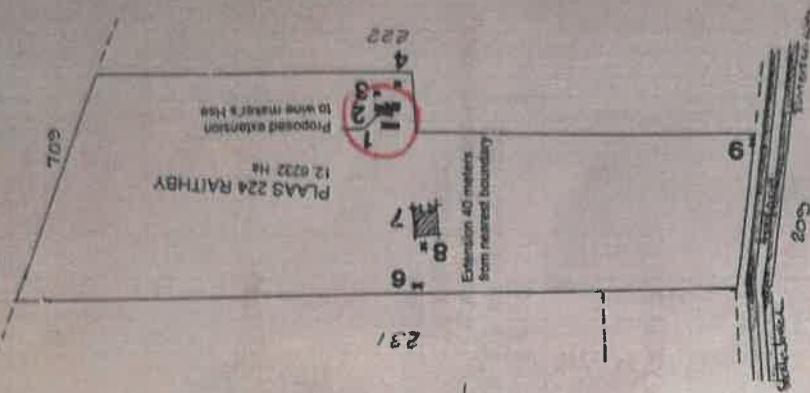


75MMX10 MPa CONCRETE
 FLOOR SLAB WITH 25MM
 GRANULATING FINISH ON
 20MM C.D.P. MEMBRANE
 ON 50MM SANDBED ON
 WELL COMPACTED FILLING.
 700X250MM FOUNDATIONS
 UNDER EXT WALLS AND
 600X200MM UNDER
 INTERNAL WALLS IN
 10MPa CONCRETE.

EXISTING HOUSE

EAST ELEVATION

SECTION A-A. 1:50



SITE PLAN OF FARM
 YONDER HILL NO.224
 RAITHYB

SCALE 1:800

JANUARY 2005

PROPOSED EXTENSION TO EXISTING
 WINE MAKER'S HOUSE ON THE FARM
 YONDER HILL NO. 224 RAITHYB FOR
 YONDER HILL FARMING (PTY) LTD.

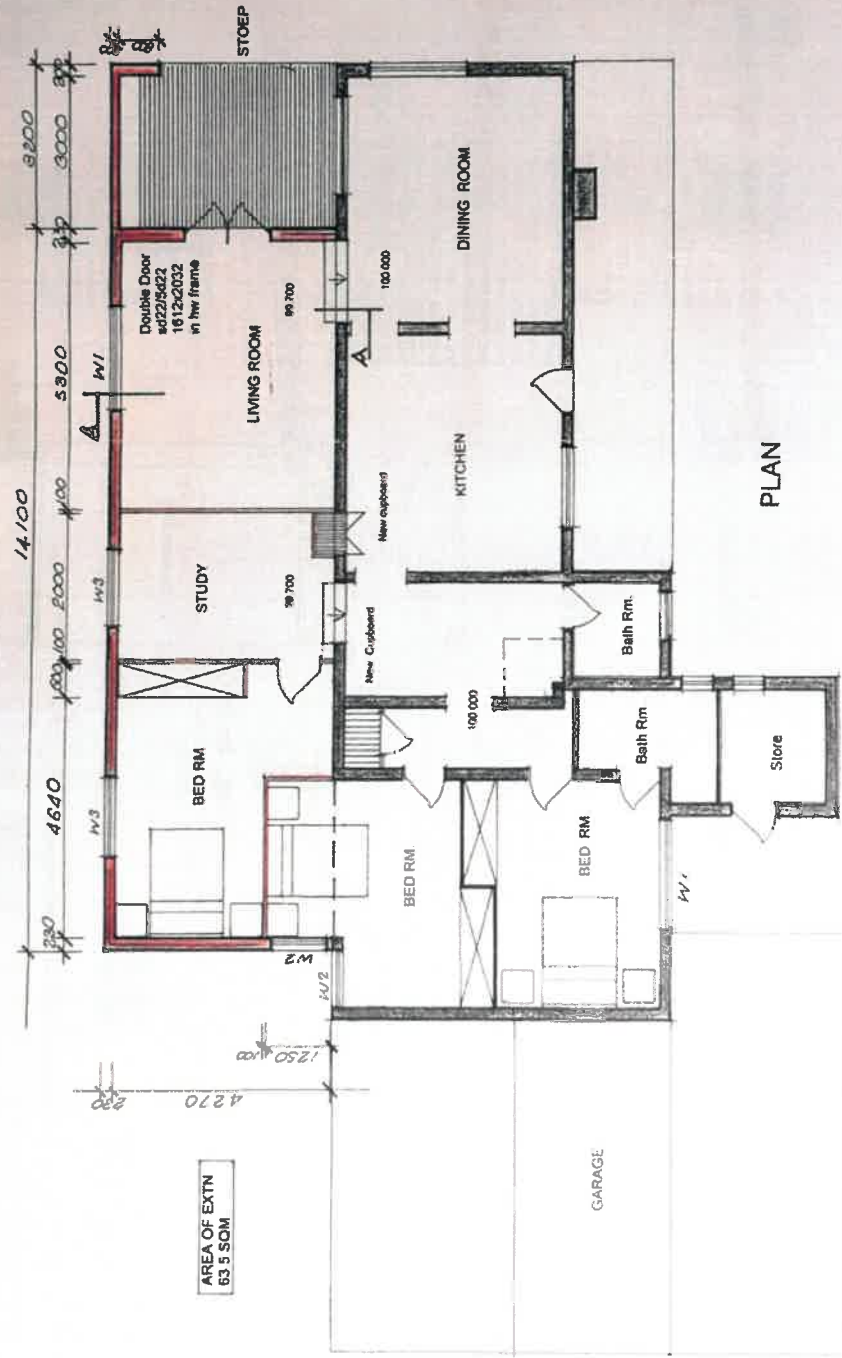
SCALE 1:100 DRWG NO. YH 010105 JANUARY 2005

