

NOTICE OF LAND DEVELOPMENT APPLICATION TO INTERESTED AND AFFECTED PARTIES FOR COMMENT

03/10/2023

To Whom it may concern,

The following land use application in terms of the Stellenbosch Land Use Planning Bylaw, 2015, refers:

Application Property Address: 54 Huguenot Ave, Franschoek, 7690

Application Property Number: ERF 1612

Applicant: Juan Pretorius

Owner: Brian Groenewald, 082 814 4844

Application Reference: LU/ 15864 (TP428/2023)

Application Type: Application for a departure – ERF 1612 Franschoek

Detailed description of land use or development proposal, including its intent and purpose:

Application has been made in terms of Section 41(1)(c)(i) of the Stellenbosch Municipal Land Use Planning Bylaw (2023) of the said Bylaw for departure in terms of Section 15(2)(b) of the Stellenbosch Municipality: By-law on Municipal Land use Planning 2023.

The application has been made as follow:

- to relax the common boundaries adjacent to Erf 1611, 149 and 167, Franschoek from 4.5m to 1 m on ground and first floor, and
- departure from the parking requirements to provide 8 parking bays instead of 9 parking bays, with a subsequently shortfall of 1 parking bay on erf 1612, Franschoek.

Notice is hereby given in terms of the provisions of Section 46 of the said Bylaw that the above-mentioned application has been submitted to the Stellenbosch Municipality for consideration. The application is available for inspection on the Planning Portal of the Stellenbosch Municipal Website for the duration of the public participation process at the following address: <https://www.stellenbosch.gov.za/planning/documents/planning-notices/land-use-applications-advertisements>. If the website or documents cannot be accessed, an electronic copy of the application can be requested from the Applicant.

You are hereby invited to submit comments and / or objections on the application in terms of Section 50 of the said bylaw with the following requirements and particulars:

- The comments must be made in writing;
- The comments must refer to the Application Reference Number and Address;
- The name of the person that submits the comments;
- The physical address and contact details of the person submitting the comments;
- The interest that the person has in the subject application;
- The reasons for the comments, which must be set out in sufficient detail in order to:
 - Indicate the facts and circumstances that explain the comments;
 - Where relevant demonstrate the undesirable effect that the application will have if approved;

- Where relevant demonstrate any aspect of the application that is not considered consistent with applicable policy; and
- Enable the applicant to respond to the comments.

The comments must be addressed to the applicant by electronic mail as follows: **Juan Pretorius, juan@jparchitecture.co.za**. By lodging an objection, comment or representation, the person doing so acknowledges that information may be made available to the public and to the applicant.

The comments must be submitted within 30 days from the date of this notice to be received on or before the closing date of **Friday, 3 November 2023**.

It should be noted that the Municipality, in terms of Section 50(5) of the said Bylaw, may refuse to accept any comments/ objection received after the closing date.

For any enquiries on the Application or the above requirements, or if you are unable to write and /or submit your comments as provided for, you may contact the Applicant for assistance at the e-mail address provided or telephonically at **083 301 7457** during normal office hours.

Yours faithfully

Juan Pretorius

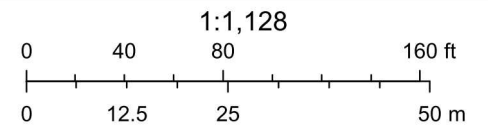
Juan Pretorius Architecture & Interior design Pty Ltd

ERF 1612 Franschoek



30/06/2023, 10:37:33

- Prince Edward Islands
- Provinces
- RSA Mainland
- Coastal erven



Stellenbosch, Department of Environmental Affairs: Oceans & Coasts, Dept Environmental Affairs, ESRI, CD:NGI, DWA, SAHRA, Esri Community Maps Contributors, Esri South Africa, Esri, HERE, Garmin, Foursquare, METI/NASA, USGS



JUAN PRETORIUS ARCHITECTURE
and interior design

30 June 2023

Our Ref: 2221

Stellenbosch Municipality

Town House Complex
Plein Street
Stellenbosch
7600

ATTENTION: MR PEDRO APRIL

BUILDING LINE RELAXATION | LETTER OF MOTIVATION: ERF 1612 FRANSCHHOEK

Background

The owners purchased the property in 2017 and renovated the structure with the purpose to service the ever-growing tourism industry in the Franschhoek district.

Le Petit Manoir's concept to service the tourism industry in a holistic manner has proven to be extremely successful. They offer a unique accommodation experience tied to an exclusive fine dining service.

The also offer "tuk-tuk" tours to other tourist attractions to their guests.

Development Concept

Le Petit Manoir has realised the fast-growing need for their service has increased and have thus decided to extend their facility to offer more to their growing number of guests.

The existing facility currently exceeds the allowed 4.5m building lines. These structures are currently approved as is. Our request is to have the rear and side building lines reduced from 4.5m to 1.0m. The street building line of 4.5m will remain. The rear building line relaxation is to enlarge their existing swimming pool.

The number of rooms will increase from four rooms to ten rooms. The deli will remain. The kitchen facility will be enlarged to cater for the increase in rooms. Each room will offer a unique experience.

The purpose of the larger facility is to offer an even higher level of service and comfort to their guests. A larger facility brings forth the need to employ more staff. This is of huge benefit to the local community of Franschhoek and surrounding villages. This will:

- change lives by investing significant time, effort and resources in training the staff educating (local members of the community) by uplifting their skill levels within the hospitality industry to a five-star service.
- reduce the environmental impact with the additional photovoltaic installed system.



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and interior design

Development on the property will basically entail the following :

- Deli Area.
- Kitchen to serve guests.
- Seating area.
- Reception area.
- Bar Area.
- 3 x rooms on the ground floor.
- 7 x rooms on the first floor.

The size and accessibility of the site supports the proposed development as **it does not** exceed the allowable site coverage.

Physical Site Characteristics

1. The property is 822m² in extent and Huguenot Road borders the north-eastern boundary of the site.
2. The topography of Erf 1612 slopes slightly in a south-westerly direction.
3. Erf 1612 obtains access from Huguenot Road in the north. All vehicle movement and parking will be provided on the site.
4. The development proposal of the property will not have a negative impact on the physical characteristics of the site, but rather increase property value and support.

Character of the Area

1. Franschhoek is notable for having some of the top restaurants in the country within its borders. This fact, together with the strong wine culture, has made Franschhoek into what many describe as the "food and wine capital" of South Africa.
2. The attributes of the village have turned Franschhoek into a popular tourist destination..
3. The property is centrally situated in Franschhoek, easily accessible from neighbouring towns.
4. It supports the principles of sustainability, reduce urban sprawl, and improve accessibility of work and living environments.
5. Based on the above, the proposed development on the property will not have a negative impact on the surrounding communities or properties and will support the development vision for the area.

Socio-Economic Contribution and Job Creation

Education forms the base of all activities in life and social development. Hence education must be encouraged to foster the economic growth and social development.

Le Petit Maroir is highly committed to education and skills development of their staff.

The other great social challenge is influencing culture around food and service tied to the tourism industry.



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and interior design

It is anticipated that a number of short-term construction and downstream jobs will be created during the implementation of services and construction. Longer term and more permanent employment opportunities will be in place once the facility re-opens. This includes general operation and maintenance.

The proposed development will not only provide training and equipping opportunities but will also:

1. Contribute to the municipal rate base
2. Provide economic stability and promote economic sustainability
3. Increase property value
4. Promotes urban density and maximises the utilisation of space and resources

Consistency with Spatial Policy Directives

The development proposal is consistent with all the approved spatial policy frameworks that apply to the area. This statement is supported by the following :

- The proposed additions to the existing facility on ERF 1612 will not only enable the development of the property and improvement of the area, but will also provide skills development.
- The proposal promotes growth by ensuring the efficient use of land and infrastructure, containing urban sprawl and prioritising infill development and intensification.
- Erf 1612 is located inside the urban edge of Franschhoek and therefore suitable for development.
- The proposed development will result in the optimal use of land in the urban edge, thereby preventing urban sprawl.
- The proposal will contribute to the existing business node of the area.

To summarize, the following is highlighted :

- The application is consistent with the principles of the SDF.
- The proposal strengthens and supports local economic development.
- The proposed development is easily accessible from Huguenot Road and within walking distance of other tourist attractions.
- The proposed development will uplift the local community, contribute to the municipal rate base, provide economic stability, promote economic sustainability and increase property value.
- Engineering services can be made available.

It is therefore recommended from a planning point of view that this application should be supported as it will have a positive impact on development in the area.

Yours Faithfully

Juan Pretorius (for and on behalf of Le Petit Manoir).



JUAN PRETORIUS ARCHITECTURE
and interior design

30 June 2023

Our Ref: 2221

Stellenbosch Municipality

Town House Complex
Plein Street
Stellenbosch
7600

ATTENTION: MR PEDRO APRIL

PARKING | LETTER OF MOTIVATION: ERF 1612 FRANSCHHOEK

As per the Stellenbosch municipal zoning scheme for mixed use zoned properties operating as tourist accommodation establishments we require the following:

Area & Site Information Table
<p><u>Parking Calculations</u> Total Hotel Suites: 10 Required Parking: 0,7 bay per bedroom or suite</p> <p>0.7 x 10 = 7 Parking Bays</p> <p>Deli Area: 50m² Required Parking: 4 bays per 100m² gross leasable area</p> <p>2 Parking Bays</p> <p>TOTAL REQUIRED PARKING BAYS: 9</p>

We would hereby like to motivate that our 8no parkings would be sufficient.

1. There are 8no parking bays, well positioned with adequate reversing space.
2. There are many off-street parking bays available for use.
3. There are 40 plus parking bays across the road at the local market.
4. Our airport pickup service reduces the need for 9 parking bays.
5. The ever growing E-Hailing service (UBER, etc) further reduces the need to have the required 9no parking bays.
6. Our facility is centrally located and is walking distance from most other facilities.
7. Our "tuk-tuk" service offers guests the opportunity to go anywhere.

We hereby request that you consider our application to offer 8no parking bays instead of the required 9no parking bays.

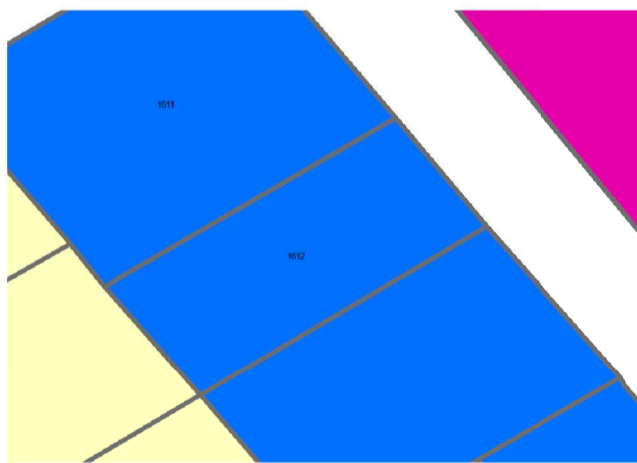
Yours Faithfully

Juan Pretorius (for and on behalf of Le Petit Manoir).

Municipal Stamps



- GENERAL NOTES-MUNICIPAL:**
- No rainwater to discharge closer than 1500mm to boundary lines.
 - No damming up of stormwater to adjacent plots.
 - All building materials etc. to be inside property boundaries.
 - All surplus excavated material to be moved to an approved municipal tip.
 - Back of pavement levels to be checked before commencing work.
 - Street furniture unaffected.
 - All habitable rooms to have a minimum of 10% natural light and 5% natural ventilation to comply with NATIONAL BUILDING REGULATIONS unless otherwise specified.
 - All electrical and plumbing (drainage) work to be executed by registered artisans.
- GENERAL DRAINAGE NOTES:**
- All drainage and plumbing to be executed by a registered contractor.
 - Provide L.E.'s (inspection eyes) to all bends and junctions in drain pipes which have to be accessible and suitably marked at ground level.
 - Provide c/e's (cleaning eyes) over all change of directions in drain pipes at ground level, fitted with standard reset covers.
 - Provide 40mm dia. reset traps to all waste fittings.
 - 75mm deep steel traps used with oil waste fittings.
 - WC's to have "S" or "P" traps with side access cleaning eyes.
 - Where the vertical drop from soil fittings to the main drain underground exceeds 1.2m these fittings have to be anti-siphoned.
 - Waste pipes:
 - boilers 40mm dia.
 - sinks 40mm dia.
 - showers 40mm dia.
 - soil pipes 110mm dia.
 - vent pipes 50mm dia / 110mm dia.
- ALL TIMBER TO BE TREATED AGAINST TERMITE AND WOOD BORER ATTACK & FUNGAL DECAY IN ACCORDANCE WITH SANS 10005
 - THE CONTRACTOR IS LIABLE TO INFORM THE LOCAL AUTHORITY'S BUILDING INSPECTORS AND THE STRUCTURAL ENGINEER OF INTENDED DATES FOR INSPECTING THE FOUNDATION EXCAVATIONS.
 - ALL REINFORCED CONCRETE AND STRUCTURAL STEEL TO STRUCTURAL ENGINEERS DETAILS AND SPECIFICATIONS.
 - ALL LEVELS TO BE CHECKED ON SITE, PRIOR TO THE COMMENCEMENT OF WORK.
 - REFER TO ALL CIVIL ENGINEER DRAWINGS FOR: STORMWATER DESIGN AND MANHOLE POSITIONS, SEWER DESIGN AND MANHOLE POSITIONS, POTABLE WATER SUPPLY, FIRE WATER SUPPLY.



Mixed Use Zone - As per Stellenbosch Municipality Zoning Scheme Maps

SCHEDULE OF AREAS			
		Permitted	Provided
SITE	Zoning Area	Mixed Use Zone	
	Height Restriction	6 Storeys	2 Storeys
	Coverage	50% - 441m ²	45% - 401m ²
GROUND FLOOR	Deli Area		49.3m ²
	Kitchen		35.5m ²
	Store/Laundry/Staff/Reception		29.5m ²
	Public Space		96.8m ²
	Bar		21.2m ²
FIRST FLOOR	Bedroom Suites		95.5m ²
	Covered Outdoor Spaces		56.6m ²
FIRST FLOOR	Bedroom Suites		228.9m ²
	Covered Outdoor Spaces		63.7m ²
			384.4m²
			292.6m²

XA Calculations

GROUND FLOOR
XA Calculations not applicable as total glazing area is less than 20%

Total Ground Floor Area = 353m²
Total Glazing Area = 67.7m²
67.7 / 353 x 100 = 19.1%

FIRST FLOOR
XA Calculations not applicable as total glazing area is less than 20%

Total First Floor Area = 237.2m²
Total Glazing Area = 43.4m²
43.4 / 237.2 x 100 = 18%

Area & Site Information Table

Parking Calculations
Total Hotel Suites: 10
Required Parking: 0.7 bay per bedroom or suite

0.7 x 10 = 7 Parking Bays

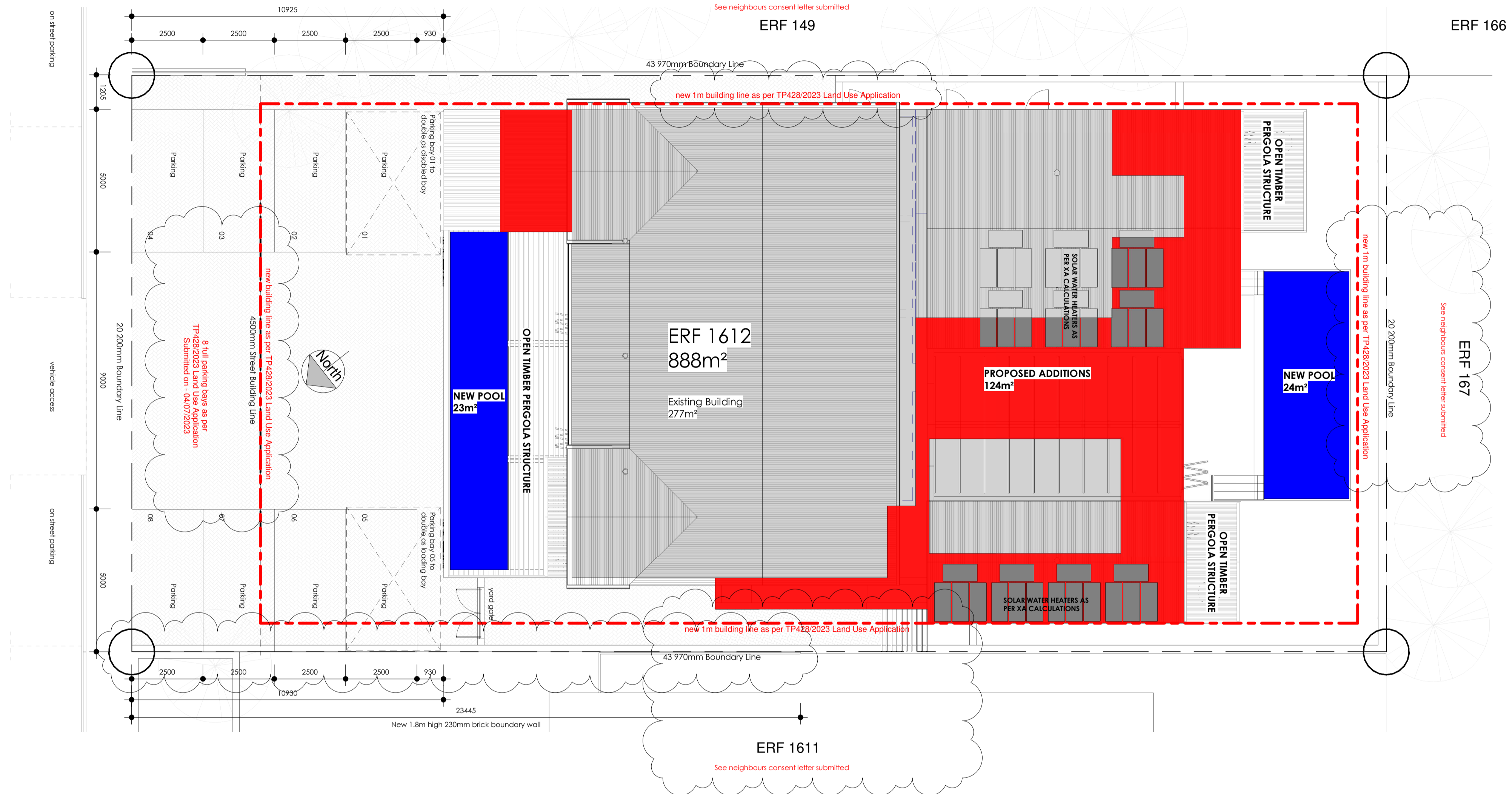
Deli Area: 50m²
Required Parking: 4 bays per 100m² gross leasable area

2 Parking Bays

TOTAL REQUIRED PARKING BAYS: 9
TOTAL PROVIDED PARKING BAYS: 8

Loading bay required - 1
Loading Bay provided - 1 (shared with parking bay 05)

Disabled bay required - 1
Disabled bay provided - 1 (shared with parking bay 01)



	Roof Assembly component (Select from drop-down menu)	Insert element Thickness (mm)	R-value
	Outer surface resistance		0,05
Outer protection	Profiled metal	0,5	0,00
Outer insulation	None	0	0,00
Air space	Horizontal to 45° sealed air space - reflective foil liners - heat flow down		0,92
Insulation	None	0	0,00
Insulation	Cellulose fibre (15kg/m3)	135	3,38
Structural layer	None	0	0,00
Inner covering	None	0	0,00
	Indoor air film (still air)		0,09
	Total R-value		4,44
			Complies

Occupancy, average daily hot water usage, storage volumes for Prescriptive compliance			
Project Occupancy	Entertainment and public assembly	A1	
Selection of sub-occupancies and daily hot water usage	Hotels		
Stipulated per capita hot water usage per Table 10 of SANS10400XA	140	As per Table 11 of SANS10400XA	
Occupancy as determined using Table 2 of Reg A21	10,00	Stipulation for Prescriptive & Performance routes	
Stipulated per capita solar hot water storage using Table 10 of SANS10400	93,75	Solar water heaters are to have 50% more storage volume than other technologies	
Stipulated daily hot water consumption using Table A21 occupancy density	1400	Stipulation for Prescriptive & Performance routes	
Stipulated minimum total hot water storage using Table 10 of SANS10400X	937,5	Stipulation for Prescriptive & Performance routes	
Input specified volume of solar water heater here if following the prescriptive route	1000	Complies	Regulation X2 limits resistance heating to 50% of hot water usage by volume and stipulated volumes ensure this requirement is met
Input the required energy output of specified solar water heater (MJ/day) as per SANS1307 to exceed 0.1 of stored volume above, but not greater than 0.15 of stored volume.	100	Complies	Q-Factor per SANS6211 output @16MJ insulation

Roof Light dimensions	
Roof-light reference	#1
Number of similar roof-lights	0
Height	2.500
Width	8.500
Roof-light area	0
Area served	154
% RL/Area served	0,00
U-value required	"Any value"
SHGC required	"Any value"
Enter U-value achieved	3,60
Enter SHGC Achieved	0,50
Compliance indicator	Complies

Municipal Drawings

Construction Notes

All dimensions to be checked on site before construction commences. All dimensions are given in millimeters, unless otherwise specified. Contractors to adhere to all local authority's regulations and requirements.

These architectural drawings to be read in conjunction with engineers and consultants drawings where applicable. All building work to be carried out in accordance with the national building regulations. The contractor is responsible for all site visits by local inspectors and pay all fees in connection therewith. All drainage work to be carried out in accordance with the national building regulations. All roof measurements to be taken on site by roof specialist prior to roof construction. All site layouts to be confirmed with architect prior to commencement ofiling. Any discrepancies must be clarified by the architect prior to commencement of work.



Revision Number	Description	Date
1	1. Notes added on boundary and gates at boundary wall. 2. Extract fan noted at pool wc's. 3. Fire plan Added.	2023-06-23
3	New building lines shown as per Land Use application TP428/2023, Parking note shown, boundary wall added on west side.	2023-08-10

Municipal Information

Zoning	Mixed Use Zone
Area of Erf	882 m ²
Existing Coverage	277 m ²
Additional Coverage	124 m ²
Total Coverage	401 m ²
Coverage Percentage	45 %
Existing Floor Area	452 m ²
Additional Floor Area	227 m ²
Total Floor Area	679 m ²
Additional Deck Area	-- m ²

Total Deck Area	-- m ²
Total Pool Area	47 m ²
Garages	-- Bathrooms --
Boundary Walls	-- Age of Building --

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and interior design

27 83 301 7457 | number to follow
@ juan@jparchitecture.co.za | www.jparchitecture.co.za

Shop 1, 16 Wharf Street, Port Alfred, South Africa
SACAP REGISTRATION NUMBER : PSAT 24722389

Project: Le Petit Manoir - Franschoek

Erf: 1612 Allotment: Franschoek

Client: Le Petit Manoir

Signatures: J. Pretorius
Architect: Juan Pretorius

Drawing name: Site Plan

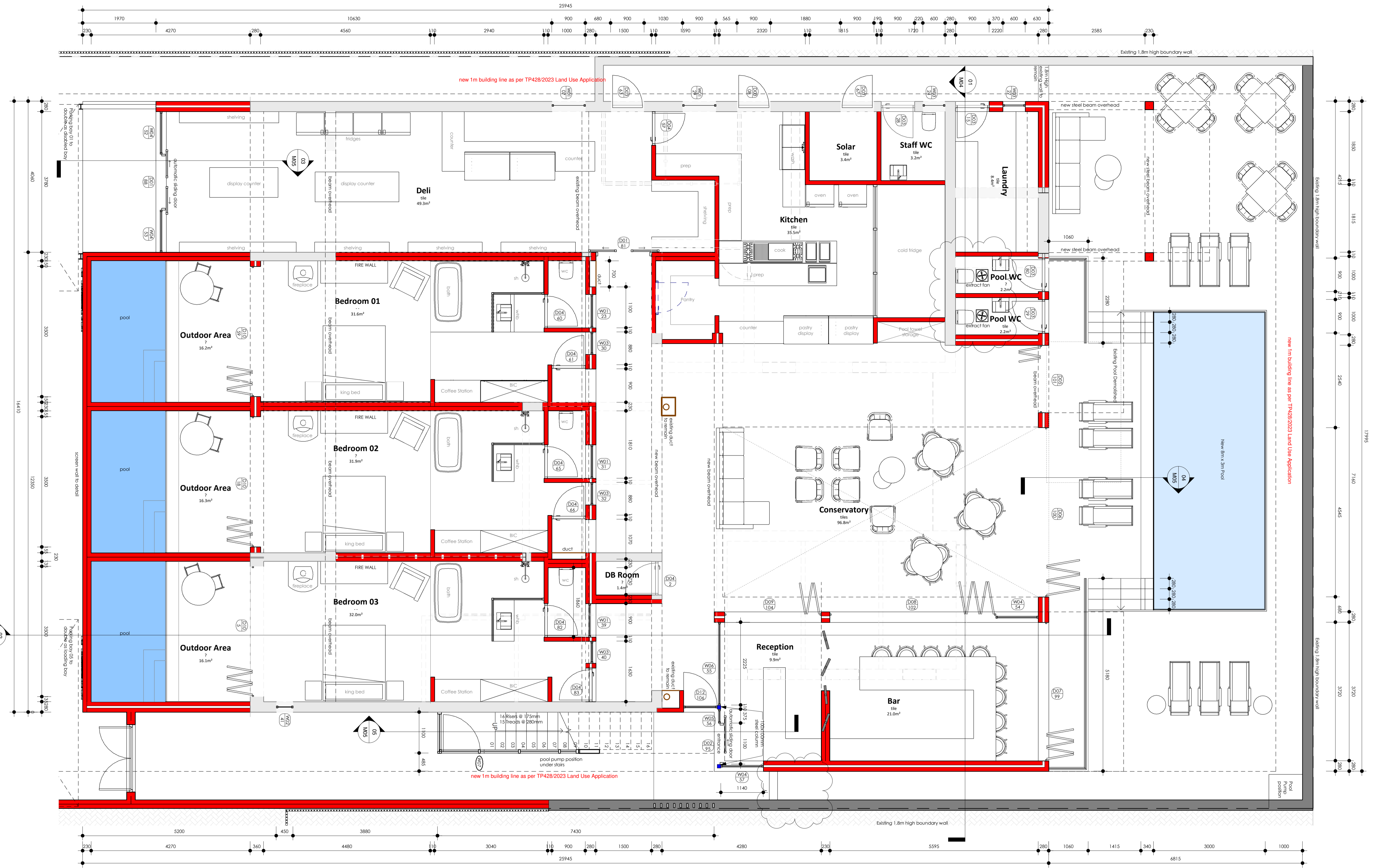
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Drawing Reference: 2221

Revision: 3 Page Size: A1

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Municipal Stamps



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Shop 1, 16 Wharf Street, Port Alfred, South Africa
SACAP REGISTRATION NUMBER : PSAT 24722389