Handwritten signature

WINDOW SCHEDULE

W1 =	SV55B-SWARTLAND CAPE CULTURE	2
W2 =	SV52	2
W3 =	SV 54B	2

MAIN HOUSE.



AREA OF EXTN
63.5 SOM

PLAN

EXISTING HOUSE
PROPOSED EXTN

BRIEF SPECIFICATION

EXCAVATOR
EXCAVATE AND FILL TO LEVELS INDICATED ON DRAWING. FILL AND NAIL AROUND FOUNDATIONS AND CONSOLIDATE WELL. ALL DIMENSIONS AND LEVELS ON SITE. BEFORE COMMENCING WORK.

CONCRETOR
LAY 100% CONCRETE FOOTINGS UNDER ALL FOUNDATION WALLS. WALLS SHALL BE CONCRETE ON A 100MM SAND BED. ALL FOOTINGS STEPPED AS REQUIRED WITH LAPS OF NOT LESS THAN 300MM AT EACH STEPPING. BRICKWORK IS TO BE BUILT WITH 100MM SAND BED. ALL WALLS HAVE ELAPSED FROM THE LAYING OF THE CONCRETE.
ALL SOLID FLOORS ARE TO BE Laid IN 100MM THICK CONCRETE ON WELL COMPACTED SAND. ALL WALLS TO BE Laid ON 100MM SAND BED ON FILLING. FRESH FLOOR WITH A 20MM GRANULITE SCREED.

BRICKLAYER
ALL WORK ON THIS SPECIFICATION SHALL BE BUILT IN LIMESTONE WITH 10% CEMENT ADDED OR 1% PORTLAND IN APPROVED BOND. EXTERIOR CAVITY WALLS IN 100MM BRICK BOND TOGETHER WITH 100MM 1:1 GUMBE. ALL WALLS TO BE BUILT WITH 100MM SAND BED. ALL WALLS SHALL BE BUILT FREE FROM PORTLAND CEMENT. ALLOW FOR PORTLAND CEMENT TO BE SET IN ALL WALLS AND DOOR THRESHOLS TO ALL WINDOWS. ALL WALLS TO BE BUILT WITH 100MM SAND BED. ALL WALLS SHALL BE BUILT FREE FROM PORTLAND CEMENT. ALLOW FOR PORTLAND CEMENT TO BE SET IN ALL WALLS AND DOOR THRESHOLS TO ALL WINDOWS.

ELECTRICAL
INSTALLATION INCLUDING LIGHT FITTINGS IS A.C. ITEM IN THE CONTRACT.

PAINTER
PAINTS TO BE THE BEST OBTAINABLE AND COLOURS AND SHADES APPROVED BY THE ARCHITECT. ALL WALLS TO BE PAINTED WITH EMULSION PAINT IN ACCORDANCE WITH THE INSTRUCTION OF THE SUPPLIERS.

ROOF
ROOF IN GALVANIZED IRON CORRUGATED SHEETS WITH 10% OVERLAP. ALL ROOFS TO BE 12 DEGREE PITCH AS INDICATED ON DRAWING.

PROPOSED EXTENSION TO EXISTING WINE MAKER'S HOUSE ON THE FARM YONDER HILL NO. 224 RAITHBY FOR YONDER HILL FARMING (PTY) LTD.

SCALE 1:100 DRWG NO YH 010105 JANUARY 2005

Handwritten signature

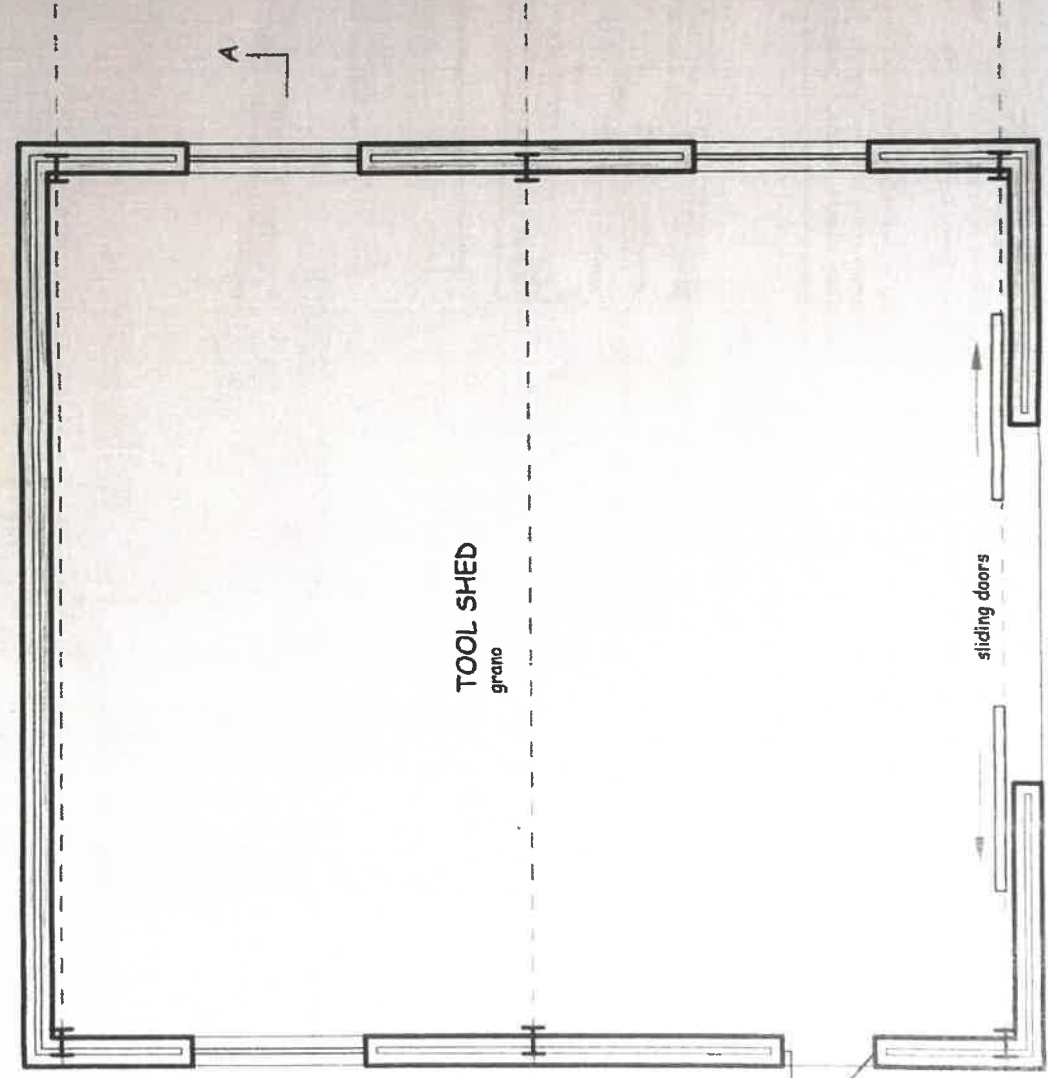
WITBOM HOI BOKTALE AF STAND VAN STRUK-
 TURE VANAF ERASELYNE
 WITBOM HOI TOETAL BEREKENING VAN STRUK-
 TURE VANAF ERASELYNE