Project Le Petit Manoir - Franschoek

Erf 1612 **Allotment** Franschoek

Client Le Petit Manoir

Signatures *J. Pretorius*
Architect: Juan Pretorius

Municipal Drawings

Drawing name Ground Floor Plan

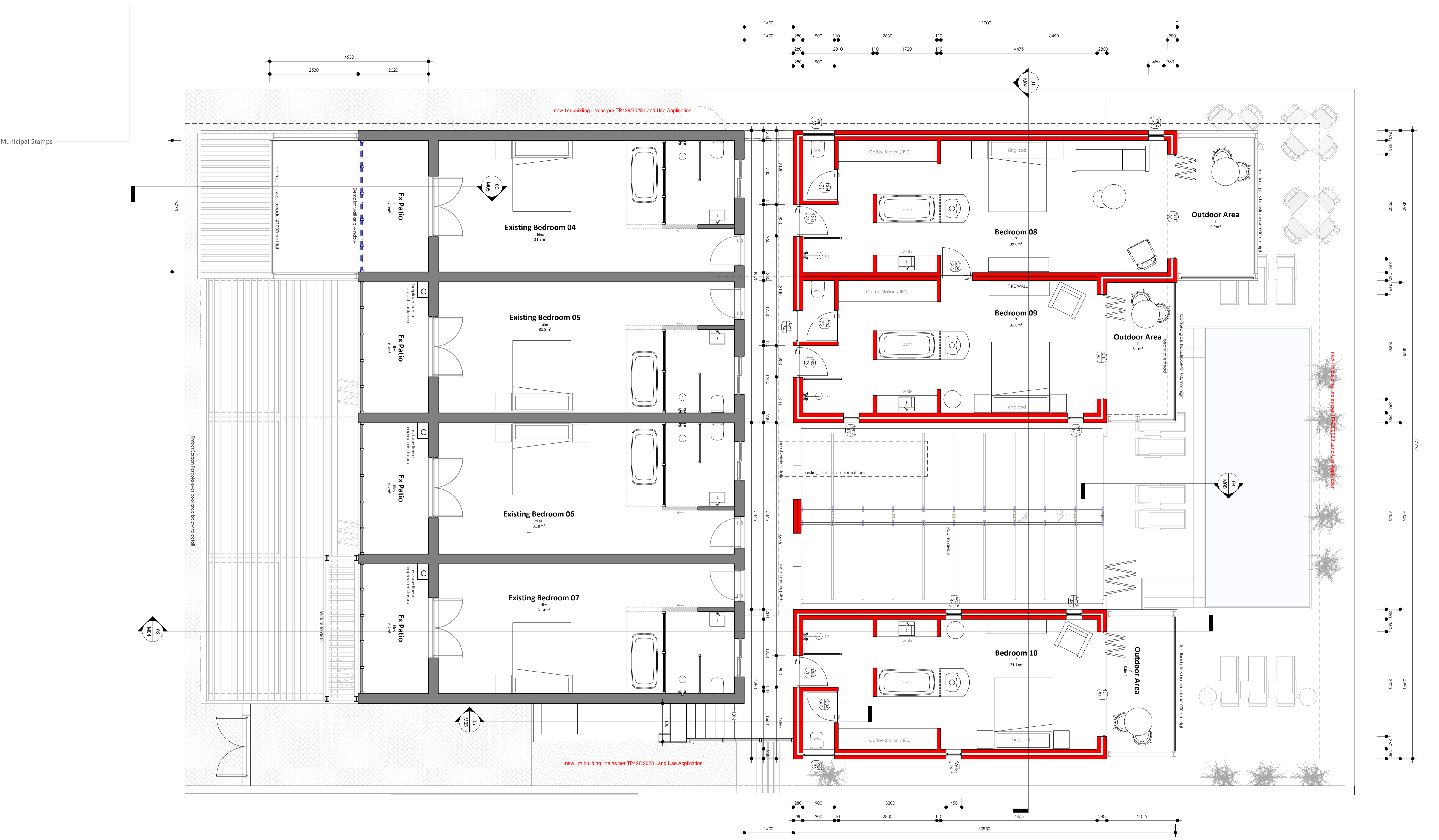
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Drawing Reference 2221

Revision 3 **Page Size** A1

M01

Municipal Stamps



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SACAP REGISTRATION NUMBER : PSAT 24722389

Project
Le Petit Manoir - Franschhoek

Erf Allotment
1612 Franschhoek

Client
Le Petit Manoir

Signatures
Architect: Juan Pretorius

Municipal Drawings

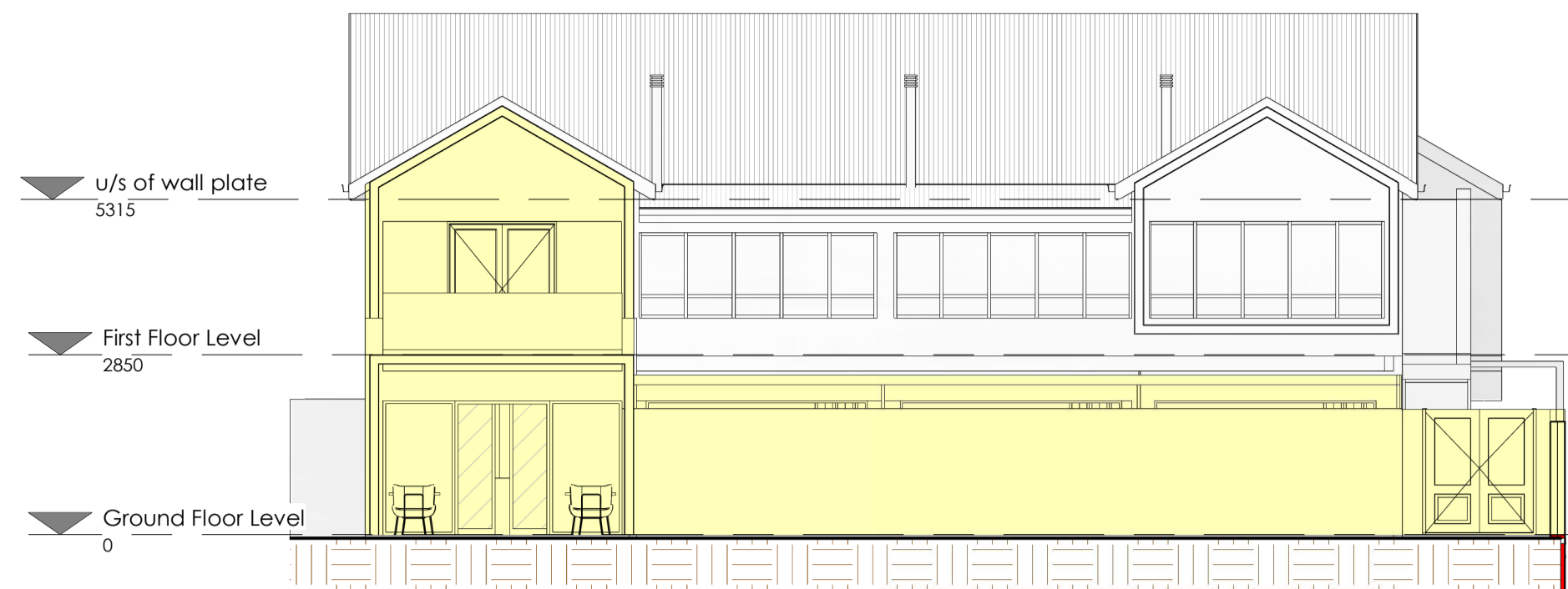
Drawing name
First Floor Plan

Date 2023-08-10 **Scale** 1 : 50

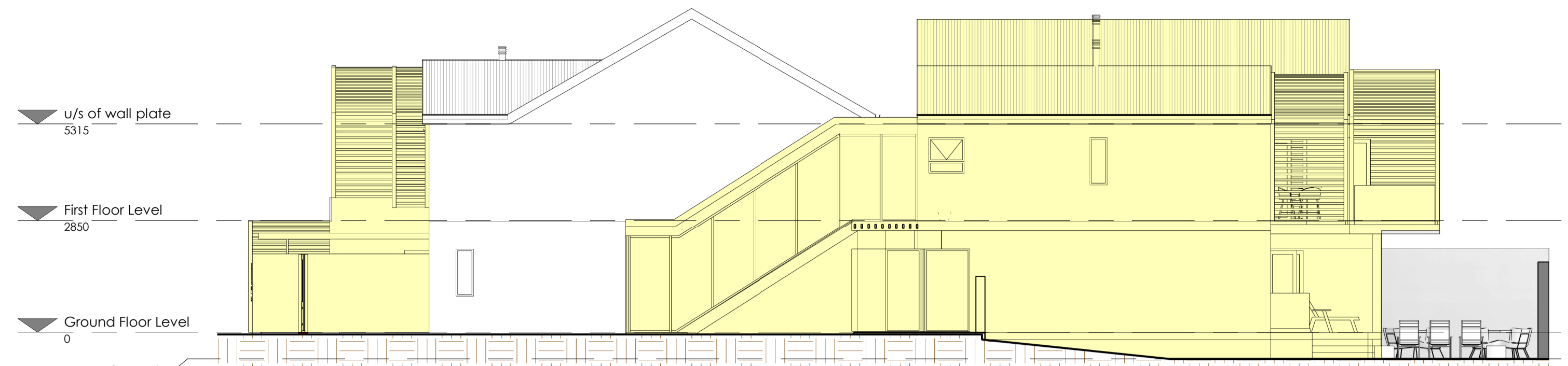
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2221

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M02



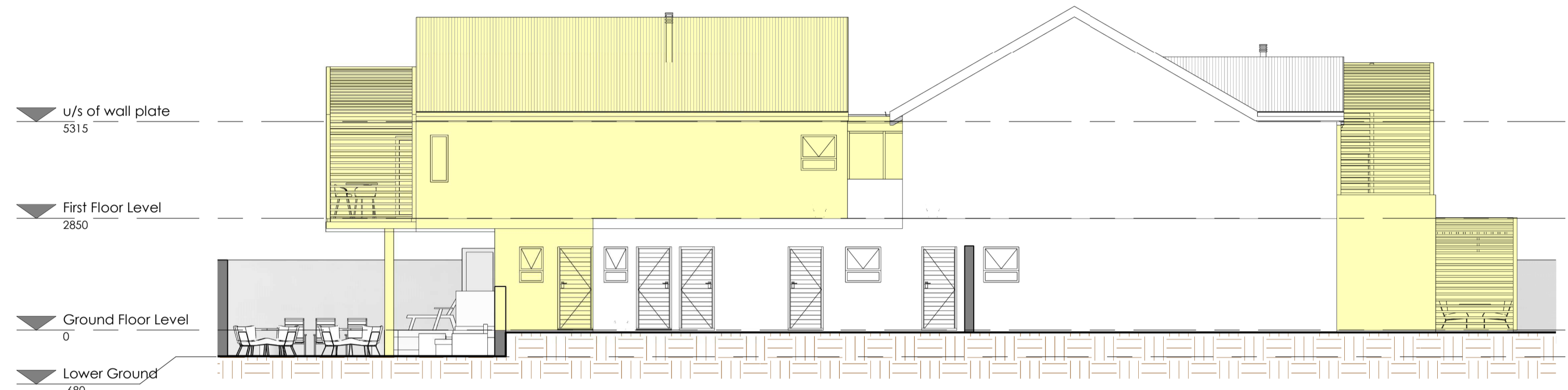
North Elevation
1 : 100



West Elevation
1 : 100



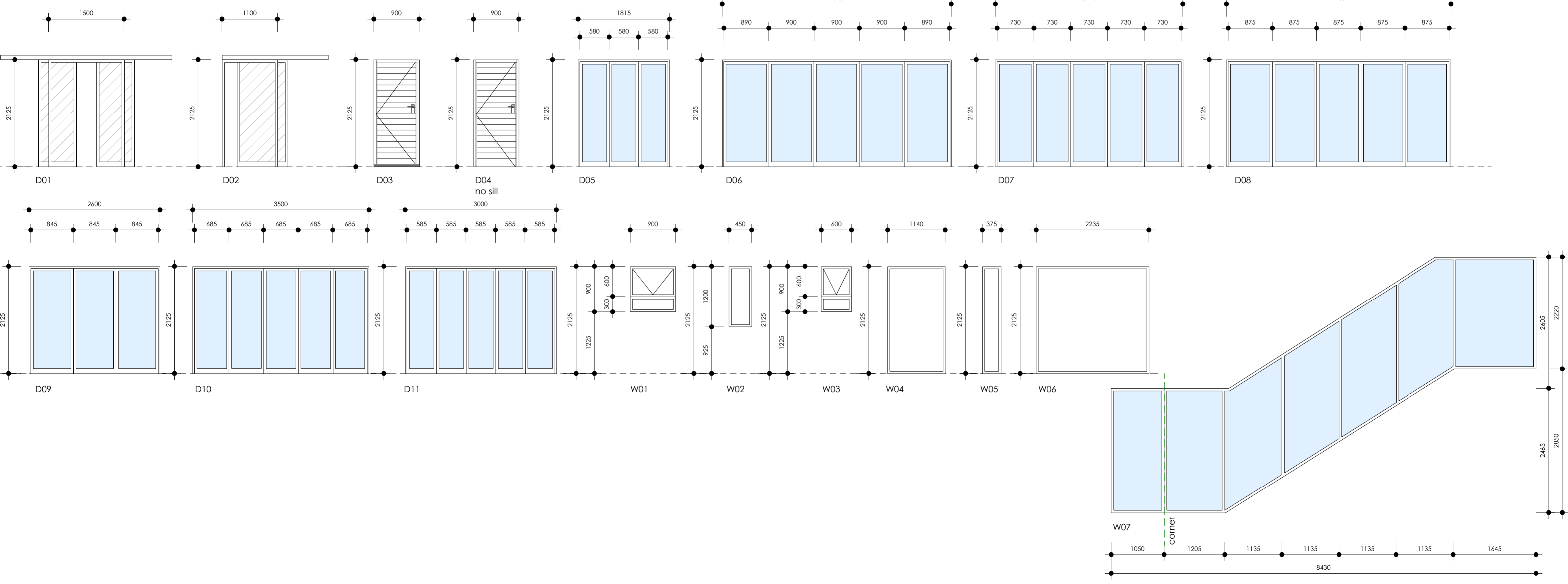
South Elevation
1 : 100



East Elevation
1 : 100

Door Schedule					
Type Mark	Count	Description	Height	Width	Glazing
D01	2	Charcoal Aluminium framed Automatic Sliding Doors	2125	1500	As XA Calculations
D02	1	Charcoal Aluminium framed Automatic Sliding Doors	2125	1100	As XA Calculations
D03	9	Solid Meranti External Door - Horizontal Slatted	2125	900	n/a
D04	11	Semi-Solid Meranti Internal Door - Horizontal Slatted	2125	900	n/a
D05	1	Powder Coated Charcoal Sliding Folding Aluminium Glazed door	2125	1815	As XA Calculations
D06	1	Powder Coated Charcoal Sliding Folding Aluminium Glazed door	2125	4545	As XA Calculations
D07	1	Powder Coated Charcoal Sliding Folding Aluminium Glazed door	2125	3720	As XA Calculations
D08	1	Powder Coated Charcoal Sliding Folding Aluminium Glazed door	2125	4455	As XA Calculations
D09	1	Powder Coated Charcoal Sliding Folding Aluminium Glazed door	2125	2600	As XA Calculations
D10	3	Powder Coated Charcoal Sliding Folding Aluminium Glazed door	2125	3500	As XA Calculations
D11	3	Powder Coated Charcoal Sliding Folding Aluminium Glazed door	2125	3000	As XA Calculations
D12	1	Powder Coated Charcoal Single Aluminium Glazed door	2125	1480	As XA Calculations
G02	1		2000	1800	n/a

Window Schedule					
Type Mark	Count	Description	Height	Width	Window Glazing
W01	8	Powder Coated Charcoal Aluminium Frame	900	900	As per XA Calculations
W02	7	Powder Coated Charcoal Aluminium Frame	1500	450	Stained Glass as per client
W03	5	Powder Coated Charcoal Aluminium Frame	900	600	As per XA Calculations
W04	4	Powder Coated Charcoal Aluminium Frame	2125	1140	As per XA Calculations
W05	1	Powder Coated Charcoal Aluminium Frame	2125	375	As per XA Calculations
W06	1	Powder Coated Charcoal Aluminium Frame	2125	2235	As per XA Calculations
W07	1	Powder Coated Charcoal Aluminium Frame	0	0	As XA Calculations



Construction Notes

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Area of Erf	882 m ²
Existing Coverage	277 m ²
Additional Coverage	124 m ²
Total Coverage	401 m ²
Coverage Percentage	45 %
Existing Floor Area	452 m ²
Additional Floor Area	227 m ²
Total Floor Area	679 m ²
Additional Deck Area	-- m ²
Total Deck Area	-- m ²
Total Pool Area	47 m ²
Garages	-- Bathrooms
Boundary Walls	-- Age of Building

JP JUAN PRETORIUS ARCHITECTURE
and interior design

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@ juan@jparchitecture.co.za @ www.jparchitecture.co.za

Shop 1, 16 Wharf Street, Port Alfred, South Africa
SACAP REGISTRATION NUMBER : PSAT 24722389

Project Le Petit Manoir - Franschoek

Erf Allotment
1612 Franschoek

Client Le Petit Manoir

Signatures
Architect: Juan Pretorius

Municipal Drawings

Drawing name Elevations & Schedules

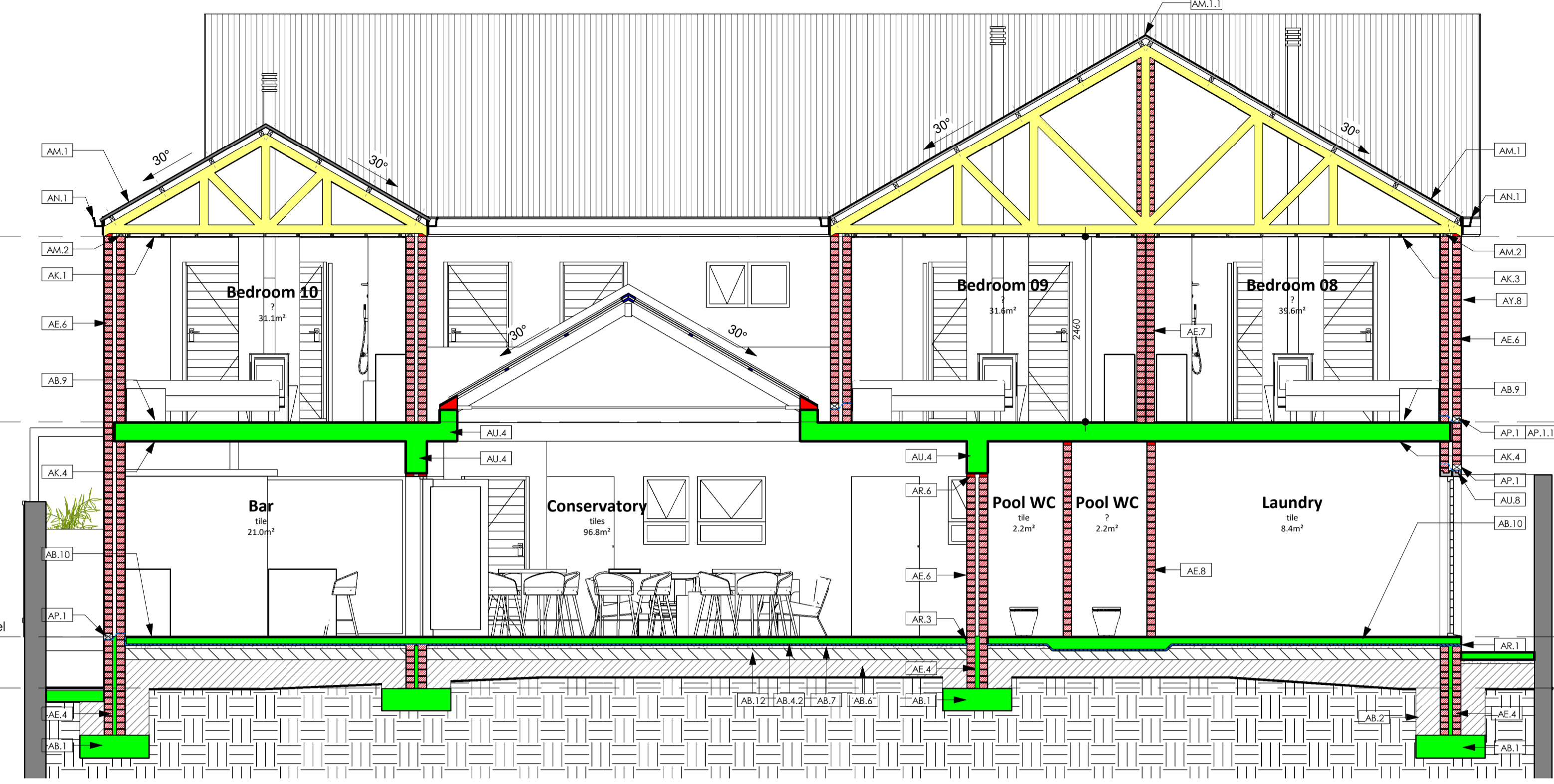
Date 2023-08-10 **Scale** As indicated

Drawing Reference 2221

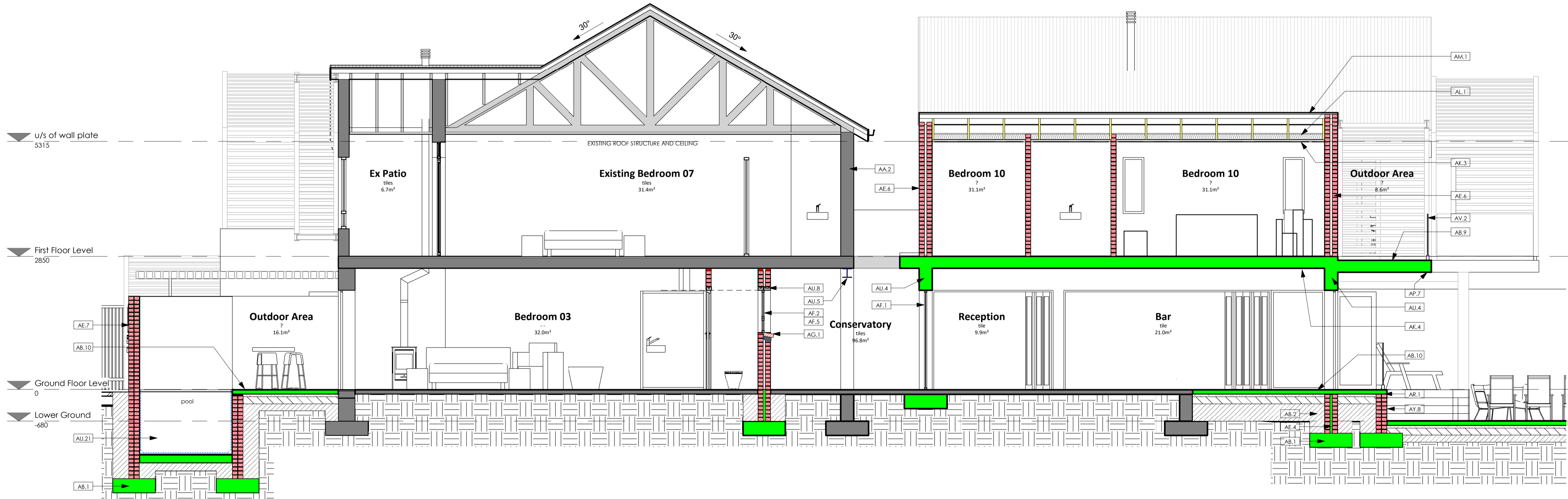
Revision 3 **Page Size** A1

M03

Key Value	Keynote Text
AA.2	All existing services to be protected and maintained during the construction period. Any damage which occurs is to be made good by the contractor.
AB.1	Reinforced concrete footings, ground beams and column bases as per Structural Engineer's foundation plan and specifications. Typically install a 50mm blinding layer under all structural concrete.
AB.2	Check ground conditions before commencing with final foundation excavation. Excavation to be checked and suitably verified by the Structural Engineer prior to casting foundations. The contractor is liable to inform the Local Authority's building inspectors and the principal agent of intended dates for inspecting the foundation excavations.
AB.4	375 Micron black polyethylene embossed damp proof membrane, complying with SABS specification 952 Type B, in maximum widths with 150mm overlap at all joints with pressure sensitive tape / welded applied to all sub-surface areas.
AB.6	Well watered and compacted fill, free of all vegetable matter, in layers not exceeding 150mm in depth.
AB.7	50mm thick layer of clean builder's sand.
AB.9	Selected floor finish as per Architect's specification on 30mm screed layer on 255mm thick reinforced concrete floor and finish to Structural Engineers specifications and details.
AB.10	Selected floor finish as per Architect's specification on 30mm screed layer on 100mm thick concrete surface bed C28/35 fine stone concrete on 50 thickness cement stabilised sand gravel subbase over 150mm thickness G5 material compacted to 95% Mod Asphalt over in situ platform of minimum G7 material compacted to 95% Mod Asphalt.
AB.12	Fill Material: Selected fill material to Structural Engineers specifications and details, well compacted and free of organic matter.
AE.4	Walls: Cavity filled foundation wall with brick force reinforcement spanning across the cavity at every 2nd course. Engineer to verify additional structural reinforcement requirements.
AE.6	Walls: All 270 cavity walls to consist of brickwork bedded in class II mortar and to have staggered galvanized N/S butterfly cavity ties bedded in cement mortar - 5 ties per beam at 1200mm centres and cross ties at 500mm centres, all in accordance with the manufacturer's recommendations. Climatic zone: Zone 4, R-value: 3.38m² K/W, Thermal conductivity: 0.04 W/m²K. Installation to be in strict accordance with manufacturer's specifications.
AE.7	Walls: All 230 walls to consist of brickwork bedded in class II mortar and to have ladder type brickforce every 5 horizontal courses bedded in cement mortar - with between 15mm to 30mm cover from the brickwork edge. No brickforce to cross cavity, unless otherwise specified by the engineer.
AE.8	Walls: All 110 walls to consist of brickwork bedded in class II mortar and to have ladder type brickforce every 5 horizontal courses bedded in cement mortar - with between 15mm to 30mm cover from the brickwork edge. Unless otherwise specified by the engineer.
AF.1	Custom made aluminium windows and shopfronts with powder coating finish, applied by a certified mark holder of SANS 1578 and SANS 1796, and manufactured in accordance with AAAMSA, SAGA, NBR and SABS regulations. All sections to receive 60-80micron powder coating and configured as per Schedules. All joints are to be mechanically jointed and adequately sealed with an approved sealant. As far as possible all glazed aluminium doors and windows to be factory glazed and wrapped in protective plastic. All glazing to illustrate the appropriate mark to confirm type of glass used, i.e. toughened glass.
AF.2	All glazing specification with regards to maximum sizes, appropriate thickness and performance to be checked and verified by a specialist. The responsibility of a compliant installation (SANS, AAAMSA, SAGA, etc.) vest with the main contractor and his sub-contractors.
AG.5	The contractor is to inform the aluminium manufacturer as to when the openings are ready for measurement - All dimensions to be checked and verified on site prior to commencement of manufacture.
AG.1	External Brickwork: External sills to be formed by plastered and painted sloping brickwork (one brick course down) ending flush with plastered wall as per detail. To be laid on embossed Brikrip Blue (or similar approved) 375 micron DPC, bearing SABC 952-1985 Type B, well topped at all joints and intersections, bedded and jointed in cement mortar. Refer to Finishing Schedule for paint system.
AK.1	Bulkheads and Ceilings (flat): Gyproc Rhino-Cel Prestige 5 (or similar approved) flush plastered ceiling 9.5mm thick Taper-edge Rhinoboard fixed joint side up and screwed to Donn 137K screw up ceiling grid with drywall screws spaced at 150mm centres, including galvanised main tees at 1200mm centres and cross tees at 500mm centres, all suspended with 25 x 25mm galvanised angles of not exceeding 1200mm centres, all fixed to trusses at centres. Joints to be covered with Rhinotape fixed over joints (double over butt joints) and then plastered with 6mm thick Rhinotape gypsum skim plaster applied as per manufacturer's instructions.
AK.3	Ceilings: Everite Nutec 6mm thick plain ceiling boards, manufactured in accordance with SANS 9001:2000 carrying SANS 803:2005 mark, fixed to 38 x 50mm battens at 600mm centres using 32 x 2.5mm serrated ceiling nails at 150mm centres, minimum of 12mm from edge of board. All joints to be covered using H-profile white PVC jointing strips, all in accordance with the manufacturer's recommendations.
AK.4	Soffits: Off-shutter concrete with 12mm plaster and Gyproc Rhinotite CreteStone applied to concrete surface. Wash concrete surfaces with a cleaning agent to remove grease and oil. Rinse with water until all traces of cleaning agent are removed. Apply first coat of Grippon plaster bonding liquid using a paint roller. Allow it to dry. Apply a second coat of Grippon plaster bonding liquid using a paint roller. While the second coat of Grippon plaster bonding liquid is still tacky/wet apply Gyproc Rhinotite CreteStone to a minimum thickness of 3mm to 6mm thick and finish off with steel trowel and paint finish. Refer to Finishing Schedule.
AL.1	Insulation: Isover 135mm thick Aerolite non-combustible light weight fibreglass Glasswool thermal ceiling insulation (2kg/m³) closely fitted with ends butted firmly between the beams and laid loose on top of transverse between roof timbers, all in accordance with manufacturer's recommendations. Climatic zone: Zone 4, R-value: 3.38m² K/W, Thermal conductivity: 0.04 W/m²K. Installation to be in strict accordance with manufacturer's specifications.
AM.1	Global Roofing Solutions 0.80mm thick 3004 Charcoal Grey Aluminium ridge cap, girth 462mm, fixed in accordance with manufacturer's specifications.
AM.2	Wall Plate: 114mm x 38mm SA Pine Timber treated wall plate with brick fill above.
AN.1	Headerbar Aluminium Extruded commercial 150mm box profile aluminium seamless gutter, overall size 150mm x 140mm x 0.9mm thick, coated internally and externally with ColourTech G4 in colour Charcoal Grey including cut and milled angles covered with a millie strip externally, stop ends riveted and all sealed on the inside with Dow Corning 813 silicone sealer, secured to fibre cement facia with 25 x 2.5mm L-shaped and internal brackets at 600mm centres using aluminium peeled rivets, including expanded aluminium mesh leaf guard set over gutter with 100mm x 5mm x 0.6mm thick Charcoal Grey aluminium downpipe, fixed to wall with straps at 1500mm centres using nail plugs, with downpipes riveted and silicone sealed to gutter outlets, including all necessary bends, elbows, shoes etc.
AP.1	Stepped damp proof course, built into inner skin (stopping 10mm short from the inner face of the inner brick skin) and stepped outwards to one brick-course lower. Every 4th perp on the outside to be left open. Stepped damp-proof course to consist of embossed Brikrip Blue (or similar approved) 375 micron DPC, bearing SABC 952-1985 Type B, well lapped at all joints and intersections, bedded and jointed in cement mortar.
AP.1	Perps on the outer face of cavity walls to be left open as wheepholes - Centred and equally spaced above all external windows and doors. Wheepholes to be plumbed and equal in size. Refer to building elevations for approximate positions.
AP.7	12mm Wide continuous rainwater drip.
AR.1	All joints between the concrete surface beds and columns/brickwork to be formed with 125 Widex (or similar approved) 10mm thick polyethylene slip, sized as per Structural Engineer's requirements. Joints sealed with Sikaflex 11FC Joint Sealant, or similar approved sealer, mixed and applied onto primed surfaces.
AR.3	Construction and movement joints in the building structure and/or between different building materials to be installed as per the Structural Engineer's specifications and details.
AR.6	Brickwork and reinforced concrete structure to be kept separate with 10mm Jointex (or similar approved) pinned/glue to column. Joints to be sealed with an approved paintable sealant.
AU.4	Reinforced concrete beams as per Structural Engineer's drawings and specifications.
AU.5	Steel beams as per Structural Engineer's drawings and specifications.
AU.6	Pre-stressed precast reinforced concrete lintel over door / window opening.
AU.21	Pool waterproofing and details to Structural Engineer's details.
AV.2	BALUSTRADE GLASS: 1000mm high floor (clamp) mounted glass balustrade with continuous stainless-steel handrail, mounted on finished floor, installed by approved specialist and to comply with AAAMSA and SANS 10400 PART 1. Water proofing for balustrading to form part of balustrading installer's work.
AY.8	Exterior Textured Wall Paint - Lightly sand down all surfaces to provide sound smooth surfaces. Clean down all dust, grease and dirt. Scrape off all loose material and cement splashes. Prime with Enviro-lite Masonry Primer, allow to dry for 12 hours then apply 1 coat of Midas Coarse Aggregate Primer. Tinted to your chosen colour, using a brush or roller. Allow to dry before over-coating. Thoroughly stir and apply a minimum of 2 coats of Enviro-lite fresco as supplied to prepared surfaces using a roller. Lay off with a block brush using vertical strokes to create a shaded effect. Allow to dry before over-coating. Kindly note that the complete system as specified, including the Manufacturer's specific PREPARATION, are to be used or equally approved comprehensive paint system. Colour to be selected from the Midas 300 range of pigments.