STANDERD VAN WERKSTOF	BESLUIT
100 KV	BUILDING LINE
110 KV	57 M
120 KV	58 M
130 KV	59 M
140 KV	60 M
150 KV	61 M
160 KV	62 M
170 KV	63 M
180 KV	64 M
190 KV	65 M
200 KV	66 M
210 KV	67 M
220 KV	68 M
230 KV	69 M
240 KV	70 M
250 KV	71 M
260 KV	72 M
270 KV	73 M
280 KV	74 M
290 KV	75 M
300 KV	76 M
310 KV	77 M
320 KV	78 M
330 KV	79 M
340 KV	80 M
350 KV	81 M
360 KV	82 M
370 KV	83 M
380 KV	84 M
390 KV	85 M
400 KV	86 M
410 KV	87 M
420 KV	88 M
430 KV	89 M
440 KV	90 M
450 KV	91 M
460 KV	92 M
470 KV	93 M
480 KV	94 M
490 KV	95 M
500 KV	96 M
510 KV	97 M
520 KV	98 M
530 KV	99 M
540 KV	100 M
550 KV	101 M
560 KV	102 M
570 KV	103 M
580 KV	104 M
590 KV	105 M
600 KV	106 M
610 KV	107 M
620 KV	108 M
630 KV	109 M
640 KV	110 M
650 KV	111 M
660 KV	112 M
670 KV	113 M
680 KV	114 M
690 KV	115 M
700 KV	116 M
710 KV	117 M
720 KV	118 M
730 KV	119 M
740 KV	120 M
750 KV	121 M
760 KV	122 M
770 KV	123 M
780 KV	124 M
790 KV	125 M
800 KV	126 M
810 KV	127 M
820 KV	128 M
830 KV	129 M
840 KV	130 M
850 KV	131 M
860 KV	132 M
870 KV	133 M
880 KV	134 M
890 KV	135 M
900 KV	136 M
910 KV	137 M
920 KV	138 M
930 KV	139 M
940 KV	140 M
950 KV	141 M
960 KV	142 M
970 KV	143 M
980 KV	144 M
990 KV	145 M
1000 KV	146 M

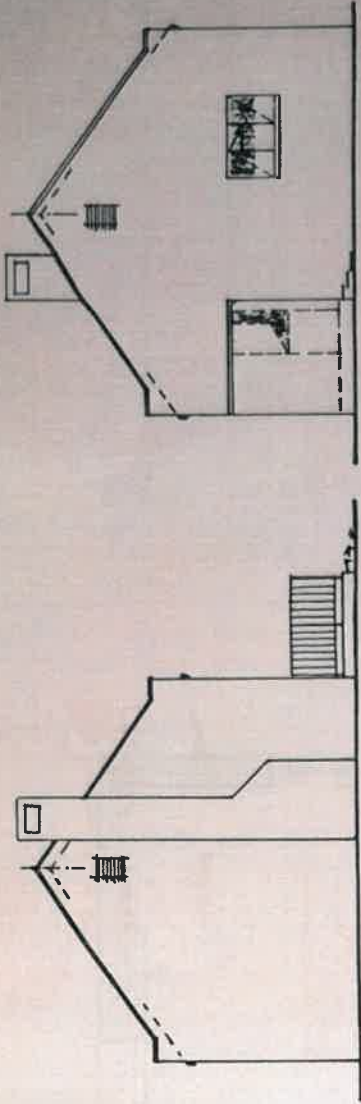
CONSTRUCTION NOTES:
 ALL STRUCTURAL STEEL WORK & CONCRETE WORK TO BE STRICTLY
 IN ACCORDANCE WITH THE SPECIFICATIONS & REQUIREMENTS OF THE
 STRUCTURAL STEEL TO BE PAINTED BEFORE BRICKWORK IN
 ALL CAVITY WALLS TO HAVE 6 WIRE TIES PER SQ.M

DE-RIEF ENDE BESPREKING	HANDTEKENING	DATE
INGENIEUR <i>BM</i>	<i>[Signature]</i>	08/11/19
GECONSULED	<i>[Signature]</i>	11-11-19
BEPLANNING	<i>[Signature]</i>	10-10-19
BEKOSTING	<i>[Signature]</i>	14-11-19
BEKONING	<i>[Signature]</i>	
A. DER		

fapwa
YONDER HILL
 FLOOR PLAN
 BFF 10224
 SOMERSET STRAND ROAD
 BATHURST
 SHEET 1
 SCALE 1:50

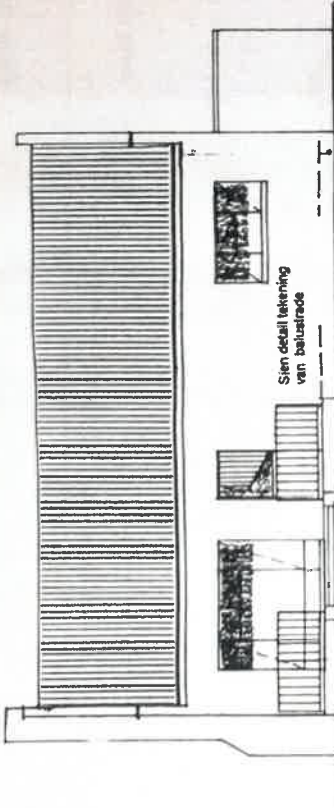


floor plan
 scale 1:50

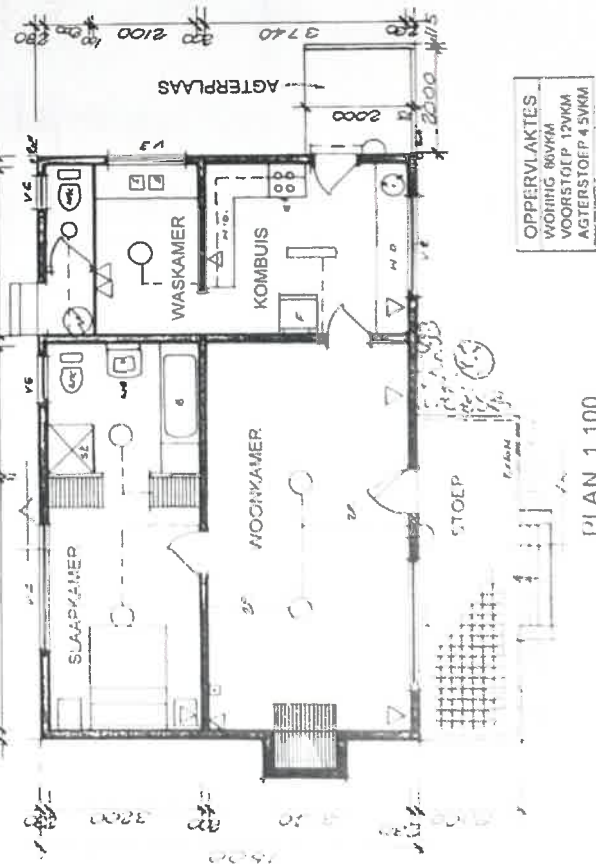


OOS-AANSIG

WES-AANSIG



NOORD-AANSIG

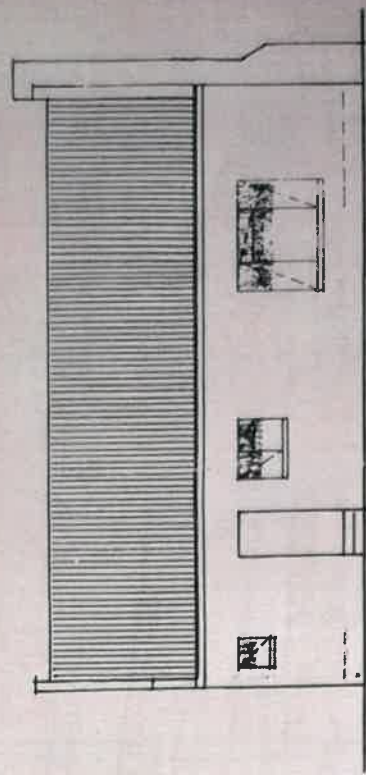


OPPERVLAKTES
 WOHING 80VKM
 VOORSTOEP 12VKM
 AGTERSTOEP 4,5VKM

PLAN 1 100

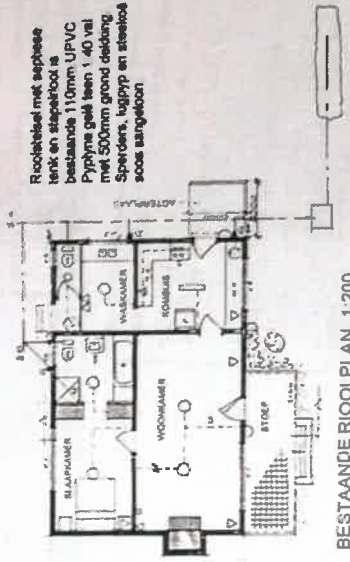
VENSTER SKEDULE
 V1 SWARTLAND SV68B NR1
 V2 SWARTLAND SV35B NR1
 V3 SWARTLAND SV34B NR1
 V4 SWARTLAND SV55B NR1
 V5 SWARTLAND SV22B NR1
 V8 SWARTLAND SV21B NR1

BESKRYWING-ELEKTRIES
 LIGTE EN SKAKELAARS
 BUISLIGTE
 2 RIGTING SKAKELAAR
 15 AMP KRAGPUNTE
 SKAKELBORD
 WARMWATER SILINDER
 T.V. PUNT



SUID-AANSIG

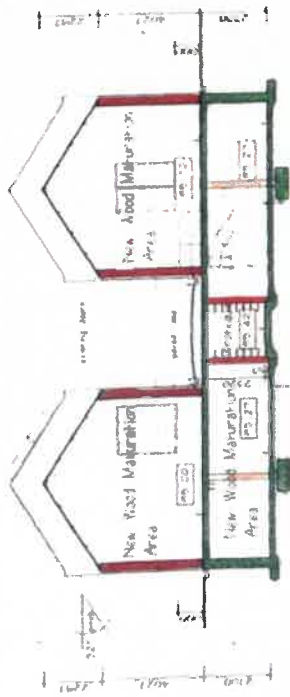
Rooftekst met sepiepe
 tenk en stapellood is
 bestaande 110mm UPVC
 Pypfyns geel teen 1,40 val
 met 500mm grond deklung
 Spanders, lugppyp en steelrod
 soos aangeleer