Section 01
1 : 50



Section 02
1 : 50

Municipal Drawings

Construction Notes
All dimensions to be checked on site before construction commences. All dimensions are given in millimeters, unless otherwise specified. Contractors to adhere to all local authority's regulations and requirements. These architectural drawings to be read in conjunction with engineers and consultants drawings where applicable. All building work to be carried out in accordance with the national building regulations. The contractor is responsible for all site visits by local inspectors and pay all fees in connection therewith. All drainage work to be carried out in accordance with the national building regulations. All roof measurements to be taken on site by roof specialist prior to roof construction. All tile layouts to be confirmed with architect prior to commencement of tiling. Any discrepancies must be clarified by the architect prior to commencement of work.



Revision Number	Description	Date
1	1. Notes added on boundary and gates at boundary wall. 2. Extract fan noted at pool w.c's. 3. Fire plan Added.	2023-06-23

Municipal Information	Value
Zoning	Mixed Use Zone
Area of Erf	882 m²
Existing Coverage	277 m²
Additional Coverage	124 m²
Total Coverage	401 m²
Coverage Percentage	45 %
Existing Floor Area	452 m²
Additional Floor Area	227 m²
Total Floor Area	679 m²
Additional Deck Area	-- m²

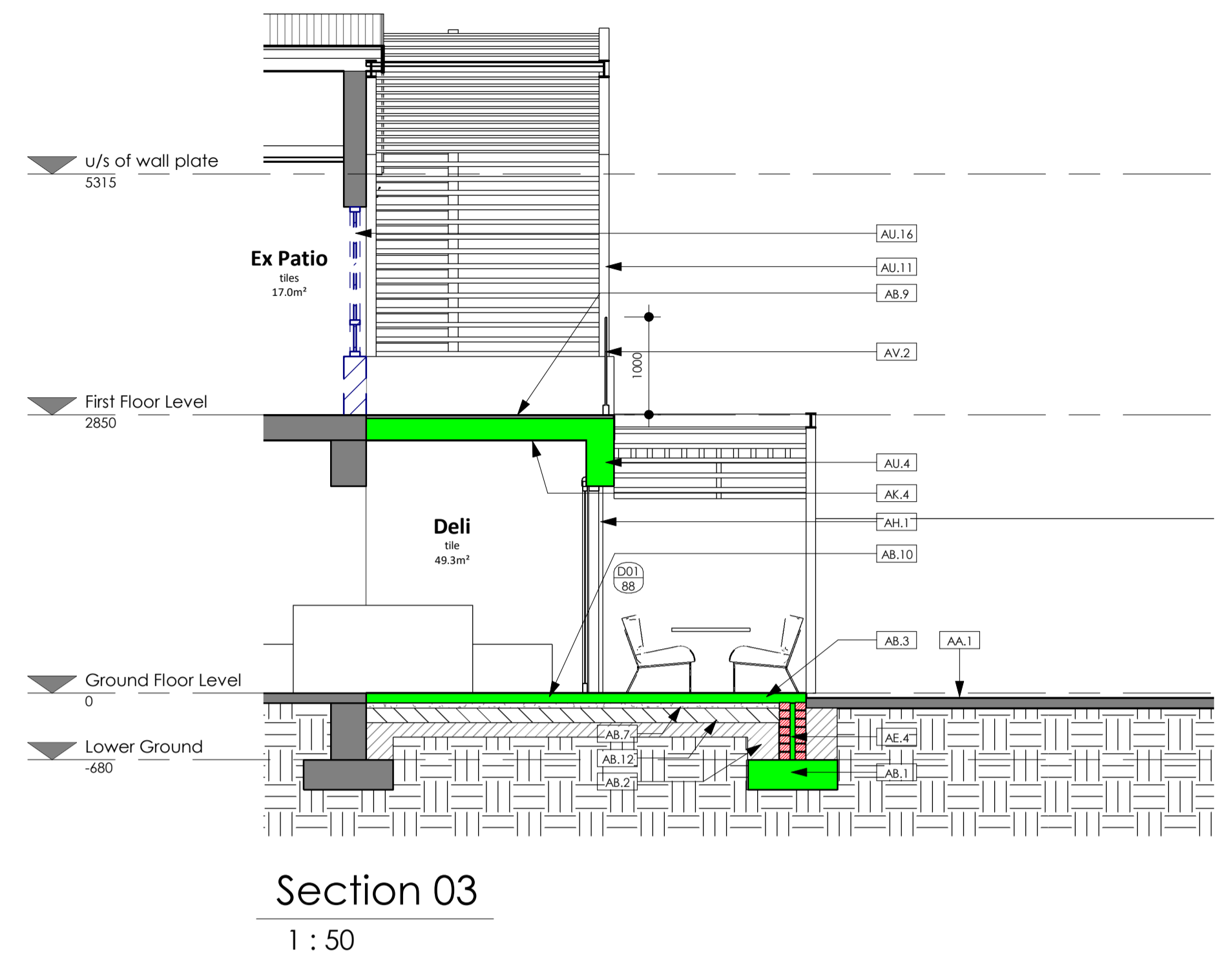
Total Deck Area	-- m²
Total Pool Area	47 m²
Bathrooms	--
Age of Building	--

JP JUAN PRETORIUS ARCHITECTURE
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27 83 301 7457 | number to follow
@juan@jparchitecture.co.za | www.jparchitecture.co.za
Shop 1, 16 Wharf Street, Port Alfred, South Africa
SACAP REGISTRATION NUMBER : PSAT 24722389

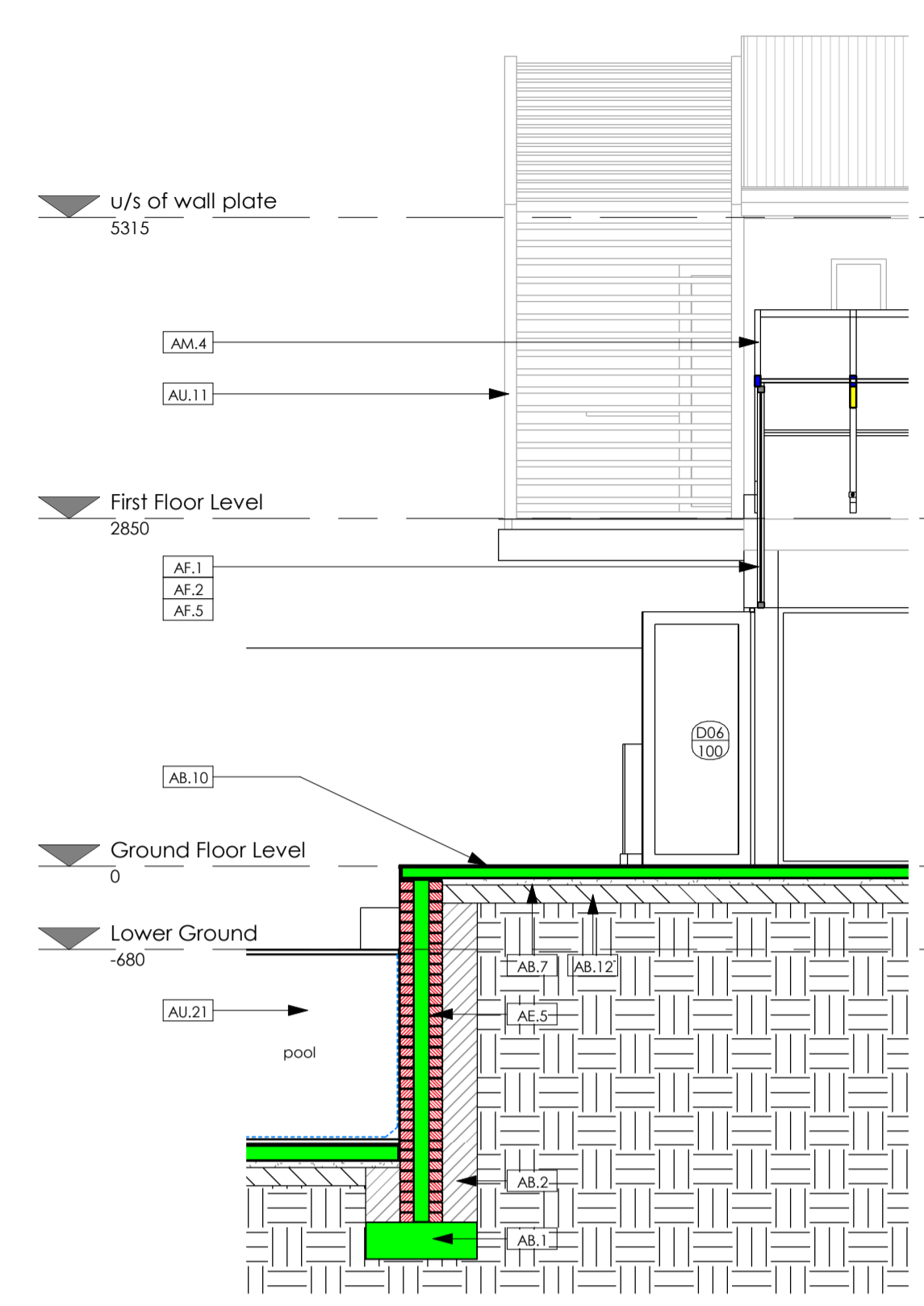
Project	Drawing name
Le Petit Manoir - Franschoek	Sections 01
Erf 1612	Date 2023-08-10
Client Le Petit Manoir	Drawing Reference 2221
Signatures J. Pretorius	Revision 1
Architect: Juan Pretorius	Page Size A1

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M04

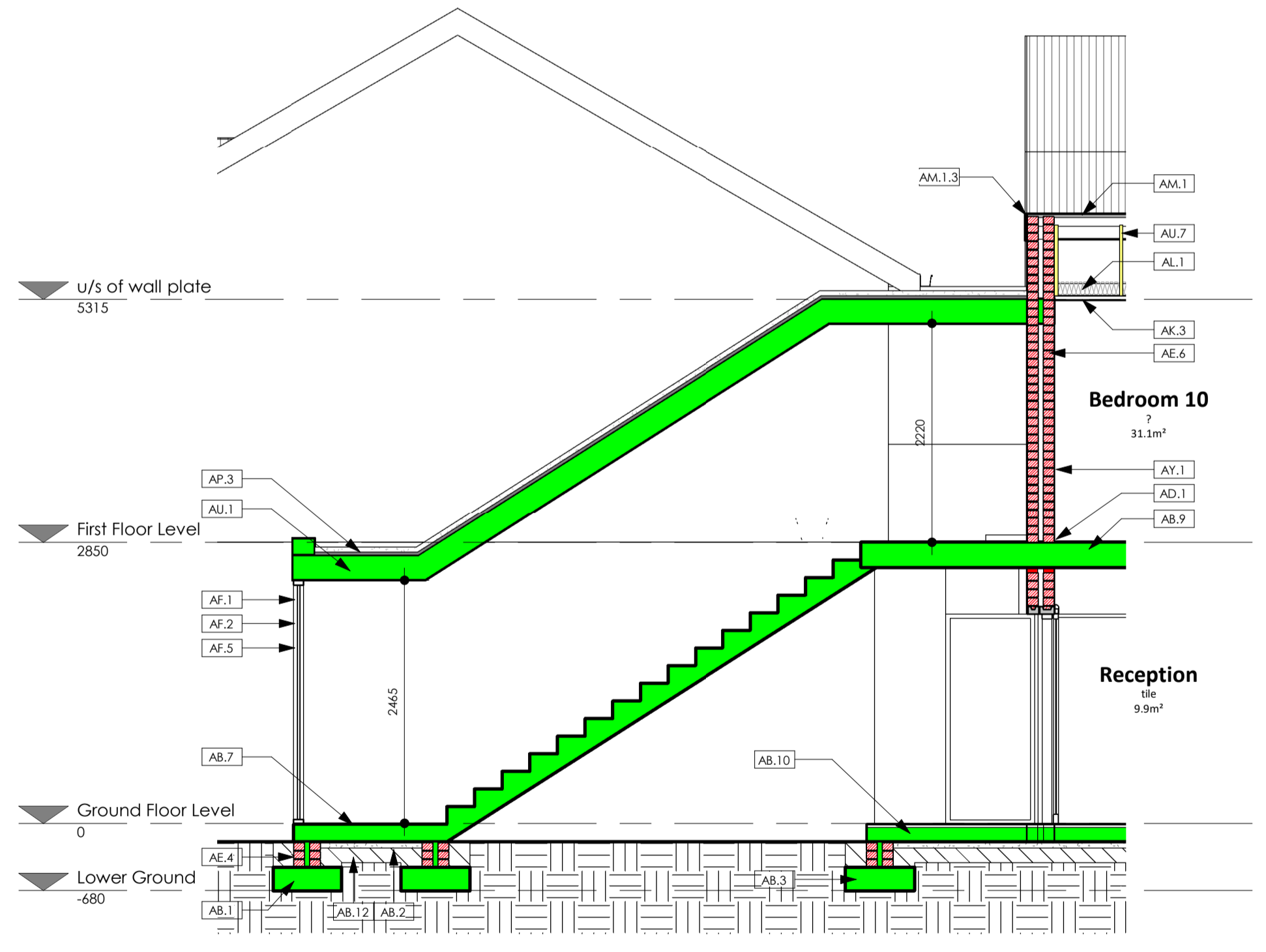
Municipal Stamps



Section 03
1 : 50



Section 04
1 : 50



Section 05
1 : 50

Keynote Legend	
Key Value	Keynote Text
AA.1	Refer to Engineer's drawings for all specifications and levels to roads, paved areas, foul water and storm water lay-outs, etc. Unless otherwise stated. All civil works levels and structural floor levels to be built according to the Engineer's drawings. All materials and construction including tolerances shall conform to the requirements of SANS 1200 - The Standardized Specification for Civil Engineering Construction.
AB.1	Reinforced concrete footings, ground beams and column bases as per Structural Engineer's foundation plan and specifications, typically initial 50mm binding layer under all structural concrete.
AB.2	Check ground conditions before commencing with final foundation excavation. Excavation to be checked and suitably verified by the Structural Engineer prior to casting foundations. The contractor is liable to inform the Local Authority's building inspectors and the principal agent of intended dates for inspecting the foundation excavations.
AB.3	Reinforced concrete surface bed and raft foundation design all in accordance with Structural Engineer's design, details, sub-base layerwork and specifications.
AB.7	50mm thick layer of clean builder's sand.
AB.9	Selected floor finish as per Architect's specification on 30mm screed layer on 255mm thick reinforced concrete floor and finish to Structural Engineers specifications and details.
AB.10	Selected floor finish as per Architect's specification on 30mm screed layer on 100mm thick concrete surface bed C28/35 fine stone concrete on 50 thickness cement stabilized sand gravel substrate over 150mm thickness G5 material compacted to 95% Mod Aasho over insitu platform of minimum G7 material compacted to 95% Mod Aasho.
AB.12	Fill Material: Selected fill material to Structural Engineers specifications and details, well compacted and free of organic matter.
AD.1	Skirting (timber): COLSK'S Swartland Pine, Victorian. Skirting. Painted with one coat of MIDAS ENVIROLITE wood primer, sanded down and painted with one coat MIDAS ENVIROLITE undercoat, sanded down and finished with two coats of MIDAS ENVIROLITE water based satin gloss enamel. Skirting fixed to wall with AUCOLIN SKIRTING BOARD ADHESIVE or equal approved glue. Important: Allow 6 hours minimum drying time between coats. Kindly note that the complete system as specified, including the Manufacturer's specific PREMABLES, are to be used or equally approved comprehensive paint system. Colour by Architect.
AE.4	Walls: Cavity filled foundation wall with brick force reinforcement spanning across the cavity at every 2nd course. Engineer to verify additional structural reinforcement requirements.
AE.5	Walls: All 340 cavity filled concrete walls to consist of brickwork bedded in class II mortar and to have staggered galvanized M/S butterfly cavity ties bedded in cement mortar - 5 ties per 150mm brickwork. Spacing not to exceed 5 brick courses in height and more than 1m apart. Install 150mm wide ladder type brickforce every 5 horizontal courses bedded in cement mortar. No brickforce to cross cavity. Unless otherwise specified by the engineer.
AE.6	Walls: All 270 cavity walls to consist of brickwork bedded in class II mortar and to have staggered galvanized M/S butterfly cavity ties bedded in cement mortar - 5 ties per 150mm brickwork. Spacing not to exceed 5 brick courses in height and more than 1m apart. Install 100mm wide ladder type brickforce every 5 horizontal courses bedded in cement mortar - with between 150mm to 300mm cover from the brickwork edge. No brickforce to cross cavity. Unless otherwise specified by the engineer.
AF.1	Custom made aluminium windows and shopfronts with powder coating finish, applied by a certified mark holder of SANS 1578 and SANS 1796, and manufactured in accordance with AAAMSA, SAGA, NBR and SABS regulations. All sections to receive 60-80micron powder coating and configured as per Schedules. All joints are to be mechanically jointed and adequately sealed with an approved sealant. As far as possible all glazed aluminium doors and windows to be factory glazed and wrapped in protective plastic. All glazing to illustrate the appropriate mark to confirm type of glass used, i.e. toughened glass.
AF.2	All glazing specification with regard to maximum sizes, appropriate thickness and performance to be checked and verified by a specialist. The responsibility of a compliant installation [SANS, AAAMSA, SAGGA, etc.] rest with the main contractor and his sub-contractor.
AF.5	The contractor is to inform the aluminium manufacturer as to when the openings are ready for measurement - All dimensions to be checked and verified on site prior to commencement of manufacture.
AH.1	Doors: All doors, door frames, transoms and finishing specifications as per Door Schedules.
AK.3	Ceilings: Everite Nutec 6mm thick plain ceiling boards, manufactured in accordance with SANS 9001:2000 carrying SANS 803:2005 mark, fixed to 38 x 50mm battens at 600mm centres using 32 x 2.5mm serrated ceiling nails at 150mm centres, minimum of 12mm from edge of board. All joints to be covered using H-profile white PVC jointing strips, all in accordance with the manufacturer's recommendations.
AK.4	Soffits Interior: Off-shutter concrete with 12mm plaster and Gyproc Rhinolite CretaStone applied to concrete surface. (Wash concrete surfaces with a cleaning agent to remove grease and oil. Rinse with water until all traces of cleaning agent are removed. Apply first coat of Grippon plaster bonding liquid using a paint roller. Allow it to dry. Apply a second coat of Grippon plaster bonding liquid using a paint roller. While the second coat of Grippon plaster bonding liquid is still tacky/wet apply Gyproc Rhinolite CretaStone to a minimum thickness of 3mm to 6mm thick and finish off with steel trowel) and paint finish. Refer to Finishing Schedule.
AL.1	Insulation: Isover 135mm thick Aerolite non-combustible light weight fibreglass Glasswool thermal ceiling insulation (2kg/m³) closely fitted with ends butted firmly between the beams and laid loose on top of transoms between roof timbers, all in accordance with manufacturer's recommendations. Climatic zone: Zone 4, R-value: 3.38m² K/W. Thermal conductivity: 0.04 W/m/K. Installation to be in strict accordance with manufacturer's specifications.
AM.1	Global Roofing Solutions 0.80mm thick 488mm cover IRR 686 profile 3004 Charcoal Grey Color-Tech G4 Aluminium roof sheeting, fixed to timber intermediate purlins at MAX. 1200mm centres and eaves and ridge purlins at MAX. 1200mm centres (final spacing to be calculated by an Engineer) using Hex Flange Head + EPDM Seal self-adhesive Type 17 drill point, Stainless Steel No. 12-11 x 85mm long fasteners (fastener lengths may vary depending on the insulation used or requirements). Purlin fixed to first, third, fifth and seventh crest of each sheet and of all crests at sheet ends, all following the manufacturer's specifications by a GRS approved contractor.
AM.1.3	Global Roofing Solutions 0.80mm thick 3004 Charcoal Grey Aluminium gable/barge, girth 462mm, fixed in accordance with manufacturer's specifications.
AM.4	Glazed roof structure to specialists design and instructions.
AP.3	Concrete Waterproofing: Approved Stone Ballast on 5 ply malthoid protection layer on a/b.e index fida or Unigrum F. 4 mm. Fully bonded on a balluprime primed surface on min 30mm screed to falls with soft joint where screed meets concrete vertically. All on Engineer and reinforced, suspended. Concrete slabs. Expansion joints to engineers detail using Dow Corning DC 813 C, silicone sealant.
AU.1	Reinforced concrete structure, retaining and waterproofing specifications to Structural Engineer's drawings and specifications.
AU.4	Reinforced concrete beams as per Structural Engineer's drawings and specifications.
AU.7	Engineered timber roof trusses / rafters ex. grade S7 sized or PAR CCA H3 treated S.A.Pine structural timber. Timber sizes, configuration and connection details all by Structural Engineer.
AU.11	Timber and Steel Structure to further detail.
AU.16	Demolish structure as shown by dashed lines. Contractor to make good all elements around demolished area and restore/paint to match existing.
AU.21	Foot waterproofing and details to Structural Engineer's details.
AV.2	BALLUSTRADE GLASS: 1000mm high floor (clamp) mounted glass balustrade with continuous stainless-steel handrail, mounted on finished floor, installed by approved specialist and to comply with AAAMSA and SANS 10400 PART N. Water proofing for balustrading to form part of balustrading installers works.
AY.1	Low shear joint to interior new cement plaster. Lightly sand down all surfaces to provide smooth smooth surfaces. Clean down all surface dust, grease and dirt. Scrape off all loose material and cement splashes. Rake out all cracks, other than hairline cracks, greater than 0.5mm, blow holes or other minor defects and fill with Midas Envirofill SKIM-FILL INTERIOR (or similar approved). Repair damaged plasterwork using Pointonite PLASTER REPAIR (or similar approved) as recommended. IMPORTANT: All substrates must be dry before painting, with a moisture content not exceeding 7%, as measured with an approved moisture meter. For a smooth finish to floated plastered surfaces, apply a scraper coat of Midas Envirofill SKIM-FILL INTERIOR (or similar approved) directly to raw plastered walls. Spread rate approximately 2 - 3m²/kg depending on the roughness/texture of the surface. Important: Allow 4 - 8 hours minimum drying time between the application of the finishing coats. Apply one coat of Midasmax 190 (or similar approved) PLASTER PRIMER to prepared surfaces, allow 12 hours drying time. Thoroughly stir and apply a minimum of two coats of Midalux 240 to prepared surfaces using a roller. Allow 6 hours between coats. Spread rate approximately 9m²/litre/coat. Kindly note that the complete system as specified, including the Manufacturer's specific PREMABLES, are to be used or equally approved comprehensive paint system. Colour to be selected from the Midas 300 range by Architect.

Construction Notes

All dimensions to be checked on site before construction commences. All dimensions are given in millimeters, unless otherwise specified. Contractors to adhere to all local authority's regulations and requirements.

These architectural drawings to be read in conjunction with engineers and consultants drawings where applicable. All building work to be carried out in accordance with the national building regulations. The contractor is responsible for all site visits by local inspectors and pay all fees in connection therewith. All drainage work to be carried out in accordance with the national building regulations. All roof measurements to be taken on site by roof specialist prior to roof construction. All tile layouts to be confirmed with architect prior to commencement of tiling. Any discrepancies must be clarified by the architect prior to commencement of work.



Revision Number	Description	Date
1	1. Notes added on boundary and gates at boundary wall. 2. Extract fan noted at pool wc's. 3. Fire plan Added.	2023-06-23

Municipal Information	
Zoning	Mixed Use Zone
Area of Erf	882 m²
Existing Coverage	277 m²
Additional Coverage	124 m²
Total Coverage	401 m²
Coverage Percentage	45 %
Existing Floor Area	452 m²
Additional Floor Area	227 m²
Total Floor Area	679 m²
Additional Deck Area	-- m²
Total Deck Area	-- m²
Total Pool Area	47 m²
Garages	-- Bathrooms
Boundary Walls	-- Age of Building

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Shop 1, 16 Wharf Street, Port Alfred, South Africa
SACAP REGISTRATION NUMBER : PSAT 24722389

Project
Le Petit Manoir - Franschoek

Erf 1612 **Allotment** Franschoek

Client
Le Petit Manoir

Signatures
Architect: Juan Pretorius

Drawing name
Sections 02

Date 2023-08-10 **Scale** 1 : 50

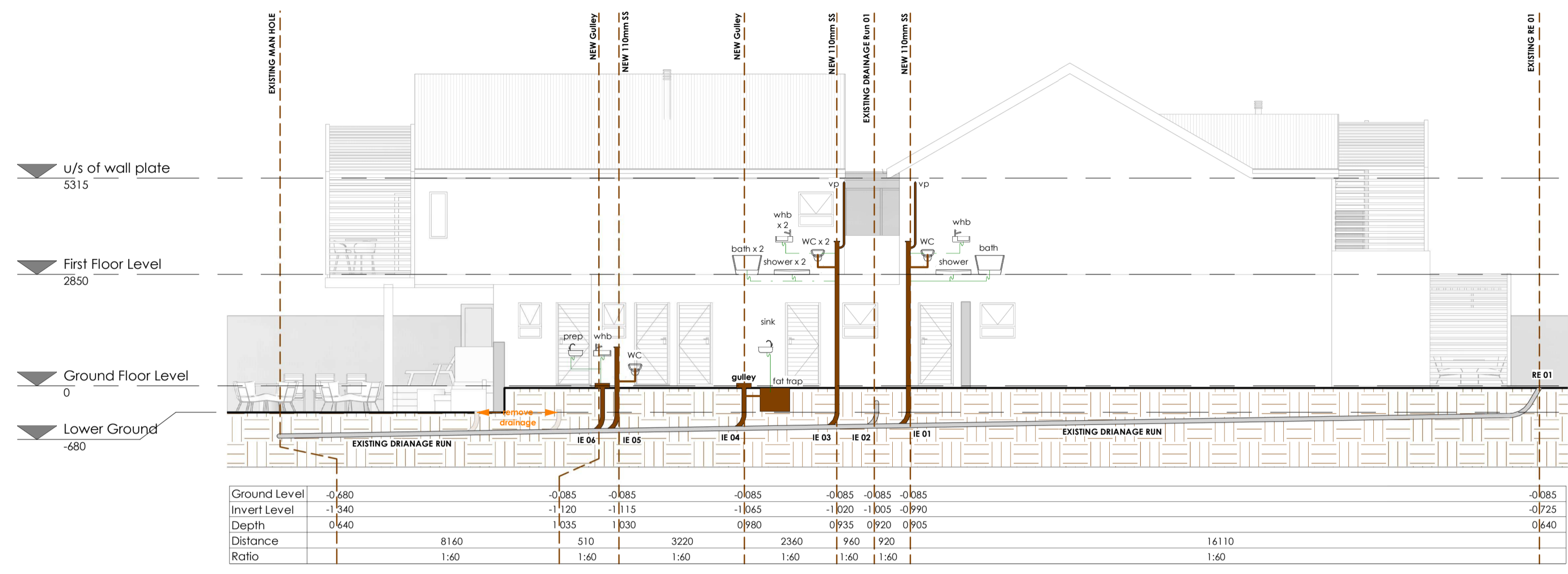
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Revision 1 **Page Size** A1

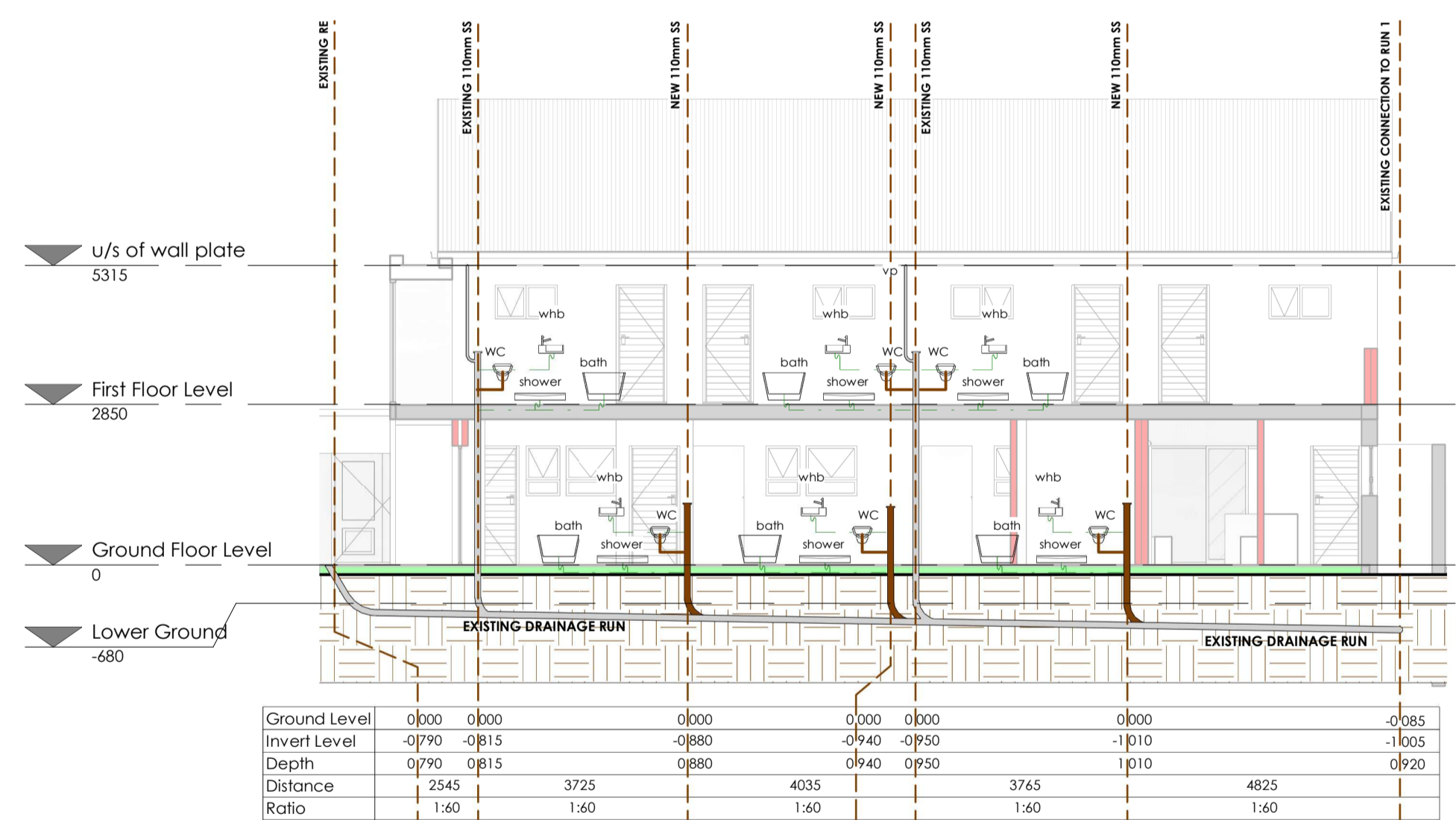
M05

Municipal Drawings

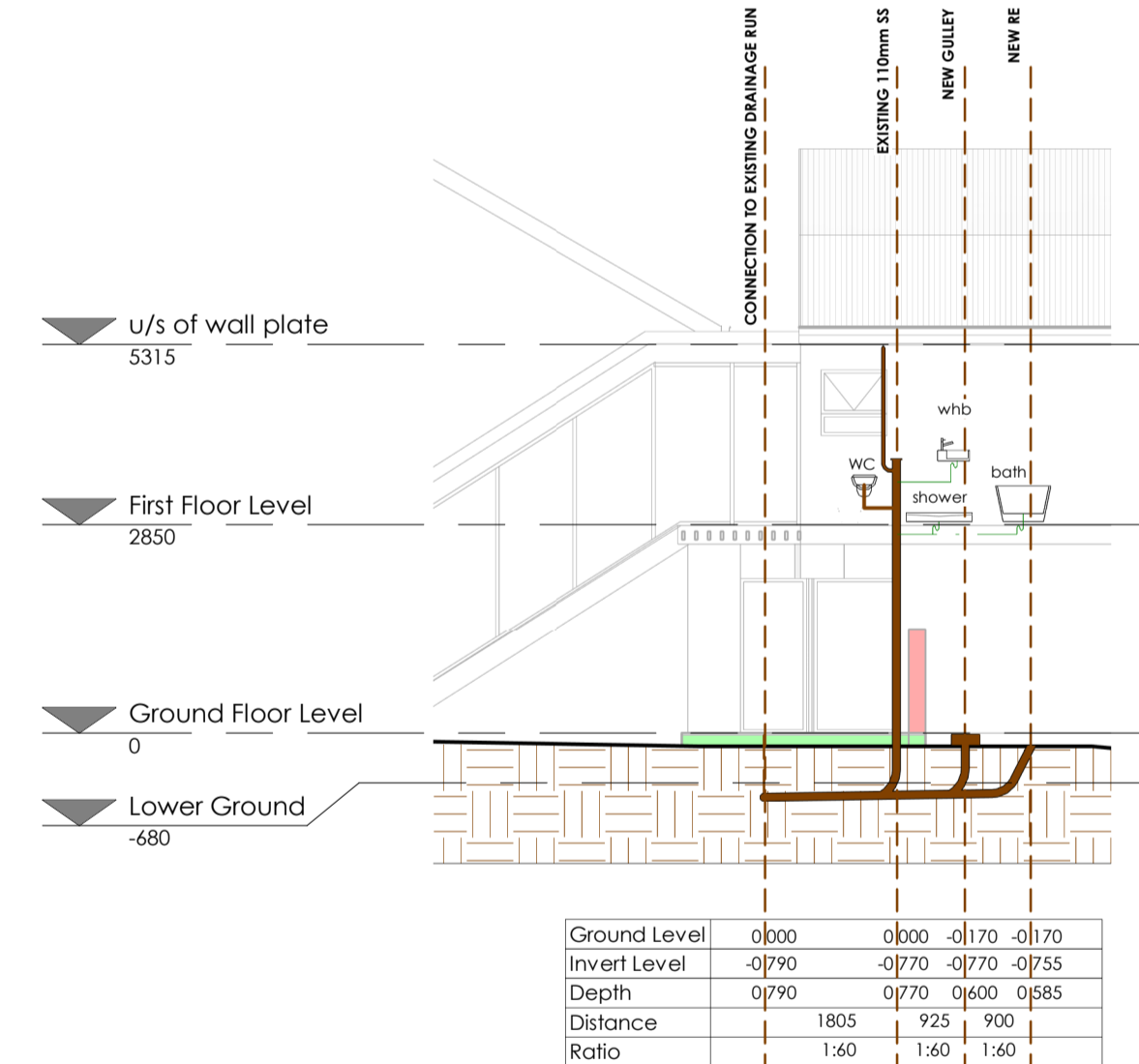
Municipal Stamps



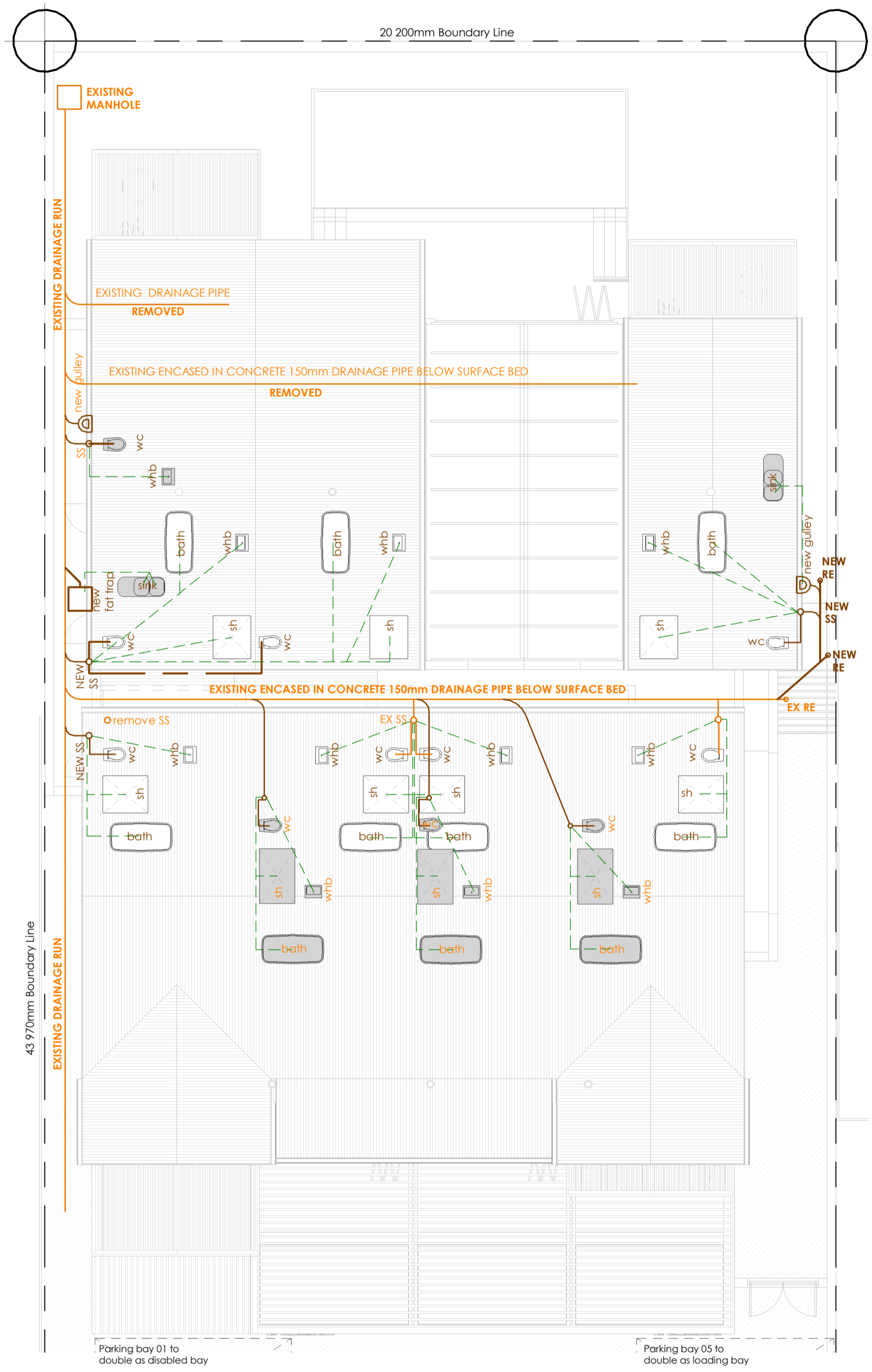
Drainage Run 01
1 : 100



Drainage Run 02
1 : 100



Drainage Run 03
1 : 100



Drainage Plan
1 : 100

Construction Notes
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Revision Number	Description	Date
1	1. Notes added on boundary and gates at boundary wall. 2. Extract fan noted at pool wc's. 3. Fire plan Added.	2023-06-23

Municipal Information	
Zoning	Mixed Use Zone
Area of Erf	882 m ²
Existing Coverage	277 m ²
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Total Coverage	401 m ²
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Total Floor Area	679 m ²
Additional Deck Area	-- m ²
Total Deck Area	-- m ²
Total Pool Area	47 m ²
Garages	-- Bathrooms
Boundary Walls	-- Age of Building

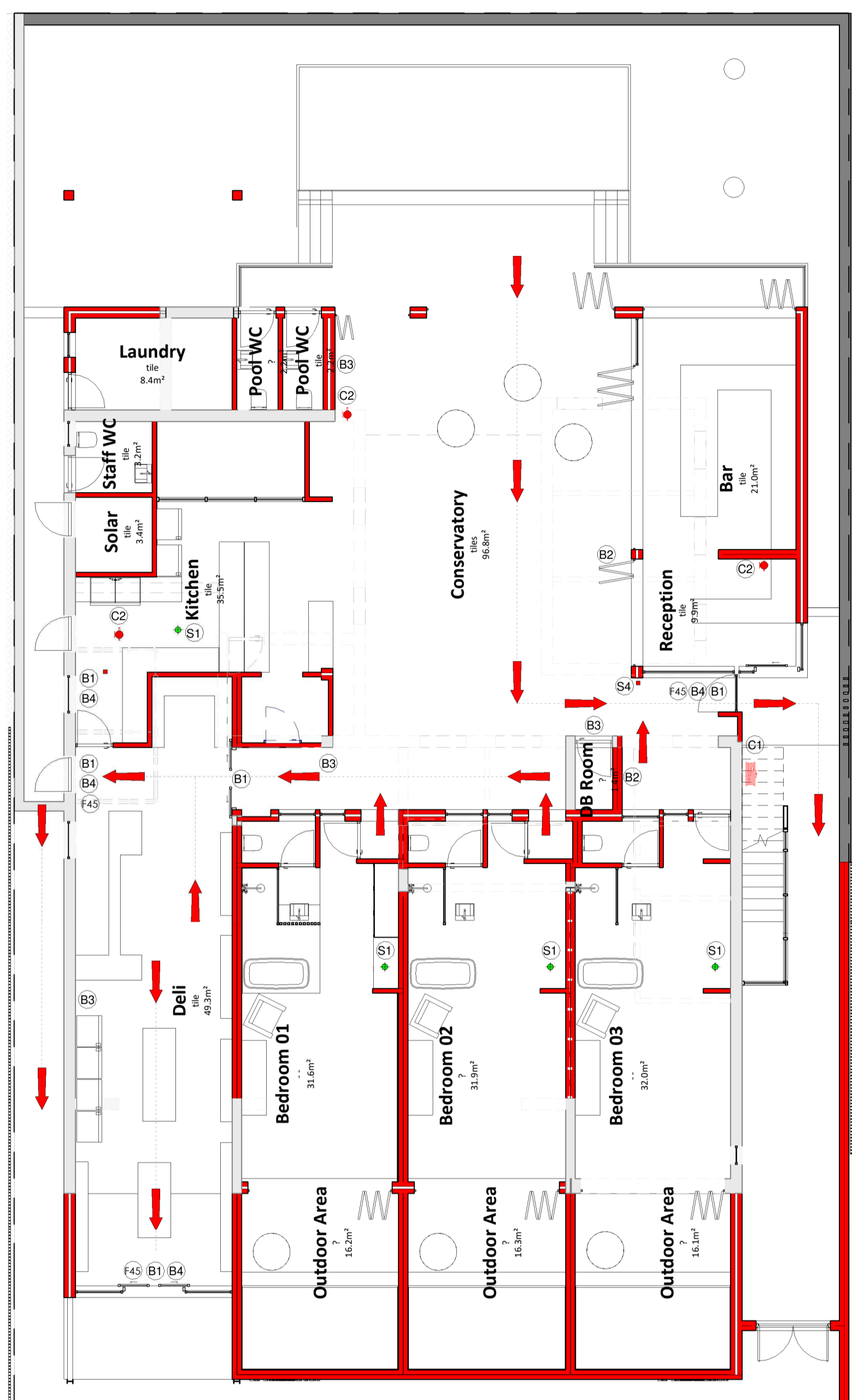
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 Shop 1, 16 Wharf Street, Port Alfred, South Africa
 SACAP REGISTRATION NUMBER : PSAT 24722389

Project: Le Petit Manoir - Franschoek
 Erf: 1612
 Client: Le Petit Manoir
 Signatures: J. Pretorius
 Architect: Juan Pretorius

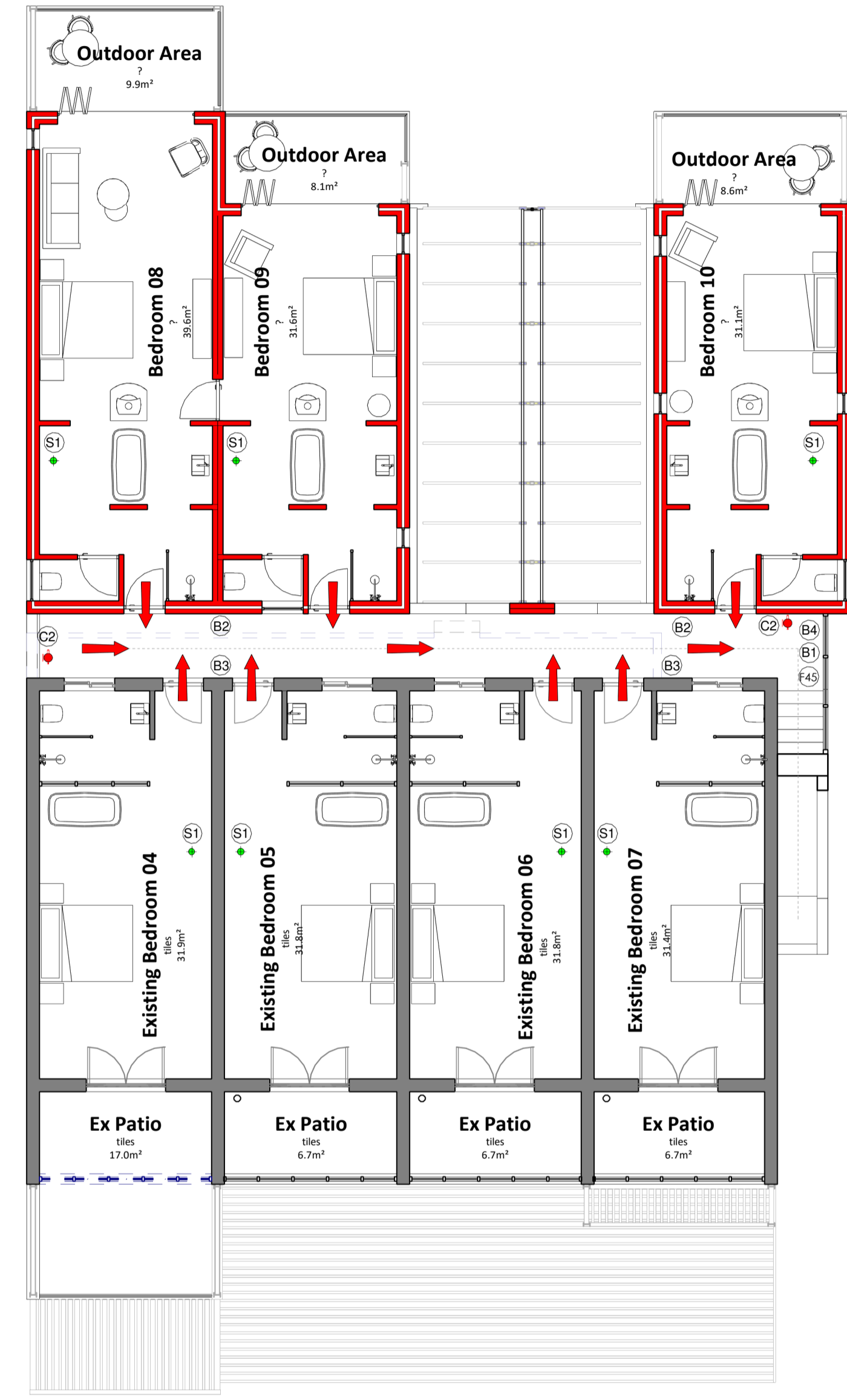
Municipal Drawings

Drawing name: _____
 Drainage
 Date: 2023-08-10
 Drawing Reference: 2221
 Revision: 1
 Scale: 1 : 100
 Page Size: A1
M06

Municipal Stamps



Fire Plan - Ground Floor
1 : 100



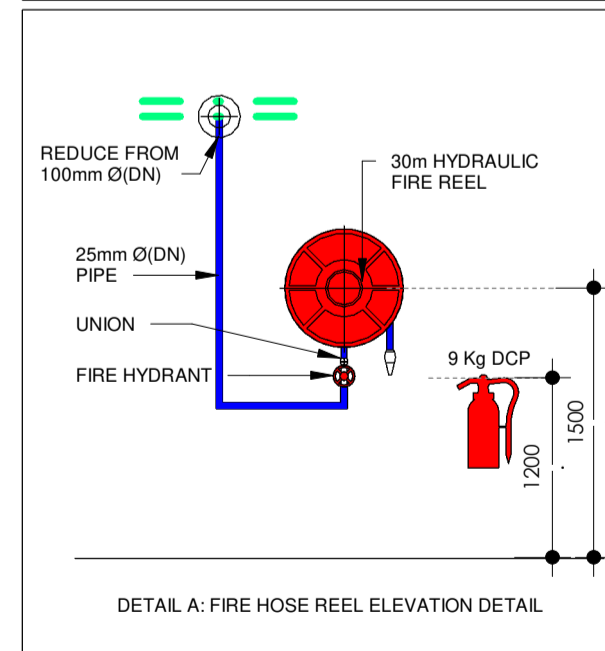
Fire Plan - First Floor
1 : 100

- WARNING / SYMBOLIC SAFETY SIGNS**
to be PHOTOLUMINESCENT on PVC
- DIRECTION / FIRE ESCAPE**
- B1 450x900mm Silkscreen on PVC Sign to be fixed to wall
 - B2 450x900mm Silkscreen on PVC Sign to be fixed to wall
 - B3 450x900mm Silkscreen on PVC Sign to be fixed to wall
 - B4 150x340mm Silkscreen on PVC Sign to be hanging from ceiling
 - B5 150x150mm Silkscreen on PVC Sign to be fixed to door
 - B6 150x340mm Silkscreen on PVC Sign to be fixed to wall

- WARNING / SYMBOLIC SAFETY SIGNS**
to be PHOTOLUMINESCENT on PVC
- SIGNAGE**
- F25 450 x 450mm Silkscreen on PVC Sign to be fixed to wall
 - F26 450 x 450mm Silkscreen on PVC Sign to be fixed to wall
 - F27 450 x 450mm Silkscreen on PVC Sign to be fixed to wall
 - F33 450 x 450mm Silkscreen on PVC Sign to be fixed to wall
 - F45 150 x 450mm Silkscreen on PVC Sign to be fixed to wall

- WARNING / SYMBOLIC SAFETY SIGNS**
to be PHOTOLUMINESCENT on PVC
- INFORMATION FIRE FIGHTING**
- C1 200x400mm Silkscreen on PVC Sign to be fixed to wall at 2100mm from FFL
 - C2 200x400mm Silkscreen on PVC Sign to be fixed to wall at 2100mm from FFL

- DOORS**
- D1 40mm Solid HardCore door fitted with self closing mechanism and thumb lock.
- FIRE WATER PIPE SUPPLY**
- R Reducer
 - P1 Main Water Supply - Class 16 uPVC Pipe
 - P2 Water Supply Connection - Class 16 uPVC Pipe
 - P3 Water Supply Connection Above ground - Hot dipped Galvanized Pipe to comply with SANS 10 783
- FIRE DETECTION / WARNING EQUIPMENT**
- S1 Point Smoke Detector
 - S2 Sounder / Strobe
 - S3 Smoke Detector Repeater Panel with Plug point
 - S4 Break Glass Panel
 - S5 Stop-cock (Shut-off Valve)



	30m HYDRAULIC FIRE HOSE REEL
	9Kg DRY CHEMICAL POWDER FIRE EXTINGUISHER

Construction Notes

All dimensions to be checked on site before construction commences. All dimensions are given in millimeters, unless otherwise specified. Contractors to adhere to all local authority's regulations and requirements.

These architectural drawings to be read in conjunction with engineers and consultants drawings where applicable. All building work to be carried out in accordance with the national building regulations. The contractor is responsible for all site visits by local inspectors and pay all fees in connection therewith. All drainage work to be carried out in accordance with the national building regulations. All roof measurements to be taken on site by roof specialist prior to roof construction. All tile layouts to be confirmed with architect prior to commencement of tiling. Any discrepancies must be clarified by the architect prior to commencement of work.