BESTAANDE RIOOLPLAN 1:200

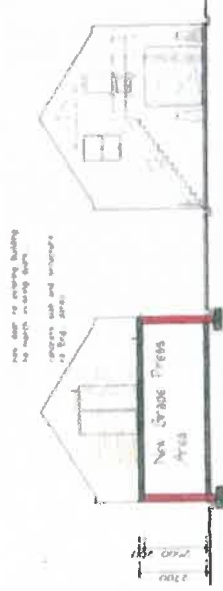
**OPGRADERING VAN BESTAANDE
 BESTUURERS WONING NR. 6
 OP DIE PLAAS YONDER HILL
 NR. 224 RAITHYB VAN YONDER
 HILL FARMING (PTY) LTD**
 SKAAL 1:100
 TEK. FHS.
 OKTOBER 2002

NC 7-15-99
 11:00 AM
 4/10/99
 4/10/99



SECTION X - X
 1:100

Notes:
 1. Material schedule attached and
 furnished to S&P, date:
 2. Finish as per Arch.
 3. Make note provided in
 all drawings and schedule
 4. 25' from inside and 15' from outside



SECTION Y - Y
 1:100

Notes:
 1. New door to existing building
 to match existing door.
 2. Concrete slab and windows
 as per Arch.

478/043



WESLS ALBERTYN
 ARCHITECTS INC.

FARM POWER 411
 PROPOSED NEW WINE CELLAR FOR MR
 R. MENDEL ON HIGH FLOOR FILL
 SOMERSET WEST

WORKING DRAWINGS

478/99/04a

ANNEXURE F: CONVEYANCER'S CERTIFICATE TITLE DEED AND DIAGRAM

DEED OF TRANSFER

in favour of

YONDER HUI WINE FARMING (PROPRIETARY) LIMITED

NO T.23971/1987

mbs

MILER BOSMAN & SLABBER

Prepared by me,


CONVEYANCER.

MILLER W J D

Surname and Initials.

24 FID LAY & TAIT

See pg 4

T. 23971 | 1987

4154

MILLER BOSMAN & SLABBER
8 FAIRVIEW CENTRE
CALEDONSTREET
SOMERSET WEST

Deed of Transfer

Be it hereby made known:

THAT ABRAHAM GABRIEL YOSELOO

appeared before me, Registrar of Deeds

at CAPE TOWN

he, the said Appearer, being duly authorised thereto by a Power of Attorney granted to him by

SUWILINA OLIVIER

(Identity Number 401014 0020 004)

- unmarried -

- WHITE GROUP -

dated the 7th
at SOMERSET WEST

day of

APRIL 1987

, and signed

And/...



And the said Appearer declared that his said Principal had truly and legally sold on 5th January 1987

and that he in his capacity aforesaid did, by these presents, cede and transfer, in full and free property, to and on behalf of

YONDER HILL WINE FARMING (PROPRIETARY) LIMITED

(NO 64/03560/07)

- White Group -

Its Assigns

ERF 224 RAITHBY

Local Area of Raithby

Division of Stellenbosch.

IN EXTENT : 12,6232 (TWELVE COMMA SIX TWO THREE TWO) hectares

FIRST TRANSFERRED by Deed of Partition Transfer No T.23994/1947 and Diagram No 4809/47 relating thereto and HELD by Deed of Transfer No T.2772/1981

- A. SUBJECT to the conditions referred to in Certificate of Consolidated Title No T.6892/1928;
- B. FURTHER SUBJECT and ENTITLED to the benefits of the conditions referred to in the endorsement dated 12th March 1929 on Certificate of Consolidated Title No T.6892/1928 relating to the right to roads.
- C. FURTHER SUBJECT to the endorsement dated 15th July 1966, appearing on Deed of Partition Transfer No T.23994/1947 which endorsement reads as follows :

"A portion of the hereinmentioned property meas. + 0.25 Morgn. has been expropriated by the Divisional Council of Stellenbosch in terms of Sect 130 or Ord. 15/1952 Vide Notice of Expropriation No. : H/9/3 d.d. 13/7/1966 filed as exprop. caveat 574/66 plans filed herewith."

WHEREFORE/.....