Revision Number	Description	Date
1	1. Notes added on boundary and gates at boundary wall. 2. Extract fan noted at pool wc's. 3. Fire plan Added.	2023-06-23

Municipal Information	Value
Zoning	
Area of Erf	m ²
Existing Coverage	m ²
Additional Coverage	m ²
Total Coverage	m ²
Coverage Percentage	%
Existing Floor Area	m ²
Additional Floor Area	m ²
Total Floor Area	m ²
Additional Deck Area	m ²
Total Deck Area	m ²
Total Pool Area	m ²
Garages	
Boundary Walls	
Bathrooms	
Age of Building	

JP JUAN PRETORIUS ARCHITECTURE
and interior design

☎ + 27 83 301 7457 | 📧 + number to follow
@ juan@jparchitecture.co.za | www.jparchitecture.co.za

Shop 1, 16 Wharf Street, Port Alfred, South Africa
SACAP REGISTRATION NUMBER : PSAT 24722389

Project	Client
Le Petit Manoir - Franschoek	Le Petit Manoir
Erf 1612	Signatures
Allotment Franschoek	<i>J. Pretorius</i>
	Architect: Juan Pretorius

Municipal Drawings

Drawing name	Scale
Fire Plan	As indicated
Date	2023-08-10
Drawing Reference	2221
Revision	1
Page Size	A1

M07

TAX INVOICE



STELLENBOSCH
STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNICIPALITY • UMASIPALA • MUNISIPALITEIT

PO BOX 17, STELLENBOSCH, 7599

PLANNING & ECONOMIC DEVELOPMENT: PLANNING

DATE:	2023-07-24	DOCUMENT NO:	753441
ERF / FARM NO:	1612	CREATED BY:	Nicole Katts
LOCALITY:	54 Huguenot Street , FRANSCHHOEK	APPLICATION NO:	LU/15864
OWNER'S NAME:	Brian Groenewald	APPLICATION VAT NO:	4340274176
ADDRESS:	54 Huguenot Street	VAT NO:	4700102181
		APPLICANT:	Juan Pretorius - Juan Pretorius Architecture
		TEL NO:	0833017457

FEE DESCRIPTION	AMOUNT PER UNIT (R)	NUMBER OF UNITS	VOTE NUMBER	AMOUNT (R)					
PERMANENT DEPARTURE - Departure applications including but not limited to building lines, coverage, height, bulk, parking, Per applications per property	2600.00	1	20220630081392	2600.00					
<div style="border: 2px solid black; padding: 10px; transform: rotate(180deg); text-align: center;"> <p>RECEIVED</p> <p>04 AUG 2023</p> <p>STELLENBOSCH MUNICIPALITY PLANNING AND ECONOMIC DEVELOPMENT SERVICES</p> </div>									
					REAR: E1612 FH				

TOTAL AMOUNT PAYABLE 2600.00

VAT INCLUDED @ 15% 339.13

NEW TARIFFS IMPLEMENTED ON 1 JULY ANUALLY

CALCULATED BY

NAME: Nicole Katts
SIGNATURE

DATE: 24.07.2023.

PAYMENTS MUST BE MADE AT THE APPLICABLE DISTRICT OFFICE
CHEQUES TO BE MADE PAYABLE TO STELLENBOSCH MUNICIPALITY

APPLICANT TO RETURN THIS FORM TO THE ADVICE CENTRE FOR DIRECTOR: PLANNING & ECONOMIC DEVELOPMENT

VERIFIED BY

NAME:
SIGNATURE

DATE:

BANKING DETAILS FOR EFT PAYMENT:

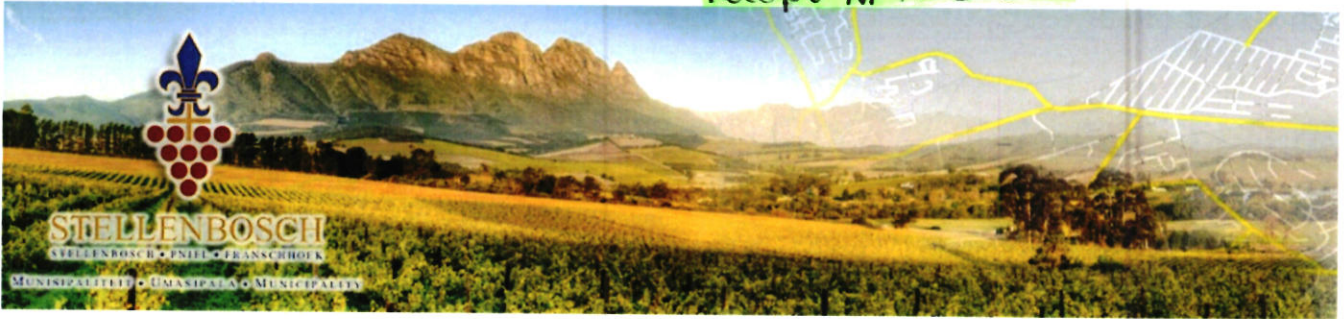
ACCOUNT HOLDER: Stellenbosch Municipality
BANK: First National Bank (FNB)
ACCOUNT NUMBER: 62869253684
BRANCH CODE: 210554
REFERENCE: LU/ _____ and ERF/FARM _____

Please use both the Land Use Application number and the Erf/Farm number indicated on this invoice as a reference when making EFT payment.

0.00

0

Receipt Nr : 232432



Enquiries **Phone Number** **E-mail**
Nicole Katts 021808 8111 Nicole.Katts@stellenbosch.gov.za

BTW/VAT Invoice No: 14233

Invoice VAT Reference: 4700102181

Name: Brian Groenewald

Invoice Date: 2023/7/24

Reference No: TP428/2023

Payment Due Date: 2023/8/23

Client Street address: 3 Boundary Road Port Alfred Port
Alfred Western Cape South Africa 6170

Municipality street address: PLEIN STREET
STELLENBOSCH STELLENBOSCH Western Cape 7600

Client Postal address: 3 Boundary Road Port Alfred Port
Alfred Western Cape South Africa 6170

Municipality postal address: PLEIN STREET
STELLENBOSCH STELLENBOSCH Western Cape 7600

Client VAT No: 4340274176

Town Planning Application Fees

Vote No	Description	Qty	Rate	UoM	Amount (Incl VAT)
20220630081392	Departure applications including but not limited to building lines, coverage, height, bulk, parking.	1	2 600.00	Per application per property	2 600.00
Total Excl VAT					2 260.87
VAT					339.13
Invoice Total					2 600.00

*VAT Exempt

Created By: Petersen, Nicole

Signature: _____ 

Verified By: Petersen, Nicole

Signature: _____ 

Please note that application fees that are paid to the municipality are non-refundable and proof of payment must accompany the application. It is the responsibility of the applicant to ensure that the payment is made into the correct account.

Bank Details: First National Bank Acc# 62869253684 Branch Code 250655

Please use the following as reference number: TP428/2023

To expedite the application, please send proof of payment by e-mail or fax as per the detail above.

1 29/07/2023 11 4 1000233047	4521.74- N A:DIR1	4331 TP437/2023 L
1 31/07/2023 11 4 1000233144	478.27- N A:DIR1	4331 LU/15882 LAN
1 31/07/2023 11 4 1000233237	2260.87- N A:DIR1	4331 TP371/2023 E
1 31/07/2023 11 4 0000485499	478.26- N A:CASH2	2715B202307310016

Total: 85912.92-

Grand Total: 85912.92-
=====

From: Bulelwa Mdoda <Bulelwa.Mdoda@ Stellenbosch.gov.za>
Sent: Wednesday, August 2, 2023 9:13 AM
To: Sharise De Klerk <Sharise.Deklerk@ Stellenbosch.gov.za>
Cc: Nicole Katts <Nicole.Katts@ Stellenbosch.gov.za>; Nolusindiso Momoti <Nolusindiso.Momoti@ Stellenbosch.gov.za>
Subject: RECEIPTS

Morning Sharise;

Can we please have receipt numbers.



Kind regards,
Bulelwa Mdoda
Land Use Management
Planning & Economic Development

T: +27 21 808 8690
1st Floor, NPK Building
Cnr Plein and Ryneveld Street
Stellenbosch
7600
www.stellenbosch.gov.za



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http://www.stellenbosch.gov.za/main_pages/disclaimerpage.htm

Nicole Katts

From: Sharise De Klerk
Sent: Wednesday, 02 August 2023 09:15
To: Bulelwa Mdoda
Cc: Nicole Katts; Nolusindiso Momoti
Subject: RE: RECEIPTS

Local Authority : STB Stellenbosch Municipality LIVE Vote : 12200103450000
Financial Year : 2023 Period : 1 Level : 4

Pr Post.	Date	TC LV Reference	Amount	Lt.	Comment
1	03/07/2023	11 4 1000230984	1956.23-	N A:DIR1	4331 LU13948 ERF
1	04/07/2023	11 4 1000231065	2173.92-	N A:DIR1	4331 TP375/2023 L
1	05/07/2023	11 4 1000231164	434.79-	N A:DIR1	4331 LU/15703 ERF
1	05/07/2023	11 4 1000231187	434.79-	N A:DIR1	4331 LU/15761 ERF
1	06/07/2023	11 4 1000231262	2173.92-	N A:DIR1	4331 TP252/2023 F
1	07/07/2023	11 4 1000231432	2173.92-	N A:DIR1	4331 TP396/2023 L
1	10/07/2023	11 4 1000231546	2173.92-	N A:DIR1	4331 TP321/2023 L
1	10/07/2023	11 4 1000231560	2260.87-	N A:DIR1	4331 TP219/2022 E
1	10/07/2023	11 4 0000395344	869.57-	N A:CASH3	2502B202307100016
1	12/07/2023	11 4 1000231631	2260.87-	N A:DIR1	4331 LU/15801 ERF
1	13/07/2023	11 4 1000231726	2260.87-	N A:DIR1	4331 TP402/2023 L
1	14/07/2023	11 4 1000231753	2260.87-	N A:DIR1	4331 LU/15810 ERF
1	14/07/2023	12 4 1000231730	2260.87-	N TP406/2023	OR LB202307140011
1	17/07/2023	11 4 1000231919	2260.87-	N A:DIR1	4331 TP422/2023 L
1	18/07/2023	11 4 0000395545	478.26-	N A:CASH3	2507B202307180016
1	19/07/2023	12 4 1000231954	2260.87-	N TP409/2023	LANDB202307190016
1	20/07/2023	11 4 1000232064	2173.92-	N A:DIR1	4331 TP401/2023
1	20/07/2023	11 4 1000232073	478.27-	N A:DIR1	4331 LU/15822 ERF
1	21/07/2023	11 4 1000232115	478.27-	N A:DIR1	4331 LU/15837 -60
1	21/07/2023	11 4 1000232140	434.79-	N A:DIR1	4331 LU/15710 ERF
1	24/07/2023	11 4 1000232185	2260.87-	N A:DIR1	4331 LU/15841 ERF
1	24/07/2023	11 4 1000232196	869.57-	N A:DIR1	4331 LU/15667 ERF
1	24/07/2023	11 4 1000232206	478.27-	N A:DIR1	4331 LU/15850 LAN
1	24/07/2023	11 4 1000232219	1434.79-	N A:DIR1	4331 LU/13144 FAR
1	25/07/2023	11 4 1000232378	913.05-	N A:DIR1	4331 LU/15866 FAR
1	25/07/2023	11 4 1000232432	2260.87-	N A:DIR1	4331 TP428/2023 B
1	25/07/2023	12 4 1000231138	4347.84-	N TP164/2022	LANDB202307250014
1	25/07/2023	12 4 1000231791	4347.83-	N TP388/2023	LANDB202307250014
1	25/07/2023	12 4 1000232159	9043.48-	N TP368/2023	FARMB202307250015
1	25/07/2023	12 4 1000231395	869.57-	N LU/11470	ERF 1 B202307250015
1	25/07/2023	12 4 1000231531	869.57-	N LU/11470	ERF 1 B202307250015
1	25/07/2023	12 4 1000231755	86.96-	N LU/11470	ERF 1 B202307250015
1	25/07/2023	12 4 1000231756	86.96-	N LU/11470	ERF 1 B202307250015
1	26/07/2023	11 4 1000232661	4521.74-	N A:DIR1	4331 TP168/2022 F
1	26/07/2023	11 4 1000232669	6782.61-	N A:DIR1	4331 TP414/2023 F
1	27/07/2023	11 4 1000232724	43.48-	N A:DIR1	4331 LU/15876 ERF
1	27/07/2023	11 4 1000232813	2173.92-	N A:DIR1	4331 TP379/2023 E
1	27/07/2023	11 4 1000232814	2260.87-	N A:DIR1	4331 TP427/2023 L
1	27/07/2023	11 4 1000232815	2260.87-	N A:DIR1	4331 TP340/2023 B



Notification of Payment

Nedbank Limited confirms that the following payment has been made:

Date of Payment : 25/07/2023
Reference Number : 2023-07-25/Nedbank/004131040640

Beneficiary details

Recipient : Stellenbosch Municipality
Amount : R2600.00
Recipient Reference : TP428/2023
Bank : FIRST NATIONAL BANK
Account Number : ...253684
Channel : Internet payment

Payer details

Paid from Account Holder : LE PETIIT MANOIR PTY LTD

Nedbank will never send you an e-mail link to access Verify payments, always go to Online Banking on www.nedbank.co.za and click on Verify payments.

This notification of payment is sent to you by Nedbank Limited Reg No 1951/000009/06. Enquiries regarding this payment notification should be directed to the Nedbank Contact Centre on 0860 555 111. Please contact the payer for enquiries regarding the contents of this notification.

Nedbank Ltd will not be held responsible for the accuracy of the information on this notification and we accept no liability whatsoever arising from the transmission and use of the information.

Payments may take up to three business days. Please check your account to verify the existence of the funds.

Note: We as a bank will never send you an e-mail requesting you to enter your personal details or private identification and authentication details.

Nedbank Limited email disclaimer

This email and any accompanying attachments may contain confidential and proprietary information. This information is private and protected by law and, accordingly, if you are not the intended recipient, you are requested to delete this entire communication immediately and are notified that any disclosure, copying or distribution of or taking any action based on this information is prohibited. Emails cannot be guaranteed to be secure or free of errors or viruses. The sender does not accept any liability or responsibility for any interception, corruption, destruction, loss, late arrival or incompleteness of or tampering or interference with any of the information contained in this email or for its incorrect delivery or non-delivery for whatsoever reason or for its effect on any electronic device of the recipient. If verification of this email or any attachment is required, please request a hard copy version.

Security Code : D9663B43498E23841F728E19643B13C7C2898114

Outstanding information: Application for departure: Erf 1612, Franschoek.

1. Application for departure for both the departure from the parking requirements and the departure from the building lines.
2. A full set of building plans must be submitted.
3. A company resolution must be submitted, granting power of attorney to individual signing any documentation or submitting applications on behalf of the company.
4. The power of attorney must specifically refer to the authorization to apply for both departures in terms of the Stellenbosch Municipal Land Use Planning Bylaw 2023.
5. A copy of the erf diagram must also be submitted.
6. A schedule must be included on the building plans listing all the required parameters (building lines, coverage, parking requirements, etc), what is proposed, where departures is required and which parameters are complied with.

A handwritten signature in blue ink, appearing to be 'R. P. S.', is located in the lower right quadrant of the page. The signature is written in a cursive style with a horizontal line underneath.

Nicole Katts

From: Juan Pretorius <juan@jparchitecture.co.za>
Sent: Monday, 17 July 2023 09:54
To: Nicole Katts
Cc: morne@jparchitecture.co.za
Subject: RE: [EX] ID: 428 REF TP428/2023
Attachments: 2023-07-13 Le Petit Manoir Municipal SET.pdf; 2023-07-13 LPM Land-Use-Application-Form.pdf; 2023-07-13 Parking Letter A.pdf; 2023-07-13 Site Plan A.pdf; JPA - POA 2023 LPM LUP.pdf; LPM Company Resolution.pdf; SG Diagram 11295862.TIF

Thanks so much Nicole.

Absolute life saver!

Attached here:

Kind Regards

| Juan Pretorius

Mobile +27 83 301 7457 | juan@jparchitecture.co.za | www.jparchitecture.co.za



From: Nicole Katts <Nicole.Katts@stellenbosch.gov.za>
Sent: Monday, July 17, 2023 9:32 AM
To: Juan Pretorius <juan@jparchitecture.co.za>
Cc: morne@jparchitecture.co.za
Subject: RE: [EX] ID: 428 REF TP428/2023

Good day Juan

Please forward it to me directly and stipulate what has been amended I will add it to the original application and I will upload it to the portal accordingly.

Kind regards / Vriendelike Groete
Nicole Katts
Administrative Officer
Development Management
Planning & Economic Development



T: +27 21 808 8318
NPK Building, 20 Plein Street
Stellenbosch, 7600
www.stellenbosch.gov.za



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http://www.stellenbosch.gov.za/main_pages/disclaimerpage.htm



STELLENBOSCH
STELLENBOSCH • PNEEL • FRANSKHOEKE
MUNICIPALITEIT • UMABIPALA • MUNICIPALITY



About Stellenbosch Municipality

Our mission is to deliver cost-effective services that will provide the most enabling environment for civil and corporate citizens.



Our head office is at Town House Complex, Plein Street, Stellenbosch, 7600, South Africa. For more information about Stellenbosch Municipality, please call +2721-808-8111, or visit www.stellenbosch.gov.za

Disclaimer:

The information contained in this communication from nicole.katts@stellenbosch.gov.za sent at 2023-07-17 09:32:06 is confidential and may be legally privileged. It is intended solely for use by juan@jparchitecture.co.za and others authorized to receive it. If you are not juan@jparchitecture.co.za you are hereby notified that any disclosure, copying, distribution or taking action in reliance of the contents of this information is strictly prohibited and may be unlawful. Powered by [IOCO](#)

From: Juan Pretorius <juan@jparchitecture.co.za>
Sent: Monday, 17 July 2023 09:26
To: Nicole Katts <Nicole.Katts@stellenbosch.gov.za>
Cc: morne@jparchitecture.co.za
Subject: FW: [EX] ID: 428 REF TP428/2023

Hi Nicole

Are you able to assist with our request below?

We have changed the documents where needed and would like to upload new and revised docs. We are concerned if we upload "duplicate documents" that the wrong document might be looked at?

Please advise.

Kind Regards

| Juan Pretorius

Mobile +27 83 301 7457 | juan@jparchitecture.co.za | www.jparchitecture.co.za





JUAN PRETORIUS ARCHITECTURE
and interior design

13 July 2023

Our Ref: 2221

Stellenbosch Municipality

Town House Complex
Plein Street
Stellenbosch
7600

ATTENTION: MR PEDRO APRIL

PARKING | LETTER OF MOTIVATION: ERF 1612 FRANSCHHOEK

As per the Stellenbosch municipal zoning scheme for mixed use zoned properties operating as tourist accommodation establishments, we require the following:

Area & Site Information Table
<u>Parking Calculations</u> Total Hotel Suites: 10 Required Parking: 0,7 bay per bedroom or suite
0.7 x 10 = 7 Parking Bays
Deli Area: 50m ² Required Parking: 4 bays per 100m ² gross leasable area
2 Parking Bays
TOTAL REQUIRED PARKING BAYS: 9 TOTAL PROVIDED PARKING BAYS: 8
Loading bay required - 1 Loading Bay provided - 1 (shared with parking bay 05)
Disabled bay required - 1 Disabled bay provided - 1 (shared with parking bay 01)

We would hereby like to motivate that our 8no parkings would be sufficient.

The facility serves two functions. ONE - A small deli for day trade only and TWO - Guest rooms mainly require parking at night. Guests vacate the rooms during the day to visit other attractions within the area and free up parking for day trade. When the deli closes this will then free up space for the evening trade.

Please also consider the below points:

1. There are 8no parking bays, well positioned with adequate reversing space.
2. There are many off-street parking bays available for use.
3. There are 40 plus parking bays across the road at the local market.
4. Our airport pickup service reduces the need for 9 parking bays.



JUAN PRETORIUS ARCHITECTURE
and interior design

5. The ever growing E-Hailing service (UBER, etc) further reduces the need to have the required 9no parking bays.
6. Our facility is centrally located and is walking distance from most other facilities.
7. Our “tuk-tuk” service offers guests the opportunity to go anywhere.

We hereby request that you consider our application to offer 8no parking bays instead of the required 9no parking bays.

Loading Bay Required -1. We hereby request that parking bay 05 may serve a dual purpose. The Deli is a mere 50m2 and will receive one delivery per week from a vehicle no bigger than a standard LDV. Deliveries take no longer than 15min and this will then free up the parking for other patrons.

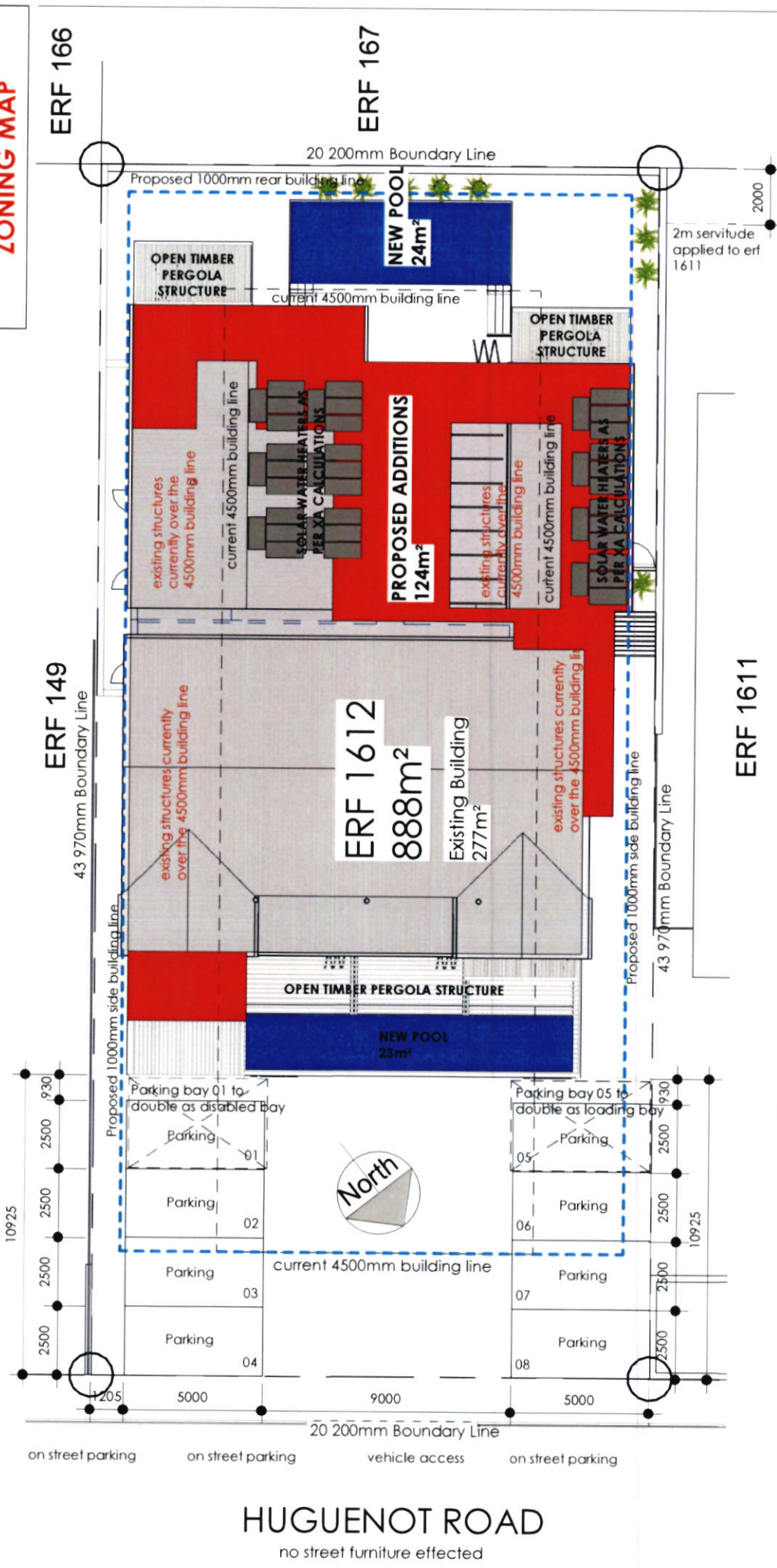
Disabled parking bays Required – 1. We hereby request that parking bay 01 serve as a dual purpose.

Yours Faithfully

Juan Pretorius (for and on behalf of Le Petit Manoir).

A handwritten signature in black ink, reading 'JPretorius' in a cursive script.

ZONING MAP



HUGUENOT ROAD
no street furniture effected

Project	Le Petit Manoir - Franschoek	Drawing name	Site Plan_A
Erf	1612	Scale	1 : 200
Client	Le Petit Manoir	Date	2023-07-13
Drawing Reference	2221	Revision	
Page Size	A4		

JUAN PRETORIUS ARCHITECTURE
and interior design

Signatures: *J Pretorius*
Architect: Juan Pretorius

+ 27 83 301 7457 + number to follow
@ Juan@jparchitecture.co.za www.jparchitecture.co.za
Shop 1, 16 Wharf Street, Port Alfred, South Africa 6170
SACAP REGISTRATION NUMBER : PSAT 24722389

M08



JUAN PRETORIUS ARCHITECTURE
and interior design

GENERAL POWER OF ATTORNEY

I, the undersigned,

(Name and surname) Brian Groenewald

(address) 373 Val De Vie Estate
Paarl, 7646

(ID number) 680319

do hereby nominate, constitute, and appoint Morne Pretorius Architecture from 23 Buffalo Street, Sherwood, Port Elizabeth, 6025

(Hereinafter called "the Agent") to be my lawful agent, and to act on my behalf and attend to the following matters, namely.

1. **Submit application for departure, building line relaxation, in terms of the Stellenbosch Municipal Land Use Planning Bylaw 2023**
2. **Submit application for departure, from the parking requirements, in terms of the Stellenbosch Municipal Land Use Planning Bylaw 2023**
3. To lodge building plans with the municipality
4. To sign all plans required to be lodged, including any subsequent alterations effected thereto with the municipality
5. To obtain copies of plans of existing buildings on my behalf from the municipality
6. To countersign any Structural or Mechanical engineer's appointment forms and certificates, or other approved competent persons appointment forms in respect of any building plans lodged with the municipality
7. Generally, to act on my behalf regarding the approval of any building plan lodged on my behalf with the municipality as if I was personally present
8. This Power of Attorney is granted in respect of the property owned by me and more fully described as.

ERF: 1612

PHYSICAL ADDRESS: 54 Huguenot Street, Franschhoek, 7690

I hereby ratify and agree to ratify everything, which the Agent under this power of attorney shall do or purport to do by virtue of this power of attorney.

(Termination of General Power of Attorney date) 31/03/2024

Thus, done and signed at Franschhoek Dated 13/07/2023

(Signature of Principal)



Le Petit Manoir

Restaurant • Deli • Guesthouse

Franschhoek

Le Petit Manoir (Pty) Ltd

Company Reg Number: 2016/210853/07 | VAT Number: 4340274176 | Income Tax Number: 9125562224

30 May 2023

RESOLUTION GRANTING SIGNING AND AUTHORITY TO CONDUCT BUSINESS

WHEREAS, Le Petit Manoir desires to grant signing and authority to certain person(s) described hereunder.

RESOLVED, that the Board of Directors is hereby authorized and approved to grant signing and authority to conduct business to any one of the following person(s): Brian Groenewald

The undersigned hereby certifies that he/she is the duly elected and qualified Secretary and the custodian of the books and records and seal of Le Petit Manoir.

IN WITNESS WHEREOF, I have executed my name as Secretary of the above-named Company on 30 May 2023.

Brian Groenewald

ID: 6803195261087

Brian Groenewald
021 876 2110
brian@lepetitmanoir.co.za

Frank Heyneke
frank@lepetitmanoir.co.za

JP Lombard
jp@lepetitmanoir.co.za

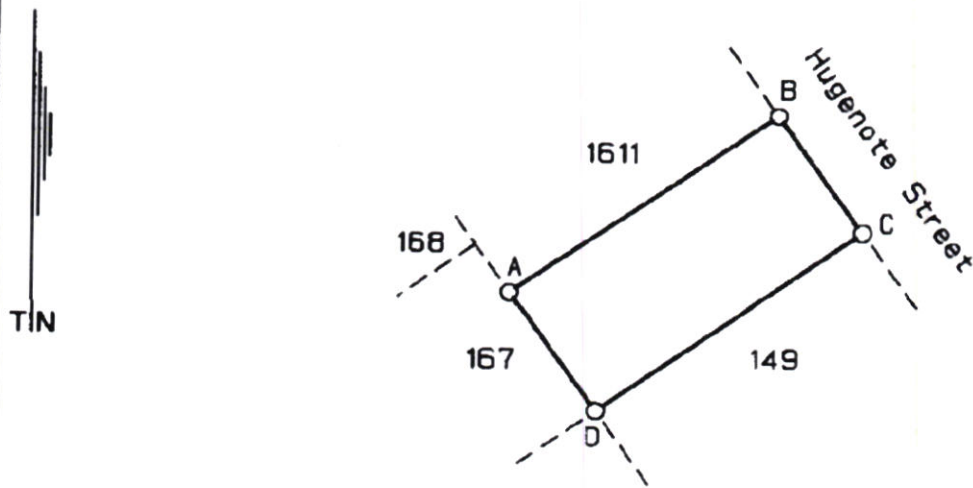
DAVID HELLIG & ABRAHAMSE, LAND SURVEYORS

SIDES Metres	ANGLES OF DIRECTION	CO-ORDINATES System WG 19			S.G. No 2726/1999
		Y	X		
	Constant		± 0,00	+3 700 000,00	
AB	43,97	235 10 00	A	- 10 921,59	+ 53 665,52
BC	19,88	324 23 00	B	- 10 957,68	+ 53 640,41
CD	44,06	54 45 00	C	- 10 969,26	+ 53 656,57
DA	20,20	144 38 40	D	- 10 933,28	+ 53 682,00
	272 Du Toitskop	△		- 13 868,02	+ 50 664,68
	275 Robert	△		- 9 159,39	+ 54 252,31

Approved
[Signature]
for Surveyor-General
1999-06-10

Beacon Description

- A B 12 mm iron peg
- C 12 mm iron peg in concrete in top of wall pillar
- D 12 mm iron peg in concrete



Scale 1:1 000

The figure **ABCD**
represents **862 square metres** of land being

Erf 1612 a portion of Erf 148 Franschoek

situate in **the Municipality for the Area of Franschoek**

Administrative District of **Pearl**

Province of the Western Cape

Surveyed between **January and May 1999**

by me,

[Signature]
D S HELLIG
Land Surveyor
PLS 0256

APPROVED IN TERMS OF SECT. 25
OF ORD. 15/1985
REF 15/4/1/2 (426)
DATE 1999-04-08

This diagram is annexed to	The original diagram is	File No. S/7042/36
No. dated i.f.o.	No. 214/1896 annexed to	S.R. No. E1175/1999
Registrar of Deeds	Transfer No. 1896. .1180	Comp. BI-7CA/X54 (1602)



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

DIRECTORATE: PLANNING & ECONOMIC DEVELOPMENT

www.stellenbosch.gov.za/planning-portal/

SUBMIT COMPLETED FORM TO landuse.applications@stellenbosch.gov.za

LAND USE PLANNING APPLICATION FORM						
(Section 15 of the Stellenbosch Municipal Land Use Planning By-Law (2015) and other relevant legislation)						
KINDLY NOTE: Please complete this form using BLOCK letters and ticking the appropriate boxes.						
PART A: APPLICANT DETAILS						
First name(s)	Juan					
Surname	Pretorius					
Company name (if applicable)	Juan Pretorius Architecture					
Postal Address	3 Boundary Road					
	Port Alfred		Postal Code	6170		
Email	juan@jparchitecture.co.za					
Tel		Fax		Cell	0833017457	
PART B: REGISTERED OWNER(S) DETAILS (if different from applicant)						
Registered owner(s)	Brian Groenewald					
Physical address	54 Huguenot Street					
	Franschhoek		Postal code	7600		
E-mail	brian@lepetitmanoir.co.za					
Tel		Fax		Cell	0836091160	
PART C: PROPERTY DETAILS (in accordance with title deed)						
Erf / Erven / Farm No.	1612	Portion(s) if Farm		Allotment area	Franschhoek	
Physical Address	54 Huguenot Street					
	Franschhoek					
Current Zoning	Mixed Use	Extent	882	m ² / ha	Are there existing buildings?	<input checked="" type="checkbox"/> N
Applicable Zoning Scheme	Stellenbosch Municipal Zoning Scheme					

Current Land Use	Tourist Accommodation Establishment									
Title Deed number and date	T	000021688/2017								
Attached Conveyance's Certificate	<input checked="" type="checkbox"/>	N	Any Restrictions into the Attached Conveyance's Certificate? If yes, please list condition(s) as per certificate							
Are the restrictive conditions in favour of a third party(ies)?	Y	<input checked="" type="checkbox"/>	If Yes, list the party(ies):							
Is the property encumbered by a bond?	Y	<input checked="" type="checkbox"/>	If Yes, list the bondholder(s):							
Is the property owned by Council?	Y	<input checked="" type="checkbox"/>	If Yes, kindly <u>attach a power of attorney</u> from the Manager Property Management							
Is the building located within the historical core?	<input checked="" type="checkbox"/>	N	Is the building older than 60 years?	Y	<input checked="" type="checkbox"/>	Is the application triggered by the National Heritage Resources Act, 1999 (Act 25 of 1999) ¹	Y	<input checked="" type="checkbox"/>	If Yes, kindly indicate which section are triggered and attached the relevant permit if applicable.	
Any existing unauthorized buildings and/or land use on the subject property(ies)?	Y	<input checked="" type="checkbox"/>	If yes, is this application to legalize the building / land use ² ?		Y	<input checked="" type="checkbox"/>				
Are there any pending court case(s) / order(s) relating to the subject property(ies)?	Y	<input checked="" type="checkbox"/>	Are there any land claim(s) registered on the subject property(ies)?		Y	<input checked="" type="checkbox"/>				

PART D: PRE-APPLICATION CONSULTATION AND OR SCRUTINY

Has there been any pre-application consultation?	Y	<input checked="" type="checkbox"/>	If Yes, please attach the minutes of the pre-application consultation.	
Has the pre-application scrutiny form been submitted?	Y	<input checked="" type="checkbox"/>	If yes, please attach the written feedback received.	

* The submission of a pre-application scrutiny form is compulsory for this type of application as listed below and written feedback must be attached to the land use planning application.

PART E: LAND USE PLANNING APPLICATIONS AND APPLICATION FEES PAYABLE**APPLICATIONS IN TERMS OF SECTION 15 OF THE STELLENBOSCH MUNICIPAL LAND USE PLANNING BY-LAW (2015)**

Type of application: Cost are obtainable from the Council Approved tariffs	Tick
15(2)(a) rezoning of land*	
15(2)(b) a permanent departure from the development parameters of the zoning scheme	X
15(2)(c) a departure granted on a temporary basis to utilise land for a purpose not permitted in terms of the primary rights of the zoning applicable to the land	
15(2)(d) a subdivision of land that is not exempted in terms of section 24, including the registration of a servitude or lease agreement*	
15(2)(e) a consolidation of land that is not exempted in terms of section 24*	
15(2)(f) a removal, suspension or amendment of restrictive conditions in respect of a land unit*	

¹ All applications triggered by section 38(1)(a) - (e) in terms of the National Heritage Resources Act, 1999 (Act 25 of 1999) may not be processed without a permit issued by the relevant department

² No application may be submitted to legalize unauthorised building work and or land use on the property if a notice has been served in terms of Section 87(2)(a), and until such time a Section 91 Compliance Certificate have been issued in terms of the Stellenbosch Land Use Planning By-law (2015)

15(2)(g) a permission required in terms of the zoning scheme	
15(2)(h) an amendment, deletion or imposition of conditions in respect of an existing approval*	
15(2)(i) an extension of the validity period of an approval	
15(2)(j) an approval of an overlay zone as contemplated in the zoning scheme	
15(2)(k) an amendment or cancellation of an approved subdivision plan or part thereof, including a general plan or diagram*	
15(2)(l) a permission required in terms of a condition of approval	
15(2)(m) a determination of a zoning*	
15(2)(n) a closure of a public place or part thereof	
15(2)(o) a consent use contemplated in the zoning scheme	
15(2)(p) an occasional use of land	
15(2)(q) to disestablish a home owner's association	
15(2)(r) to rectify a failure by a home owner's association to meet its obligations in respect of the control over or maintenance of services	
15(2)(s) a permission required for the reconstruction of an existing building that constitutes a non-conforming use that is destroyed or damaged to the extent that it is necessary to demolish a substantial part of the building	
15(2)(6) when the Municipality on its own initiative intends to conduct land development or an activity	
15(2)(l) amendment of Site Development Plan	
15(2)(l) Compilation / Establishment of a Home Owners Association Constitution / Design Guidelines	

OTHER APPLICATIONS		
	Deviation from Council Policies/By-laws	R
	Consent / Permission required in terms of a title deed	R
	Technical approval in terms of the Zoning Scheme Bylaw, 2019	R
	Other (specify): _____	R
TOTAL A:		R

PRESCRIBED NOTICE AND FEES*** (for completion and use by official)			
Tick	Notification of application in media	Type of application	Cost
	SERVING OF NOTICES	Delivering by hand; registered post; electronic communication methods	R
	PUBLICATION OF NOTICES	Local Newspaper(s); <i>Provincial Gazette</i> ; site notice; Municipality's website	R
	ADDITIONAL PUBLICATION OF NOTICES	Site notice, public meeting, local radio station, Municipality's website, letters of consent or objection	R
	NOTICE OF DECISION	<i>Provincial Gazette</i>	R
	INTEGRATED PROCEDURES	T.B.C	R
TOTAL B:			R
TOTAL APPLICATION FEES** (TOTAL A + B)			R

**The complete application should first be submitted without the payment of any applicable application fees. Only when satisfied that a complete and accurate application has been submitted, will a proforma invoice be submitted to the applicant with payment instructions. Application fees that are paid to the Municipality are non-refundable and once proof of payment is received, the application will be regarded as duly submitted.

***All indigent residents who are registered as such with the Municipality and with proof submitted together with application will be exempted from applicable fees for Permanent Departure applications including but not limited to building lines, coverage, height, bulk, parking. Contact: Indigent.office@stellenbosch.gov.za or 021 808 8501 or 021 808 8579

**** The applicant is liable for the cost of publishing and serving notice of an application. Additional fees may become applicable and the applicant will be informed accordingly.

BANKING DETAILS

Account Holder Name: Stellenbosch Municipality
 Bank: FIRST NATIONAL BANK (FNB)
 Branch no.: 210554
 Account no.: 62869253684
 Payment reference: LU/_____ and ERF/FARM _____
 Please use both the Land Use Application number and the Erf/Farm number indicated on the invoice as a reference when making EFT payment

DETAILS FOR INVOICE

Name & Surname/Company name (details of party responsible for payment)	Le Petit Manoir PTY LTD
Postal Address	54 Huguenot St, Franschoek, 7690
Vat Number (where applicable)	4340274176

PART F: DETAILS OF PROPOSAL

Building line encroachment	Street		From	4.5m	To	4.5m
	Street		From		To	
	Side		From	4.5m	To	1.0m
	Side		From	4.5m	To	1.0m
	Aggregate side		From		To	
	Rear		From	4.5m	To	1.0m
Exceeding permissible site coverage		From	%	To	%	
Exceeding maximum permitted bulk / floor factor / no of habitable rooms		From		To		
Exceeding height restriction		From	m	To	m	
Exceeding maximum storey height		From	m	To	m	
Consent/Conditional Use/Special Development						
To permit..... in terms of Section.....of the.....Zoning Scheme Regulations						
Other (please specify)	Departure in terms of the number of parkings required. We are offering 8no parking bays instead of the required 9no parking bays. Please see attached motivation.					

Brief description of proposed development / intent of application:

Additions and Alterations to an existing structure. There are also existing approved structures over the 4.5m side building lines.

PART G: ATTACHMENTS AND SUPPORTING INFORMATION AND DOCUMENTATION FOR LAND USE PLANNING APPLICATION

Complete the following checklist and attach all the information and documentation relevant to the proposal. Failure to submit all information and documentation required will result in the application being deemed incomplete.

Information and documentation required							
<input checked="" type="checkbox"/>	N	Power of attorney / Owner's consent if applicant is not owner		Y	<input checked="" type="checkbox"/>	Bondholder's consent (if applicable)	
<input checked="" type="checkbox"/>	N	Resolution or other proof that applicant is authorised to act on behalf of a juristic person		Y	<input checked="" type="checkbox"/>	Proof of any other relevant right held in the land concerned	
<input checked="" type="checkbox"/>	N	Written motivation pertaining to the need and desirability of the proposal		<input checked="" type="checkbox"/>	N	S.G. diagram / General plan extract (A4 or A3 only)	
<input checked="" type="checkbox"/>	N	Locality plan (A4 or A3 only) to scale		<input checked="" type="checkbox"/>	N	Site development plan or conceptual layout plan (A4 or A3 only) to scale	
Y	<input checked="" type="checkbox"/>	Proposed subdivision plan (A4 or A3 only) to scale		Y	<input checked="" type="checkbox"/>	Proof of agreement or permission for required servitude	
Y	N	Proof of payment of application fees To Follow		<input checked="" type="checkbox"/>	N	Proof of registered ownership (Full copy of the title deed)	
<input checked="" type="checkbox"/>	N	Conveyancer's certificate		<input checked="" type="checkbox"/>	N	Written feedback of pre-application scrutiny and Minutes of pre-application consultation meeting (if applicable)	
Y	N	<input checked="" type="checkbox"/>	Consolidation plan (A4 or A3 only) to scale	<input checked="" type="checkbox"/>	N	N/A	Land use plan / Zoning plan (A4 or A3 only) to scale
Y	N	<input checked="" type="checkbox"/>	Street name and numbering plan (A4 or A3 only) to scale				
Y	N	<input checked="" type="checkbox"/>	Landscaping / Tree plan (A4 or A3 only) to scale	Y	N	<input checked="" type="checkbox"/>	1 : 50 / 1:100 Flood line determination (plan / report) (A4 or A3 only) to scale
Y	N	N/A	Abutting owner's consent	Y	N	<input checked="" type="checkbox"/>	Home Owners' Association consent
Y	N	<input checked="" type="checkbox"/>	Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD)	Y	N	<input checked="" type="checkbox"/>	Services Report or indication of all municipal services / registered servitudes
Y	N	<input checked="" type="checkbox"/>	Copy of original approval and conditions of approval	Y	N	<input checked="" type="checkbox"/>	Proof of failure of Home owner's association

Y	N	<input checked="" type="checkbox"/>	Proof of lawful use right	<input checked="" type="checkbox"/>	N	N/A	Any additional documents or information required as listed in the pre-application consultation form / minutes
Y	N	N/A	Required number of documentation copies	Y	N	<input checked="" type="checkbox"/>	Other (specify)

PART H: AUTHORISATION(S) SUBJECT TO OR BEING CONSIDERED IN TERMS OF OTHER LEGISLATION

Y	<input checked="" type="checkbox"/>	If required, has application for EIA / HIA / TIA / TIS / MHIA approval been made? If yes, attach documents / plans / proof of submission etc.	Specific Environmental Management Act(s) (SEMA) (e.g. Environmental Conservation Act, 1989 (Act 73 of 1989))
			Y <input checked="" type="checkbox"/> National Environmental Management: Air Quality Act, 2004 (Act 39 of 2004)
Y	<input checked="" type="checkbox"/>	Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)	Y <input checked="" type="checkbox"/> National Environmental Management: Waste Act, 2008 (Act 59 of 2008)
<input checked="" type="checkbox"/>	N/A	Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013)(SPLUMA)	Y <input checked="" type="checkbox"/> National Water Act, 1998 (Act 36 of 1998)
Y	<input checked="" type="checkbox"/>	Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations	Y <input checked="" type="checkbox"/> Other (specify)
<input checked="" type="checkbox"/>	N/A	Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA)	
Y	<input checked="" type="checkbox"/>	Do you want to follow an integrated application procedure in terms of section 44(1) of the Stellenbosch Municipality Land Use Planning By-Law? If yes, please attach motivation.	

SECTION I: DECLARATION

- I hereby wish to confirm the following :
1. That the information contained in this application form and accompanying documentation is complete and correct.
 2. I'm aware that it is an offense in terms of section 86(1)(e) to supply particulars, information or answers knowing the particulars, information or answers to be false, incorrect or misleading or not believing them to be correct.
 3. I am properly authorized to make this application on behalf of the owner and that a copy of the relevant power of attorney or consent is attached hereto.
 4. Where an agent is appointed to submit this application on the owner's behalf, it is accepted that correspondence from and notifications by the Municipality in terms of the by-law will be sent only to the agent and that the owner will regularly consult with the agent in this regard.
 5. I confirm that the relevant title deed(s) have been read and that there are no restrictive title deed restrictions, which impact on this application, or alternatively an application for removal/suspension or amendment forms part of this submission.
 6. I confirm that I have made known all information relating to possible Land / Restitution Claims against the application property.
 7. It is the owner's responsibility to ensure that approval is not sought for a building or land use which will be in conflict with any applicable law.
 8. The Municipality assesses an application on the information submitted and declarations made by the owner or on his behalf on the basis that it accepts the information so submitted and declarations so made to be correct, true and accurate.

9. Approval granted by the Municipality on information or declarations that are incorrect, false or misleading may be liable to be declared invalid and set aside which may render any building or development pursuant thereto illegal.
10. The Municipality will not be liable to the owner for any economic loss suffered in consequence of approval granted on incorrect, false or misleading information or declarations being set aside.
11. Information and declarations include any information submitted or declarations made on behalf of the owner by a Competent Person/professional person including such information submitted or declarations made as to his or her qualification as a Competent person and/or registration as a professional.
12. A person who provides any information or certificate required in terms of Regulation A19 of the National Building Regulations and Building Standards Act No 103 of 1977 which he or she knows to be incomplete or false shall be guilty of an offence and shall be prosecuted accordingly.
13. A person who supplies particulars, information or answers in a land use application in terms of the Stellenbosch Municipality Land Use Planning By-law knowing it to be incorrect, false or misleading or not believing them to be correct shall be guilty of an offence and shall be prosecuted accordingly.
14. The Municipality will refer a complaint to the professional council or similar body with whom a Competent Person/professional person is registered in the event that it has reason to believe that information submitted or declaration/s made by such Competent Person/professional person is incorrect, false or misleading.
15. I am aware that by lodging an application, the information in the application and obtained during the process may be made available to the public.

Applicant's signature:

J Pretorius

Date:

13 July 2023

Full name:

Juan Pretorius

Professional capacity:

Architect

FOR OFFICE USE ONLY

Date received: _____

Received By: _____

Municipal Stamp



GENERAL NOTES

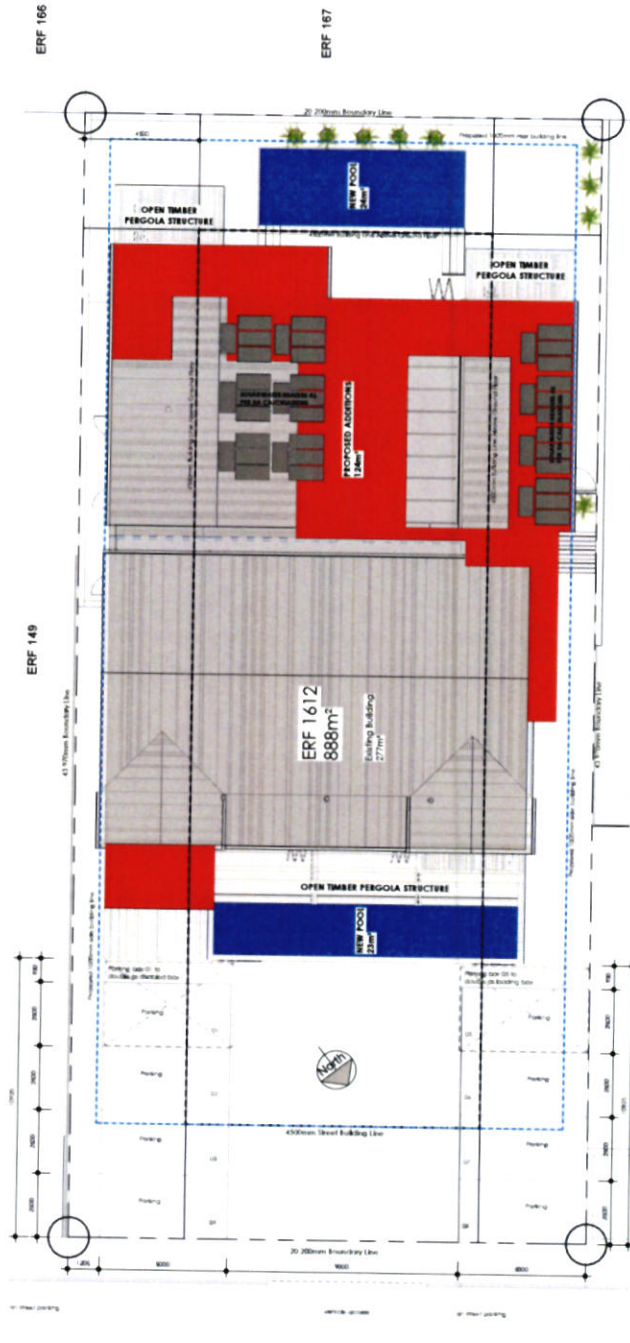
- The site is currently zoned R3 (Residential Single-Dwelling) and the proposed development is consistent with the zoning requirements.
- The site is bounded by Huguenot Road to the north and west, and by the 20' boundary line to the south and east.
- The proposed development includes a building with a total floor area of 888m² and a parking area of 13 parking bays.
- The site is currently zoned R3 (Residential Single-Dwelling) and the proposed development is consistent with the zoning requirements.



Mixed Use Zone - A1 per Skenksbosch Municipality Zoning Scheme Maps

Zone	Permitted	Provided
MIXED USE ZONE A1	Mixed Use Zone A1 Height Restriction Coverage	2.5 Storeys 4.2m - 4.07m
GROUND FLOOR	Floor Area	49.3m²
	Open Public Space	29.5m²
	Public Space	96.8m²
	Public Space	21.2m²
FIRST FLOOR	Covered Outdoor Spaces	95.5m²
	Balconies	56.0m²
REST ROOM	Balconies	228.5m²
	Covered Outdoor Spaces	63.7m²

Le Petit Manoir
Residential • Dual • Commercial



ERF 1611

Item	Value
KA Calculations	677 / 303 x 100 = 19.1%
SERVICES FLOOR	KA Calculations not applicable as total glassing area is less than 20%.
GROUND FLOOR	KA Calculations not applicable as total glassing area is less than 20%.
FIRST FLOOR	KA Calculations not applicable as total glassing area is less than 20%.

Item	Value
Area & Site Information Table	
Building Calculation	0.7 bay per 100m² gross leasable area
Parking Bay	13
TOTAL PROVIDED PARKING BAYS	13
TOTAL REQUIRED PARKING BAYS	13
Disabled Bay Provided	1

Item	Value
Roof Assembly Component (Structural)	0.05
Roof Assembly Component (Thermal)	0.05
Roof Assembly Component (Acoustic)	0.05
Roof Assembly Component (Vibration)	0.05
Roof Assembly Component (Fire)	0.05
Roof Assembly Component (Security)	0.05

Item	Value
Roof Assembly Component (Light)	0.05
Roof Assembly Component (Air Quality)	0.05
Roof Assembly Component (Energy Efficiency)	0.05
Roof Assembly Component (Sustainability)	0.05
Roof Assembly Component (Accessibility)	0.05
Roof Assembly Component (Health & Safety)	0.05

Municipal Drawings

Drawing Name: _____
 Date: _____
 Drawing Reference: _____
 Revision: _____

JUAN PRETORIUS ARCHITECTURE

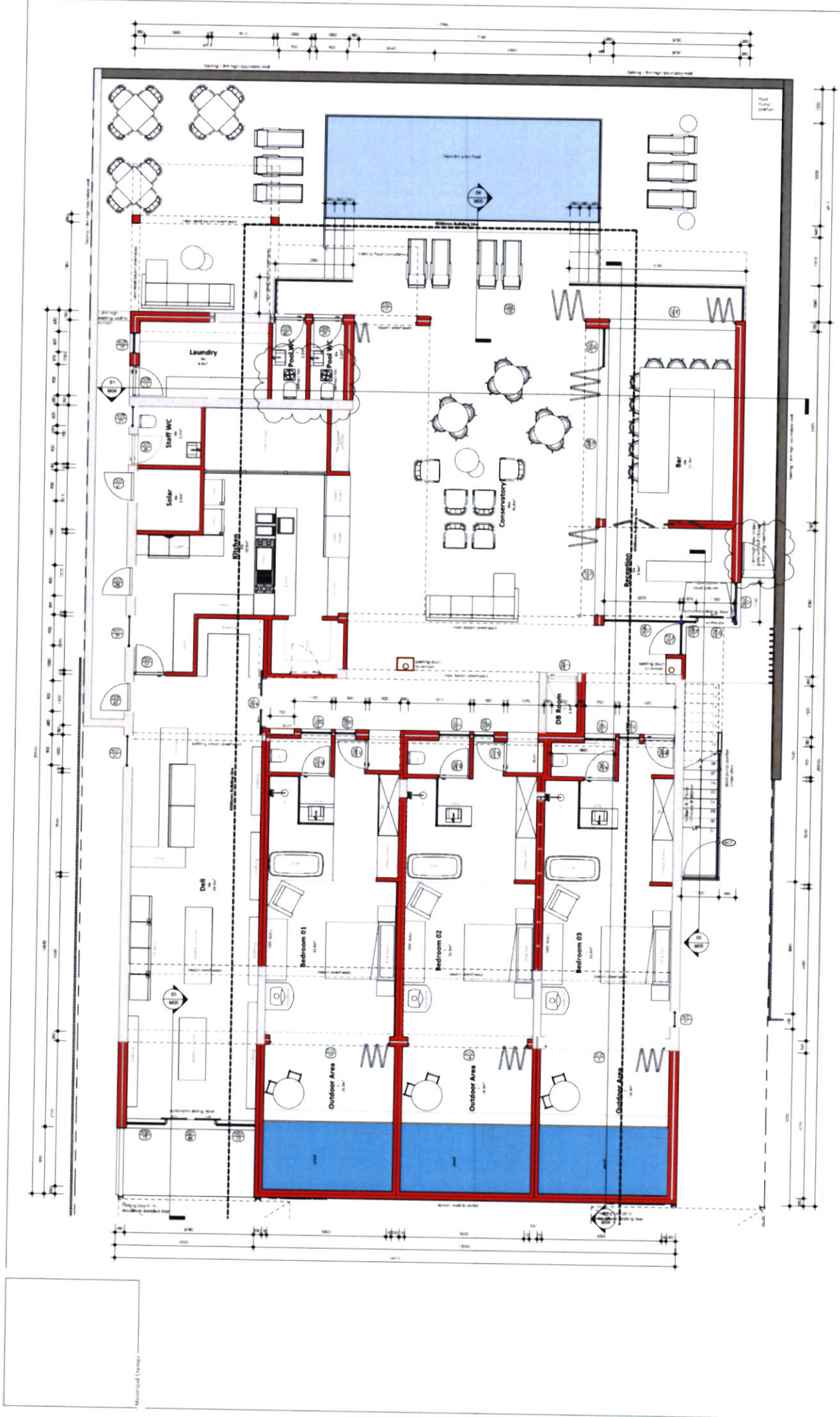
Project: _____
 Date: _____
 Drawing Reference: _____
 Revision: _____

Juan Pretorius Architecture

27 82 301 7452 | 06 377 71 487

Shop 1, 18 Sibbald Street, West Albert, South Africa

www.juanpretoriusarchitecture.co.za



Municipal Drawings

Drawing name: Ground Floor Plan
 Date: 2023-06-21
 Drawing Reference: 2221
 Scale: 1:50
 Revision: A1
 Page Size: A1

JUAN PRETORIUS ARCHITECTURE
 and interior design

Project: Le Petit Manoir - Franschhoek
 Client: Franschhoek
 Architect: Franschhoek
 274 83 363 / 4837
 juan@jpreto.co.za
 Shop 1, 18 Ward Street, Hart Albert, South Africa
 SACMP REGISTRATION NUMBER: PEAT 74223895
 Architect: Juan Pretorius