Wherefore the Appearer, renouncing all the Right and Title which
TRANSFEROR

TRANSFEROR had to the premises, did, in consequence also acknowledge TRANSFEROR
to be entirely dispossessed of, and disentitled to, the same; and that, by virtue of these Presents, the said
TRANSFEREE COMPANY

TRANSFEROR, now is and henceforth shall be entitled thereto, conformably
to local custom, The State, however, reserving its rights, and finally acknowledging the said
TRANSFEROR to be satisfactorily paid the whole of the purchase money
amounting to the sum of R445 000,00 (FOUR HUNDRED AND FORTY FIVE
THOUSAND RAND)

In witness whereof, I, the said Registrar of Deeds, together with the Appearer, q.q., have subscribed to
these Presents and have caused the Seal of Office to be affixed thereto.

Thus done and executed, at the Office of the Registrar of Deeds

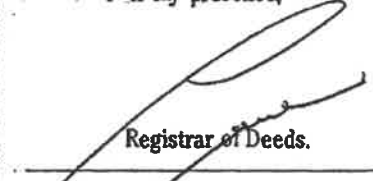
at CAPE TOWN

on 5 June

1987 (ONE THOUSAND NINE

HUNDRED AND EIGHTY SEVEN)

In my presence,


Registrar of Deeds.


CONVEYANCER q.q.

1 Transfer Duty Receipt No. _____
OR Exemption Certificate* _____ Issued
at _____
on _____ for
R _____

2 Rates Clearance Certificate issued by
(i) _____
valid till _____
(ii) _____
valid till _____

Checked: 1. _____
2. _____

*Delete which is not applicable.

If necessary, insert a Registration Clause, etc., approved by the Registrar.

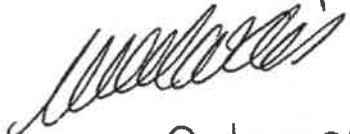
-4-

By notarial deed of Cancellation
of Gen. tuale Nr K 124/96.
dated 30/11/1995 Condition B
on Pg 2 has been cancelled.

As will more fully appear on
the said notarial deed.

07 02 96

Deedoffice
Cape Town


Reg of deeds.

S. G. No.

Approved

Ken. C. Louberg

/Surveyor-General

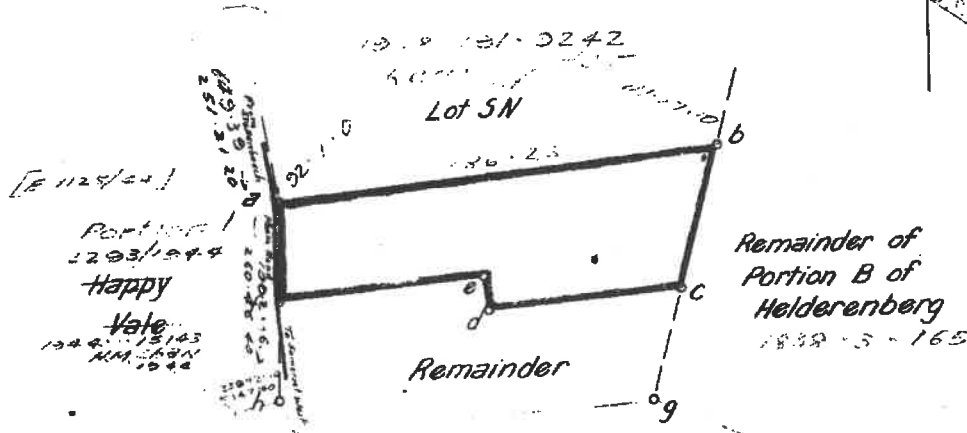
2... 1947

SIDES Cape Feet	ANGLES OF DIRECTION	SYSTEM L ² /19 ² CO-ORDINATES	
		y	x
		+19,000.0	+11,985,000.0
ab 2234.3	263.43.00	a + 2303.4	+ 1494.4
bc 745.7	15.10.20	b + 82.5	+ 1249.9
cd 977.1	84.31.30	c + 277.7	+ 1969.6
de 175.0	172.15.30	d + 1250.3	+ 2062.8
ef 1044.0	84.27.40	e + 1273.9	+ 1889.4
fa 495.9	181.06.30	f + 2313.0	+ 1990.2
cg 579.7	15.10.20	g + 429.4	+ 2529.1
fh 506.5	1.06.30	h + 2322.8	+ 2496.6

Description of Beacons:

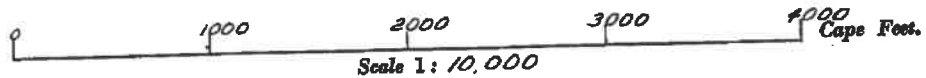
- a.g.h. - Embedded stones projecting 1ft.
- b. - Iron Standard in danga projecting 6"
- c.d. - 1" x 2" x 6" Iron Pags flush.
- e. - Iron Standard projecting 1ft.
- f. - 1/2" x 18" Iron Pag on edge of tarmac road.