Municipal Information

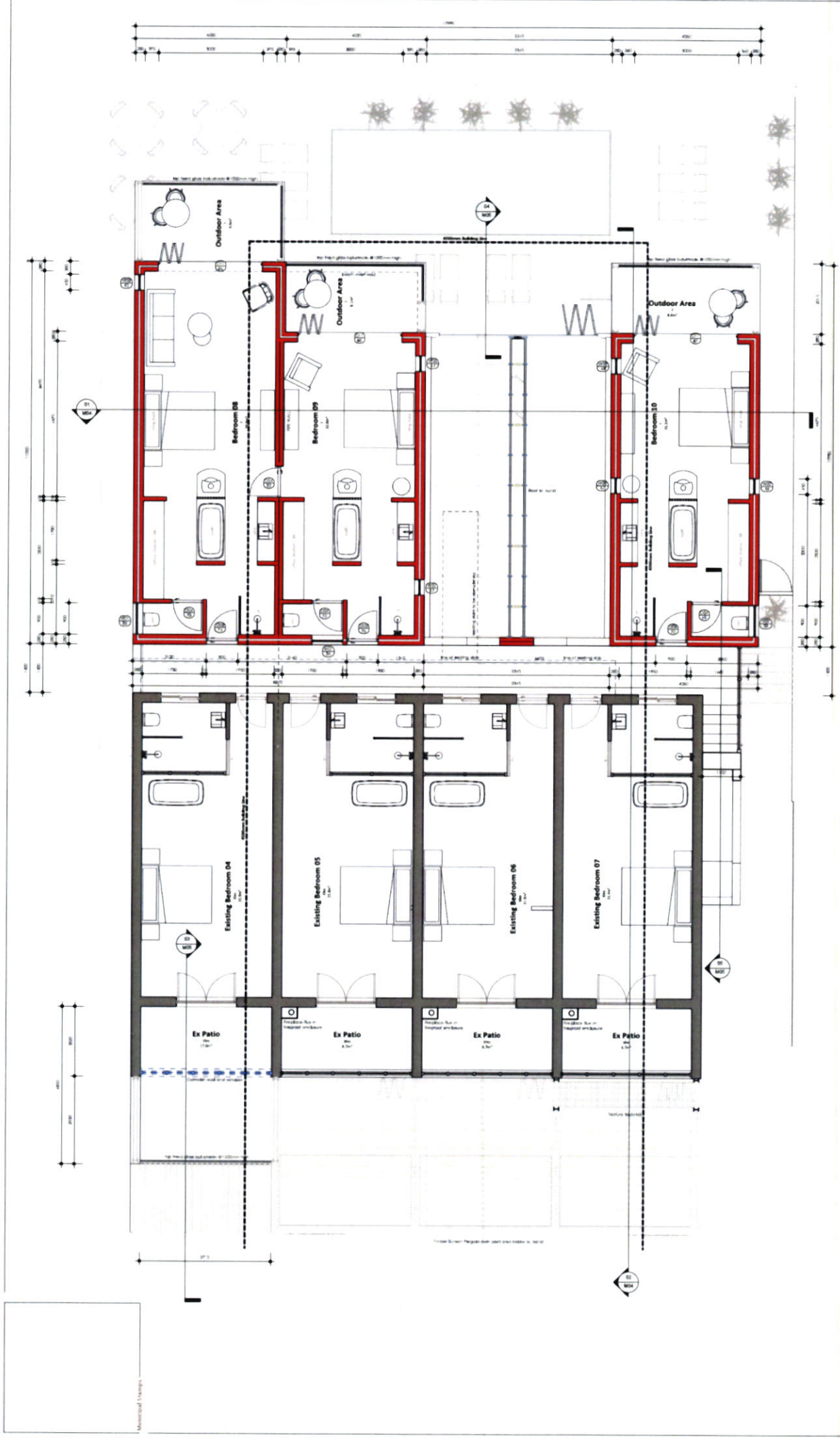
Area	Value
Total Deck Area	47 m ²
Total Floor Area	777 m ²
Additional Coverage	17 m ²
Total Coverage	497 m ²
Coverage Percentage	45%
Existing Floor Area	450 m ²
Additional Floor Area	227 m ²
Total Floor Area	450 m ²
Additional Deck Area	47 m ²

Revision: 1
 Description: 1. Update existing on existing and plans of 2023-06-21
 (1 sheet for total of 2 sheets)
 Project: Le Petit Manoir - Franschhoek

Le Petit Manoir
 Restaurant • Deli • Guesthouse

2023-06-21 11:27:17

Municipal Drawings



Project
 Le Petit Manoir - Franckfort

Client
 Le Petit Manoir

Architect
 Juan Pretorius Architecture

Scale
 1 : 50

Date
 2023-06-15

Drawing Reference
 2221

Revision
 1

Page Size
 A1

M02

Registration Number: 153497001
 SACMP REGISTRATION NUMBER: P/ART/24722/2018

Municipal Information

Area of Use	Area of Use
Total Deck Area	147 m²
Total Floor Area	777 m²
Garage	12 m²
Basement	49 m²
Additional Coverage	49 m²
Total Coverage	147 m²
Coverage Percentage	19.1%
Existing Floor Area	237 m²
Additional Floor Area	49 m²
Total Floor Area	286 m²
Additional Deck Area	147 m²

Remarks

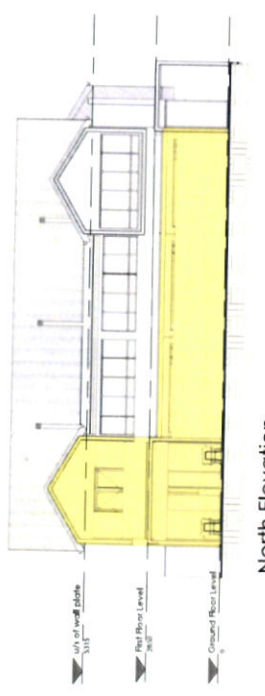
1. Show which is to be retained and which is to be removed.
2. Floor plan must be done in accordance with the local authority's requirements.
3. All dimensions are given in millimeters unless otherwise stated.
4. All dimensions are given in millimeters unless otherwise stated.

Le Petit Manoir
 Residential • Civil • Commercial

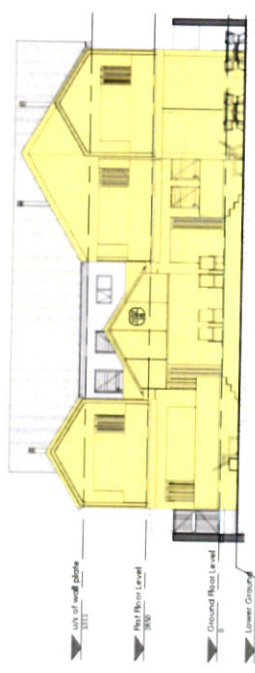
Architecture & Design

CONTACT US
 011 461 1111 | www.lepetitmanoir.co.za

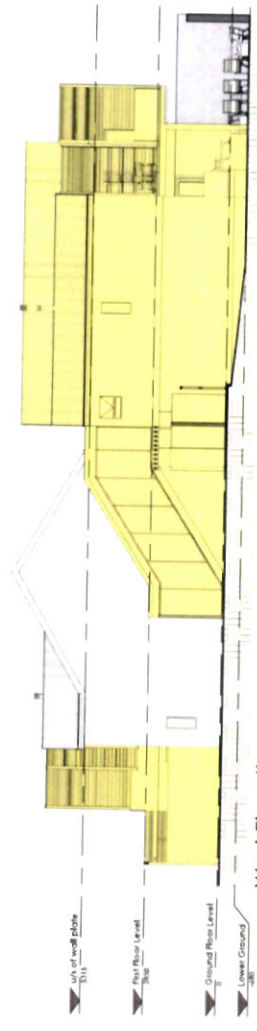
Municipal Stamp



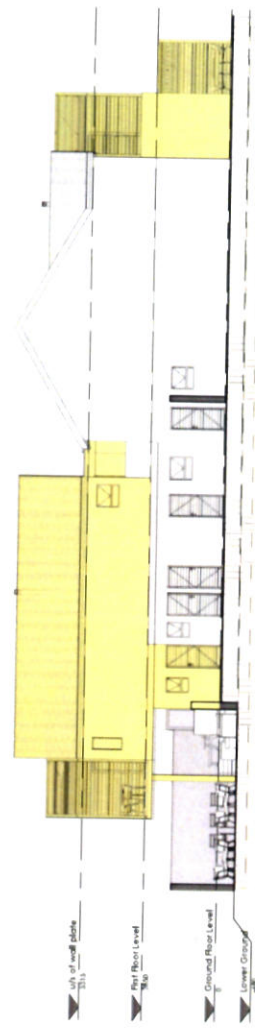
North Elevation
1 : 100



South Elevation
1 : 100

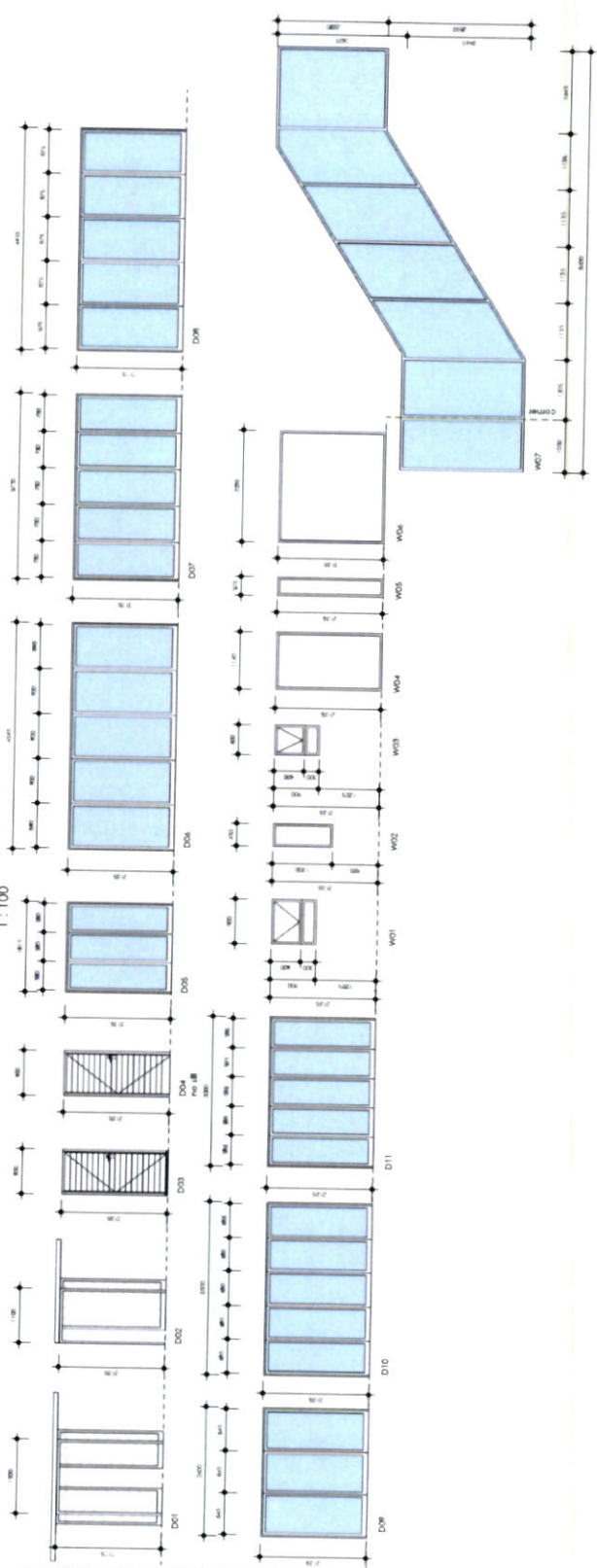


West Elevation
1 : 100



East Elevation
1 : 100

Item No.	Quantity	Description	Unit	Value
1	1	Site Preparation	m ²	1000
2	1	Excavation	m ³	2000
3	1	Foundation	m ²	1500
4	1	Structural Frame	m ²	3000
5	1	Roofing	m ²	1200
6	1	External Walls	m ²	2500
7	1	Internal Walls	m ²	1800
8	1	Floors	m ²	2200
9	1	Windows	m ²	1000
10	1	Doors	m ²	500
11	1	Paint	m ²	800
12	1	Landscaping	m ²	1200
13	1	Site Works	m ²	1000
14	1	Final Finishes	m ²	1500
15	1	Professional Fees	m ²	1000
16	1	Contingency	m ²	1000
17	1	Subtotal	m ²	20000
18	1	Tax	m ²	2000
19	1	Total	m ²	22000



Le Petit Manoir
Boutique • Deli • Restaurant

Municipal Information

Item	Description	Date
1	1. Site Preparation	2023-08-23
2	2. Excavation	2023-08-23
3	3. Foundation	2023-08-23
4	4. Structural Frame	2023-08-23
5	5. Roofing	2023-08-23
6	6. External Walls	2023-08-23
7	7. Internal Walls	2023-08-23
8	8. Floors	2023-08-23
9	9. Windows	2023-08-23
10	10. Doors	2023-08-23
11	11. Paint	2023-08-23
12	12. Landscaping	2023-08-23
13	13. Site Works	2023-08-23
14	14. Final Finishes	2023-08-23
15	15. Professional Fees	2023-08-23
16	16. Contingency	2023-08-23

Municipal Drawings

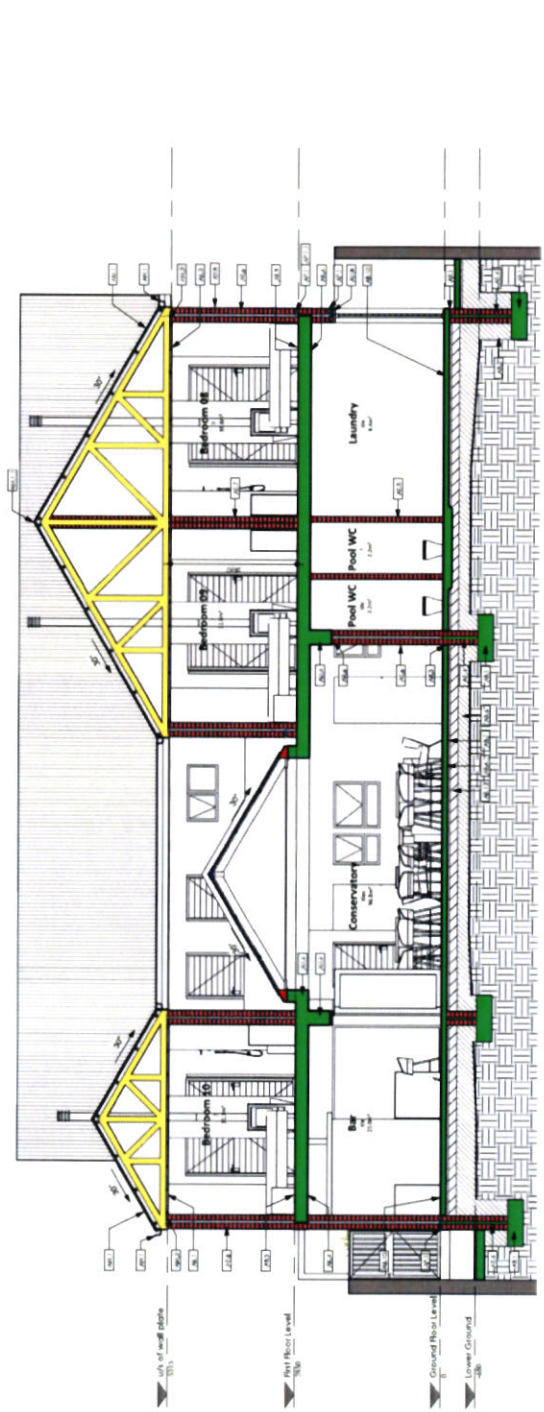
Project: **JUAN PRETORIUS ARCHITECTURE**
 1st Floor Name: **Franchise**
 2nd Floor Name: **Franchise**
 Date: **2023-08-11**
 Scale: **As indicated**
 Drawing Reference: **M03**
 Revision: **A1**

Client: **Le Petit Manoir**
 1st Floor Name: **Franchise**
 2nd Floor Name: **Franchise**
 Shop 1, 18 Wilton Street, Port Alfred, South Africa
 SACAP REGISTRATION NUMBER: **PLAT 24222389**

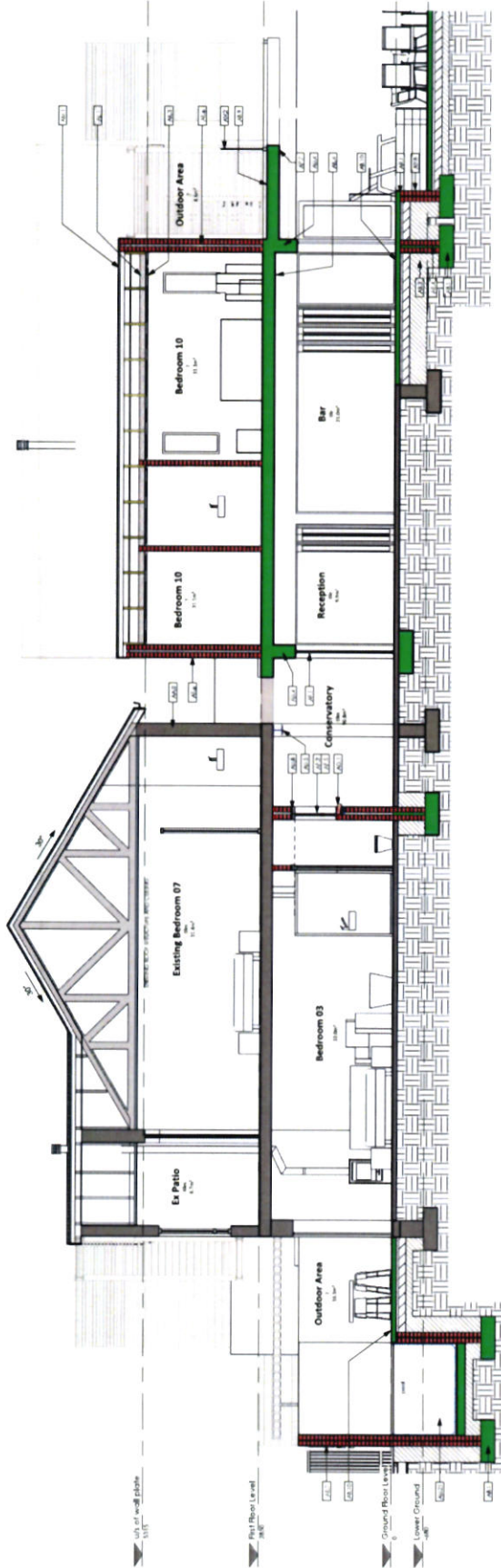
Author: **J. Pretorius**
 Checker: **J. Pretorius**
 Date: **2023-08-23**

Area of Lot: **177m²**
 Total Floor Area: **401m²**
 Additional Coverage: **401m²**
 Total Coverage: **401m²**
 Coverage Percentage: **43%**
 Existing Floor Area: **401m²**
 Additional Floor Area: **277m²**
 Total Floor Area: **678m²**
 Additional Deck Area: **69m²**

NO	REVISIONS
1	ISSUED FOR PERMIT
2	ISSUED FOR PERMIT
3	ISSUED FOR PERMIT
4	ISSUED FOR PERMIT
5	ISSUED FOR PERMIT
6	ISSUED FOR PERMIT
7	ISSUED FOR PERMIT
8	ISSUED FOR PERMIT
9	ISSUED FOR PERMIT
10	ISSUED FOR PERMIT
11	ISSUED FOR PERMIT
12	ISSUED FOR PERMIT
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44	ISSUED FOR PERMIT
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46	ISSUED FOR PERMIT
47	ISSUED FOR PERMIT
48	ISSUED FOR PERMIT
49	ISSUED FOR PERMIT
50	ISSUED FOR PERMIT



Section 01
1 : 50



Section 02
1 : 50

JP **JUAN PRETORIUS ARCHITECTURE**
 and interior design

Phone: +27 83 381 7453
 Email: jpre@jparchitecture.co.za
 Website: www.jparchitecture.co.za

Project: Le Petit Manoir - Franschoek
 Architect: Juan Pretorius

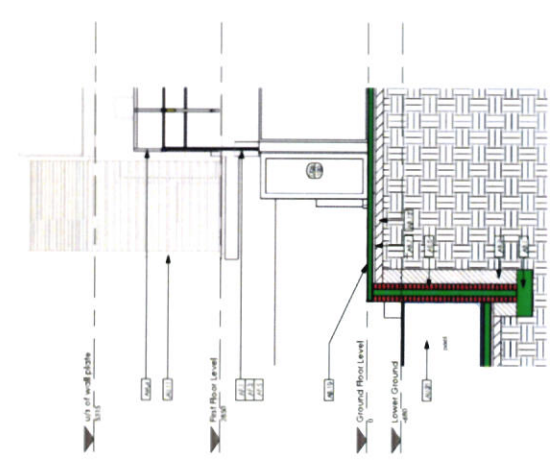
Municipal Information	
Zoning:	_____
Area of E1:	_____ m ²
Existing Coverage:	_____ m ²
Additional Coverage:	_____ m ²
Total Coverage:	_____ m ²
Coverage Percentage:	_____ %
Existing Floor Area:	_____ m ²
Additional Floor Area:	_____ m ²
Total Floor Area:	_____ m ²
Additional Deck Area:	_____ m ²
Total Deck Area:	_____ m ²
Total Pool Area:	_____ m ²
Garages:	_____
Boundaries walls:	_____
Age of Building:	_____

Revision	Number	Description
1	1	Issues raised on drawings and plans of
2	2	Issues raised on drawings and plans of
3	3	Issues raised on drawings and plans of

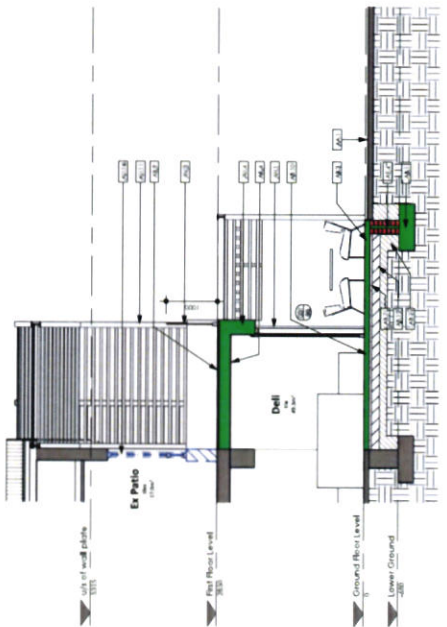
Le Petit Manoir
 Restaurant • Deli • Guesthouse

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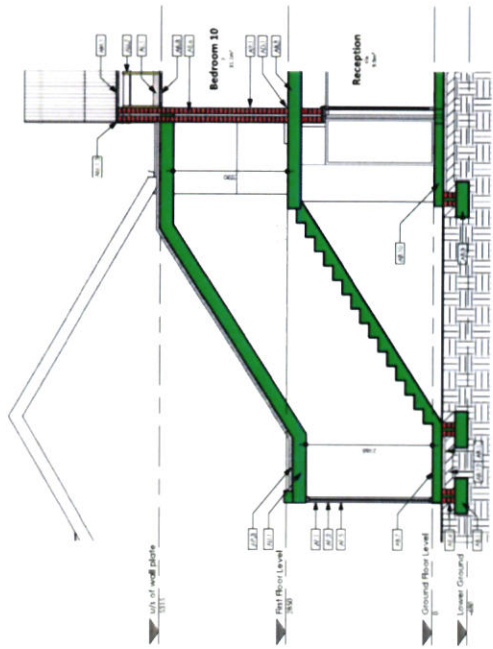
1.01	General Notes
1.02	Structural Notes
1.03	Foundation Notes
1.04	Roofing Notes
1.05	Exterior Wall Notes
1.06	Interior Wall Notes
1.07	Flooring Notes
1.08	Partitions Notes
1.09	Staircase Notes
1.10	Elevator Notes
1.11	Window Notes
1.12	Door Notes
1.13	Handicap Access Notes
1.14	Fire Safety Notes
1.15	Energy Efficiency Notes
1.16	Acoustic Notes
1.17	Lighting Notes
1.18	MEP Notes
1.19	Other Notes



Section 04
1 : 50



Section 03
1 : 50



Section 05
1 : 50

JUAN PRETORIUS ARCHITECTURE and INTERIOR DESIGN

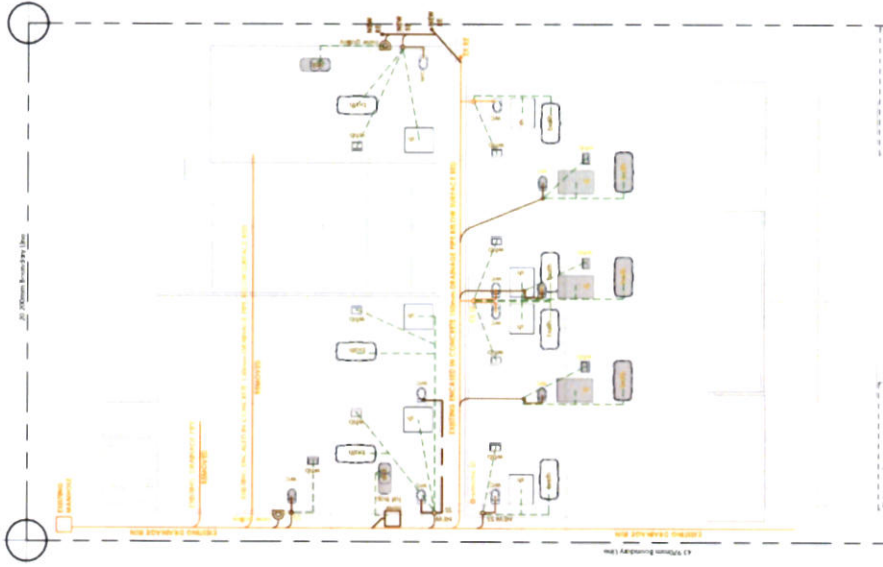
Project: **Le Petit Manoir - Franschoek**
 Alignment: Franschoek
 Client: **Le Petit Manoir**
 Signatures: *J. Pretorius*
 SACAP REGISTRATION NUMBER: PART 24722389

Municipal Information	
Area of 1st	277m ²
Existing Coverage	134m ²
Total Coverage	411m ²
Existing Floor Area	45m ²
Additional Floor Area	277m ²
Total Floor Area	322m ²
Additional Deck Area	...m ²
Total Deck Area	...m ²
Total Pool Area	...m ²
Garage	134m ²
Boundary Wall	...m
Age of Building	...
Bathroom	...

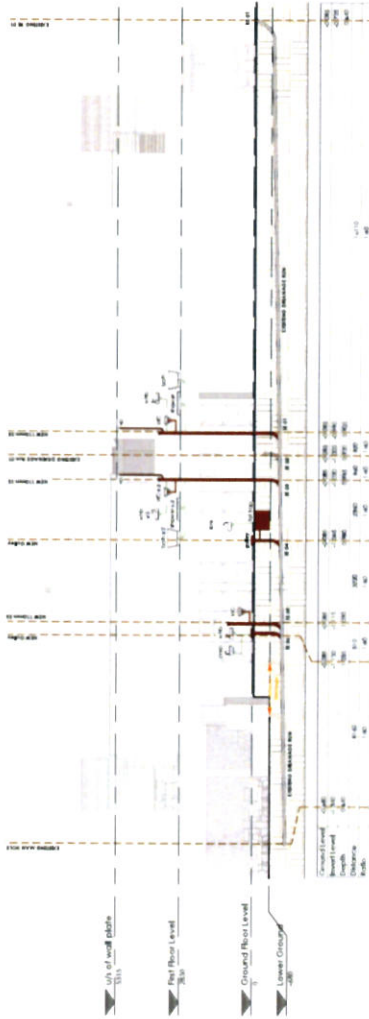
Revision	
1	1. Volume added on includes wall plates at ground level 2. External iron vented at pool area 3. Fire alarm installed

Le Petit Manoir
 Interior • Dell • Outdoor

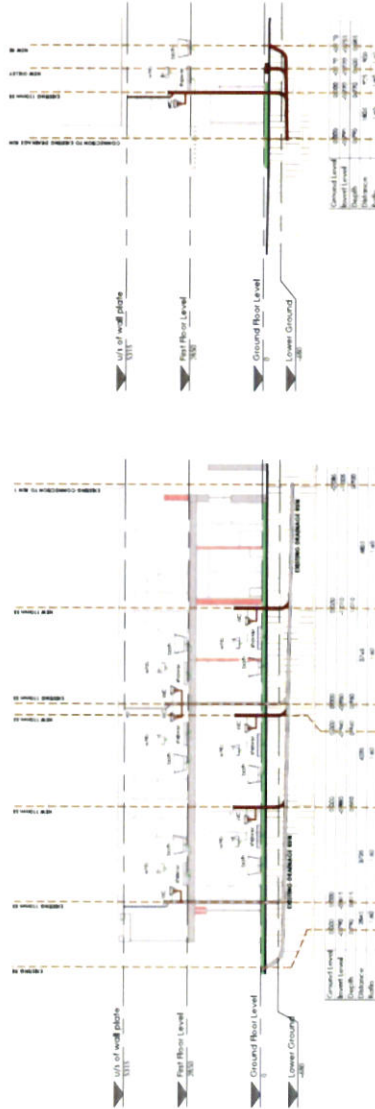
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 No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Nalpa Architects.
 All dimensions are in millimeters unless otherwise stated.
 All drawings are subject to the provisions of the Building Regulations and the National Building Code of South Africa.
 All drawings are subject to the provisions of the National Building Code of South Africa.
 All drawings are subject to the provisions of the National Building Code of South Africa.