- a [16153.16651
- [3767717.481
- b [15453.90376
- [3767640.499
- c [15515.36357
- [3767867.101
- d [15821.59211
- [3767896.445
- [9.0227
- [41.849
- [18913
- [3.587
- [2716
- [262
- [471
- [03



Portion 5 (.....) of the farm Klein Helderberg

ERF 224 Raithby



The figure a b c d e f represents 14.7376 Morgen of land being Portion 5 (a Portion 5 of Lot LL) of the Farm Klein Helderberg situate near Somerset West Division of Stellenbosch Province of Cape of Good Hope.

Surveyed in June, 1947.

by me

L.W. Morgan

Land Surveyor.

This diagram is annexed to DT No. 23994 da. 8.12.47

The original diagram is No. 14425/1928 annexed to 3/7 1929-56-2817

S. G. File No. 16291 23/1

S. R. No. E 1244/47

Degree SHH-AH-2ba/1.1 Stel. Q 4-63

Registrar of Deeds.

M 2188 Hortons-89999/146 224



CONVEYANCER CERTIFICATE

I/We Roelof Johannes Feenstra (LPC M 63602)

(conveyancer's name and surname)

Practising at:

Roelof Feenstra INC Attorneys CONVEYANCERS
 AND NOTARIES of NO 6 DORPSTREET STELLENBOSCH

(firm and place of practice)

In respect of:

ERF 224 RAITHBY IN THE MUNICIPALITY
 AND DIVISION OF STELLENBOSCH PROVINCE
 of the WESTERN CAPC; MEASURING 12,6232
 Hectares

(full property description (erf / farm) as it appear in title deed of same)

Hereby certify that a search was conducted in the Deeds Registry, regarding the said property (ies) (including both current and earlier title deeds/pivot deeds/deeds of transfer):

1. Deed of Transfer T 23971/1987
2. Deed of Transfer T 2772/1981
3. Deed of Transfer T 23994/1947
4. Certificate of Consolidated T 6892/1928
5.
6.
7.
8.

For example Deed of Transfer T12345/2000 or Certificate of Registered Sectional Title ST1234/2000 (description of title deed number and date)



A. IDENTIFY RESTRICTIVE TITLE CONDITIONS (if any)

Categories		Are there deed restrictions (indicate below)		Title Deed and Clause number if restrictive conditions are found
1.	Use of land	Y	<input checked="" type="radio"/> N	
2.	Building lines	Y	<input checked="" type="radio"/> N	
3.	Height	Y	<input checked="" type="radio"/> N	
4.	Number of Dwellings	Y	<input checked="" type="radio"/> N	
5.	Bulk floor area	Y	<input checked="" type="radio"/> N	
6.	Coverage/built upon area	Y	<input checked="" type="radio"/> N	
7.	Subdivision	Y	<input checked="" type="radio"/> N	
8.	Servitudes that may be registered over or in favour of the property	Y	<input checked="" type="radio"/> N	
9.	Other Restrictive Conditions	Y	<input checked="" type="radio"/> N	

Note: There are no restrictive conditions to apply for consent uses and departures to permit tourist facilities, guest house and occasional use of the property.

hunn



B. INDICATE AFFECTED PARTIES AS PER TITLE DEED (if any)

In respect of which it was found that there *are/are no restrictive conditions with reference to Section 33(4) (a, b or c) of the Land Use Planning By-law (2015) registered against such property (ies) prohibiting it from being utilised/developed for the following purposes (as elaborated in the accompanying application):

a.	Organ(s) of State that might have an interest in the restrictive condition	NO
b.	A person whose rights or legitimate expectations will be affected by the removal/suspension/amendment of a restriction condition.	NO
c.	All persons mentioned in the deed for whose benefit the restrictive condition applies	N/A

C. PROCESS BY WHICH RELEVANT CONDITIONS WILL BE ADDRESSED

(please tick appropriate box)

Application in terms of Section 15 of the Stellenbosch Municipal Land Use Planning By-Law (2015)	Notarial Deed of Cancellation (Submit Copy of Signed Agreement)	Action by way of court order (Submit Copy of the Court Order)	If Other, Please Specify N/A
--	---	---	---------------------------------

Signed at Stellenbosch (Place) on this 18th (Day) November (Month) of 2020...

Full names and Surname: Roelof Johannes Feenstra

Signature: [Handwritten Signature]

Firm Postal Address:
P.O. Box 1029
Stellenbosch
7599

ROELOF FEENSTRA INC.
 Kindly endorse certificate by affixing official stamp
 Prokurators, Transportbesorgers en Nolarisse
 hekkers, Eienskapers en Nolarisse
 Te 021 883 8012 / 083 630 0561

Tel: 021 883 8012

Email: roelof@feenstra-inc.co.za

Cell: 083 630 0561