Drainage Plan
1 : 100



Drainage Run 01
1 : 100



Drainage Run 02
1 : 100

Drainage Run 03
1 : 100

Construction Notes
1. All dimensions are in millimeters unless otherwise stated.
2. All dimensions are to the centerline of walls and columns unless otherwise stated.
3. All dimensions are to the finished floor level unless otherwise stated.
4. All dimensions are to the finished ground level unless otherwise stated.
5. All dimensions are to the finished ceiling level unless otherwise stated.
6. All dimensions are to the finished roof level unless otherwise stated.
7. All dimensions are to the finished basement level unless otherwise stated.
8. All dimensions are to the finished sub-basement level unless otherwise stated.
9. All dimensions are to the finished parking level unless otherwise stated.
10. All dimensions are to the finished ramp level unless otherwise stated.
11. All dimensions are to the finished bridge level unless otherwise stated.
12. All dimensions are to the finished tunnel level unless otherwise stated.
13. All dimensions are to the finished viaduct level unless otherwise stated.
14. All dimensions are to the finished overpass level unless otherwise stated.
15. All dimensions are to the finished underpass level unless otherwise stated.
16. All dimensions are to the finished cut-and-cover level unless otherwise stated.
17. All dimensions are to the finished trench level unless otherwise stated.
18. All dimensions are to the finished cut-and-fill level unless otherwise stated.
19. All dimensions are to the finished embankment level unless otherwise stated.
20. All dimensions are to the finished excavation level unless otherwise stated.

Le Petit Manoir
Residential • Retail • Commercial
★★★★★

Revision	Description	Date
1	1. Notes added on inclusions and areas of excavation wall 2. Format for notes at post work 3. Form (BIM) added	2023-06-23

Municipal Information	Measured Area	Total Deck Area
Existing Area	800	800
Existing Coverage	277m ²	277m ²
Additional Coverage	134m ²	134m ²
Total Coverage	411m ²	411m ²
Coverage Percentage	41%	41%
Existing Floor Area	452m ²	452m ²
Additional Floor Area	227m ²	227m ²
Total Floor Area	679m ²	679m ²
Additional Deck Area

JUAN PRETORIUS ARCHITECTURE
and interior design

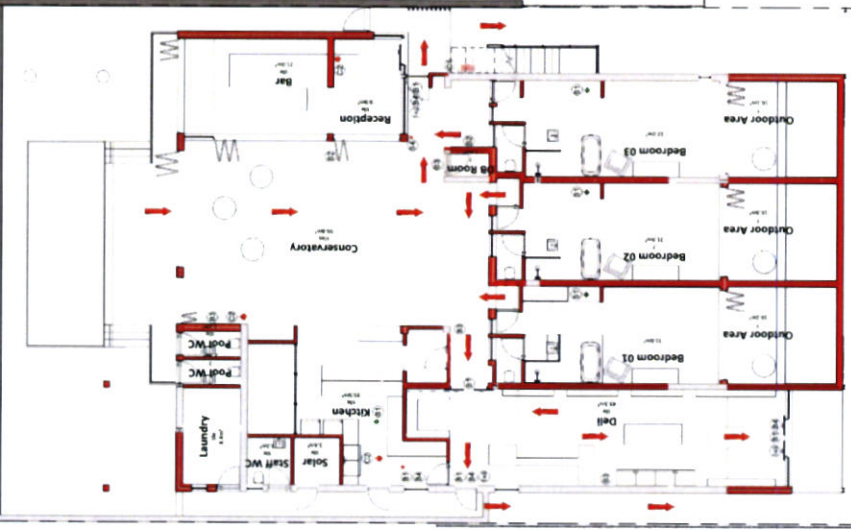
JP
jpre@jprearchitecture.co.za • www.jprearchitecture.co.za
Shop 1-18 Wharf Street, Port Alfred, South Africa
SACAP REGISTRATION NUMBER: PKAT 29722-80

Project: Le Petit Manoir - Framework
Allignment: Framework
Client: Le Petit Manoir
Supporters: *J. Pretorius*
Architect: Juan Pretorius

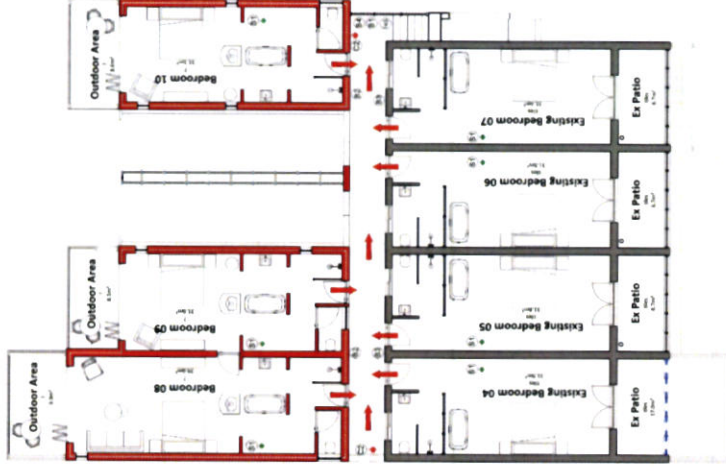
Drawing Name	Date	Scale
Drainage	2023-06-23	1 : 100

Municipal Drawings

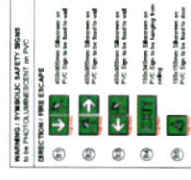
Revision: 1
Page Size: A1
M06



Fire Plan - Ground Floor
1:100



Fire Plan - First Floor
1:100



CONSTRUCTION NOTES

- Refer to the drawings for details of the fire alarm system.
- Refer to the drawings for details of the fire escape routes.
- Refer to the drawings for details of the fire risk signs.
- Refer to the drawings for details of the fire alarm control unit (FACU).
- Refer to the drawings for details of the fire alarm call points (FACP).
- Refer to the drawings for details of the fire alarm sounders (FAS).

Municipal Information

Zoning	410	Total Deck Area	120
Area of ERF	120	Total Floor Area	120
Existing Coverage	100%	Garages	0
Additional Coverage	0%	Boundaries	0
Total Coverage	100%	Age of Building	0
Coverage Percentage	100%	Additional Floor Area	0
Existing Floor Area	120	Total Floor Area	120
Additional Floor Area	0	Additional Deck Area	0
Total Floor Area	120		

Municipal Drawings

Project: 10 Pretorius - Franshoek
 Client: 1817
 Drawings Reference: M07
 Scale: As indicated
 Date: 2021-07-13
 Revision: A1
 Page Size: A1

JUAN PRETORIUS ARCHITECTURE
 1817 1817 1817
 www.juanpretorius.co.za
 Shop 1, 18 Whitby Street, Sandton, Johannesburg

Nicole Katts

From: Nicole Katts
Sent: Thursday, 13 July 2023 09:45
To: Juan Pretorius
Subject: OUTSTANDING INFORMATION: TP428/2023 - FARM 1612 FRANSCHHOEK
Attachments: ERF 1612 FRANSCHHOEK - TP428-2023.pdf

Good day Juan

I trust that you are well.

Please find attached information requested by the planner.

Once the necessary information is received an invoice will be issued.



Kind regards / Vriendelike Groete

Nicole Katts

Administrative Officer

Development Management

Planning & Economic Development

T: +27 21 808 8318

NPK Building, 20 Plein Street

Stellenbosch, 7600

www.stellenbosch.gov.za



Disclaimer and confidentiality note: The legal status of this communication is governed by the terms and conditions published at the following link:

http://www.stellenbosch.gov.za/main_pages/disclaimerpage.htm

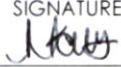
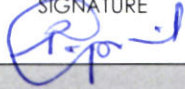


DIRECTORATE: PLANNING & ECONOMIC DEVELOPMENT

LAND USE APPLICATION COMPLIANCE CHECKLIST ITO S38 OF THE LAND USE PLANNING BYLAW, 2015				Date of Submission of Application		
				05 July 2023		
Erf No	n/a	Town	n/a	Suburb	n/a	
Farm No GF	1612	Farm Portion		Nearest Town	Franschhoek	
Owner / Applicant	Juan Pretorius Architecture		Contact number		083 301 7457	
Email address	juan@jparchitecture.co.za					
INDICATE WHICH OF THE FOLLOWING FORM PART OF THE DOCUMENTATION				ADMIN TO VERIFY¹		PLANNER TO EVALUATE²
				YES	NO	
1. Completed application form that is signed				✓		
2. Power of Attorney / Owners' Consent if the applicant is an agent and Company Resolution				✓		
3. Bondholders' consent						
4. Proof that applicant is authorized to act on behalf of an entity						
5. Proof of ownership or rights held in land						
6. Motivation based on criteria in s65				✓		
7. SG diagram or General Plan						
8. Locality plan				✓		
9. Site development plan or plan showing the land development				✓		
10. Subdivision plan						
11. Permission for required servitude						
12. Title Deed				✓		

¹ Verification by Admin only of the documentation attached and completeness of application and not the correctness thereof.

² Technical evaluation by Planner of the documentation attached for completeness and correctness thereof.

13. Conveyancer's certificate		✓	
14. Feedback on Pre-application scrutiny			
15. Minutes of Pre-consultation Meeting			
16. Consolidation plan			
17. Street name and numbering plan			
INDICATE WHICH OF THE FOLLOWING FORM PART OF THE DOCUMENTATION	ADMIN TO VERIFY		PLANNER TO EVALUATE
18. Land use plan / zoning plan			
19. Landscaping / tree plan			
20. Flood line plan			
21. Neighbours' consent			
22. HOA / Body Corporate consent			
23. Assessments: EIA, HIA, TIA , TIS, MHIA, EA/ROD			
24. Services report (Engineers report)			
25. Previous approvals			
26. Proof of failure of HOA			
27. Proof of lawful use right / zoning certificate			
28. Other documents Specify:			
VERIFIED & SIGNED BY ADMIN	NAME Nicole Katts	SIGNATURE 	DATE 10/07/2023
Outstanding information (to be completed by Planner): <i>See list attached.</i>			
Applications to be invoiced (to be completed by Planner): <i>Departure</i>			
EVALUATED & SIGNED BY PLANNER	NAME Pedro April <i>(10.07.2023)</i>	SIGNATURE 	DATE 12/07/2023
NOTES:			
<ol style="list-style-type: none"> The documentation is not considered as a registered application until such time as it has been scrutinized, all outstanding information (if any) has been submitted and payment is reflected in Council's bank account, after Applicant has been requested by Admin to make payment. Should it be found that the application is not complete, the Applicant will be notified of outstanding information [s41 (1)(c)(ii)]. Once payment has been confirmed and the application has been registered, the Applicant will be notified of the complete application [s41 (1)(c)(i)] and will receive instructions to advertise [s48(4)]. Should the outstanding information and/or payment of fees not be received, the applicant will be notified that the application will not proceed due to failure to submit required information [s41 (4)]. 			



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

DIRECTORATE: PLANNING & ECONOMIC DEVELOPMENT

www.stellenbosch.gov.za/planning-portal/

SUBMIT COMPLETED FORM TO landuse.applications@stellenbosch.gov.za

LAND USE PLANNING APPLICATION FORM

(Section 15 of the Stellenbosch Municipal Land Use Planning By-Law (2015) and other relevant legislation)

KINDLY NOTE: Please complete this form using BLOCK letters and ticking the appropriate boxes.

PART A: APPLICANT DETAILS

First name(s)	Juan			
Surname	Pretorius			
Company name (if applicable)	Juan Pretorius Architecture			
Postal Address	3 Boundary Road			
	Port Alfred	Postal Code	6170	
Email	juan@jparchitecture.co.za			
Tel		Fax		Cell 0833017457

PART B: REGISTERED OWNER(S) DETAILS (if different from applicant)

Registered owner(s)	Brian Groenewald			
Physical address	54 Huguenot Street			
	Franschhoek	Postal code	7600	
E-mail	brian@lepetitmanoir.co.za			
Tel		Fax		Cell 0836091160

PART C: PROPERTY DETAILS (in accordance with title deed)

Erf / Erven / Farm No.	1612	Portion(s) if Farm		Allotment area	Franschhoek
Physical Address	54 Huguenot Street				
	Franschhoek				
Current Zoning	Mixed Use	Extent	882 m ² / ha	Are there existing buildings?	<input checked="" type="checkbox"/> N
Applicable Zoning Scheme	Stellenbosch Municipal Zoning Scheme				

Current Land Use	Tourist Accommodation Establishment									
Title Deed number and date	T	000021688/2017								
Attached Conveyance's Certificate	<input checked="" type="checkbox"/>	N	Any Restrictions into the Attached Conveyance's Certificate? If yes, please list condition(s) as per certificate							
Are the restrictive conditions in favour of a third party(ies)?	<input checked="" type="checkbox"/>	N	If Yes, list the party(ies): In Favour of ERF 1611 - Franschoek							
Is the property encumbered by a bond?	Y	<input checked="" type="checkbox"/>	If Yes, list the bondholder(s):							
Is the property owned by Council?	Y	<input checked="" type="checkbox"/>	If Yes, kindly <u>attach a power of attorney</u> from the Manager Property Management							
Is the building located within the historical core?	<input checked="" type="checkbox"/>	N	Is the building older than 60 years?	Y	<input checked="" type="checkbox"/>	Is the application triggered by the National Heritage Resources Act, 1999 (Act 25 of 1999) ¹	Y	<input checked="" type="checkbox"/>	If Yes, kindly indicate which section are triggered and attached the relevant permit if applicable.	
Any existing unauthorized buildings and/or land use on the subject property(ies)?	Y	<input checked="" type="checkbox"/>	If yes, is this application to legalize the building / land use ² ?		Y	N				
Are there any pending court case(s) / order(s) relating to the subject property(ies)?	Y	<input checked="" type="checkbox"/>	Are there any land claim(s) registered on the subject property(ies)?		Y	<input checked="" type="checkbox"/>				

PART D: PRE-APPLICATION CONSULTATION AND OR SCRUTINY

Has there been any pre-application consultation?	Y	<input checked="" type="checkbox"/>	If Yes, please attach the minutes of the pre-application consultation.								
Has the pre-application scrutiny form been submitted?	Y	<input checked="" type="checkbox"/>	If yes, please attach the written feedback received.								

** The submission of a pre-application scrutiny form is compulsory for this type of application as listed below and written feedback must be attached to the land use planning application.*

PART E: LAND USE PLANNING APPLICATIONS AND APPLICATION FEES PAYABLE

APPLICATIONS IN TERMS OF SECTION 15 OF THE STELLENBOSCH MUNICIPAL LAND USE PLANNING BY-LAW (2015)

Type of application: Cost are obtainable from the Council Approved tariffs	Tick
15(2)(a) rezoning of land*	
15(2)(b) a permanent departure from the development parameters of the zoning scheme	X
15(2)(c) a departure granted on a temporary basis to utilise land for a purpose not permitted in terms of the primary rights of the zoning applicable to the land	
15(2)(d) a subdivision of land that is not exempted in terms of section 24, including the registration of a servitude or lease agreement*	
15(2)(e) a consolidation of land that is not exempted in terms of section 24*	
15(2)(f) a removal, suspension or amendment of restrictive conditions in respect of a land unit*	

¹ All applications triggered by section 38(1)(a) - (e) in terms of the National Heritage Resources Act, 1999 (Act 25 of 1999) may not be processed without a permit issued by the relevant department

² No application may be submitted to legalize unauthorised building work and or land use on the property if a notice has been served in terms of Section 87(2)(a), and until such time a Section 91 Compliance Certificate have been issued in terms of the Stellenbosch Land Use Planning By-law (2015)

15(2)(g) a permission required in terms of the zoning scheme	
15(2)(h) an amendment, deletion or imposition of conditions in respect of an existing approval*	
15(2)(i) an extension of the validity period of an approval	
15(2)(j) an approval of an overlay zone as contemplated in the zoning scheme	
15(2)(k) an amendment or cancellation of an approved subdivision plan or part thereof, including a general plan or diagram*	
15(2)(l) a permission required in terms of a condition of approval	
15(2)(m) a determination of a zoning*	
15(2)(n) a closure of a public place or part thereof	
15(2)(o) a consent use contemplated in the zoning scheme	
15(2)(p) an occasional use of land	
15(2)(q) to disestablish a home owner's association	
15(2)(r) to rectify a failure by a home owner's association to meet its obligations in respect of the control over or maintenance of services	
15(2)(s) a permission required for the reconstruction of an existing building that constitutes a non-conforming use that is destroyed or damaged to the extent that it is necessary to demolish a substantial part of the building	
15(2)(6) when the Municipality on its own initiative intends to conduct land development or an activity	
15(2)(l) amendment of Site Development Plan	
15(2)(l) Compilation / Establishment of a Home Owners Association Constitution / Design Guidelines	

OTHER APPLICATIONS		
	Deviation from Council Policies/By-laws	R
	Consent / Permission required in terms of a title deed	R
	Technical approval in terms of the Zoning Scheme Bylaw, 2019	R
	Other (specify): _____	R
TOTAL A:		R

PRESCRIBED NOTICE AND FEES* (for completion and use by official)**

Tick	Notification of application in media	Type of application	Cost
	SERVING OF NOTICES	Delivering by hand; registered post; electronic communication methods	R
	PUBLICATION OF NOTICES	Local Newspaper(s); <i>Provincial Gazette</i> ; site notice; Municipality's website	R
	ADDITIONAL PUBLICATION OF NOTICES	Site notice, public meeting, local radio station, Municipality's website, letters of consent or objection	R
	NOTICE OF DECISION	<i>Provincial Gazette</i>	R
	INTEGRATED PROCEDURES	T.B.C	R
TOTAL B:			R
TOTAL APPLICATION FEES** (TOTAL A + B)			R

****The complete application should first be submitted without the payment of any applicable application fees. Only when satisfied that a complete and accurate application has been submitted, will a proforma invoice be submitted to the applicant with payment instructions. Application fees that are paid to the Municipality are non-refundable and once proof of payment is received, the application will be regarded as duly submitted.**

*****All indigent residents who are registered as such with the Municipality and with proof submitted together with application will be exempted from applicable fees for Permanent Departure applications including but not limited to building lines, coverage, height, bulk, parking. Contact: indigent.office@ Stellenbosch.gov.za or 021 808 8501 or 021 808 8579**

****** The applicant is liable for the cost of publishing and serving notice of an application. Additional fees may become applicable and the applicant will be informed accordingly.**

BANKING DETAILS

Account Holder Name: Stellenbosch Municipality
 Bank: FIRST NATIONAL BANK (FNB)
 Branch no.: 210554
 Account no.: 62869253684
 Payment reference: LU/_____ and ERF/FARM _____

Please use both the Land Use Application number and the Erf/Farm number indicated on the invoice as a reference when making EFT payment

DETAILS FOR INVOICE

Name & Surname/Company name (details of party responsible for payment)	Le Petit Manoir PTY LTD
Postal Address	54 Huguenot St, Franschhoek, 7690
Vat Number (where applicable)	4340274176

PART F: DETAILS OF PROPOSAL

Building line encroachment	Street		From	4.5m	To	4.5m
	Street		From		To	
	Side		From	4.5m	To	1.0m
	Side		From	4.5m	To	1.0m
	Aggregate side		From		To	
	Rear		From	4.5m	To	1.0m
Exceeding permissible site coverage		From	%	To	%	
Exceeding maximum permitted bulk / floor factor / no of habitable rooms		From		To		
Exceeding height restriction		From	m	To	m	
Exceeding maximum storey height		From	m	To	m	
Consent/Conditional Use/Special Development						
To permit..... in terms of Section.....of the.....Zoning Scheme Regulations						
Other (please specify)	<hr/> <hr/> <hr/>					

Brief description of proposed development / intent of application:

Additions and Alterations to an existing structure. There are also existing approved structures over the 4.5m side building lines.

PART G: ATTACHMENTS AND SUPPORTING INFORMATION AND DOCUMENTATION FOR LAND USE PLANNING APPLICATION

Complete the following checklist and attach all the information and documentation relevant to the proposal. Failure to submit all information and documentation required will result in the application being deemed incomplete.

Information and documentation required

<input checked="" type="checkbox"/>	N	Power of attorney / Owner's consent if applicant is not owner		Y	<input checked="" type="checkbox"/>	Bondholder's consent (if applicable)
Y	<input checked="" type="checkbox"/>	Resolution or other proof that applicant is authorised to act on behalf of a juristic person		Y	<input checked="" type="checkbox"/>	Proof of any other relevant right held in the land concerned
<input checked="" type="checkbox"/>	N	Written motivation pertaining to the need and desirability of the proposal		<input checked="" type="checkbox"/>	N	S.G. diagram / General plan extract (A4 or A3 only)
<input checked="" type="checkbox"/>	N	Locality plan (A4 or A3 only) to scale		<input checked="" type="checkbox"/>	N	Site development plan or conceptual layout plan (A4 or A3 only) to scale
Y	<input checked="" type="checkbox"/>	Proposed subdivision plan (A4 or A3 only) to scale		Y	<input checked="" type="checkbox"/>	Proof of agreement or permission for required servitude
Y	N	Proof of payment of application fees To Follow		<input checked="" type="checkbox"/>	N	Proof of registered ownership (Full copy of the title deed)
<input checked="" type="checkbox"/>	N	Conveyancer's certificate To Follow		Y	N	Written feedback of pre-application scrutiny and Minutes of pre-application consultation meeting (if applicable)
Y	N	<input checked="" type="checkbox"/> Consolidation plan (A4 or A3 only) to scale		<input checked="" type="checkbox"/>	N	N/A Land use plan / Zoning plan (A4 or A3 only) to scale
Y	N	<input checked="" type="checkbox"/> Street name and numbering plan (A4 or A3 only) to scale				
Y	N	<input checked="" type="checkbox"/> Landscaping / Tree plan (A4 or A3 only) to scale		Y	N	<input checked="" type="checkbox"/> 1 : 50 / 1:100 Flood line determination (plan / report) (A4 or A3 only) to scale
Y	N	N/A Abutting owner's consent		Y	N	<input checked="" type="checkbox"/> Home Owners' Association consent
Y	N	<input checked="" type="checkbox"/> Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD)		Y	N	<input checked="" type="checkbox"/> Services Report or indication of all municipal services / registered servitudes
Y	N	<input checked="" type="checkbox"/> Copy of original approval and conditions of approval		Y	N	<input checked="" type="checkbox"/> Proof of failure of Home owner's association

Y	N	N/A	Proof of lawful use right	Y	N	N/A	Any additional documents or information required as listed in the pre-application consultation form / minutes
Y	N	N/A	Required number of documentation copies	Y	N	N/A	Other (specify)

PART H: AUTHORISATION(S) SUBJECT TO OR BEING CONSIDERED IN TERMS OF OTHER LEGISLATION

Y	X	If required, has application for EIA / HIA / TIA / TIS / MHIA approval been made? If yes, attach documents / plans / proof of submission etc.	Specific Environmental Management Act(s) (SEMA) (e.g. Environmental Conservation Act, 1989 (Act 73 of 1989))
Y	X	Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)	Y X National Environmental Management: Air Quality Act, 2004 (Act 39 of 2004)
X	N/A	Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013)(SPLUMA)	Y X National Environmental Management: Waste Act, 2008 (Act 59 of 2008)
Y	X	Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations	Y X National Water Act, 1998 (Act 36 of 1998)
X	N/A	Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA)	Y X Other (specify)
Y	X	Do you want to follow an integrated application procedure in terms of section 44(1) of the Stellenbosch Municipality Land Use Planning By-Law? If yes, please attach motivation.	

SECTION I: DECLARATION

I hereby wish to confirm the following :

1. That the information contained in this application form and accompanying documentation is complete and correct.
2. I'm aware that it is an offense in terms of section 86(1)(e) to supply particulars, information or answers knowing the particulars, information or answers to be false, incorrect or misleading or not believing them to be correct.
3. I am properly authorized to make this application on behalf of the owner and that a copy of the relevant power of attorney or consent is attached hereto.
4. Where an agent is appointed to submit this application on the owner's behalf, it is accepted that correspondence from and notifications by the Municipality in terms of the by-law will be sent only to the agent and that the owner will regularly consult with the agent in this regard.
5. I confirm that the relevant title deed(s) have been read and that there are no restrictive title deed restrictions, which impact on this application, or alternatively an application for removal/suspension or amendment forms part of this submission.
6. I confirm that I have made known all information relating to possible Land / Restitution Claims against the application property.
7. It is the owner's responsibility to ensure that approval is not sought for a building or land use which will be in conflict with any applicable law.
8. The Municipality assesses an application on the information submitted and declarations made by the owner or on his behalf on the basis that it accepts the information so submitted and declarations so made to be correct, true and accurate.

- 9. Approval granted by the Municipality on information or declarations that are incorrect, false or misleading may be liable to be declared invalid and set aside which may render any building or development pursuant thereto illegal.
- 10. The Municipality will not be liable to the owner for any economic loss suffered in consequence of approval granted on incorrect, false or misleading information or declarations being set aside.
- 11. Information and declarations include any information submitted or declarations made on behalf of the owner by a Competent Person/professional person including such information submitted or declarations made as to his or her qualification as a Competent person and/or registration as a professional.
- 12. A person who provides any information or certificate required in terms of Regulation A19 of the National Building Regulations and Building Standards Act No 103 of 1977 which he or she knows to be incomplete or false shall be guilty of an offence and shall be prosecuted accordingly.
- 13. A person who supplies particulars, information or answers in a land use application in terms of the Stellenbosch Municipality Land Use Planning By-law knowing it to be incorrect, false or misleading or not believing them to be correct shall be guilty of an offence and shall be prosecuted accordingly.
- 14. The Municipality will refer a complaint to the professional council or similar body with whom a Competent Person/professional person is registered in the event that it has reason to believe that information submitted or declaration/s made by such Competent Person/professional person is incorrect, false or misleading.
- 15. I am aware that by lodging an application, the information in the application and obtained during the process may be made available to the public.

Applicant's signature:

J Pretorius

Date:

4 July 2023

Full name:

Juan Pretorius

Professional capacity:

Architect

FOR OFFICE USE ONLY

Date received: _____

Received By: _____

Municipal Stamp



JUAN PRETORIUS ARCHITECTURE
and interior design

30 June 2023

Our Ref: 2221

Stellenbosch Municipality

Town House Complex
Plein Street
Stellenbosch
7600

ATTENTION: MR PEDRO APRIL

BUILDING LINE RELAXATION | LETTER OF MOTIVATION: ERF 1612 FRANSCHHOEK

Background

The owners purchased the property in 2017 and renovated the structure with the purpose to service the ever-growing tourism industry in the Franschhoek district.

Le Petit Manoir's concept to service the tourism industry in a holistic manner has proven to be extremely successful. They offer a unique accommodation experience tied to an exclusive fine dining service.

The also offer "tuk-tuk" tours to other tourist attractions to their guests.

Development Concept

Le Petit Manoir has realised the fast-growing need for their service has increased and have thus decided to extend their facility to offer more to their growing number of guests.

The existing facility currently exceeds the allowed 4.5m building lines. These structures are currently approved as is. Our request is to have the rear and side building lines reduced from 4.5m to 1.0m. The street building line of 4.5m will remain. The rear building line relaxation is to enlarge their existing swimming pool.

The number of rooms will increase from four rooms to ten rooms. The deli will remain. The kitchen facility will be enlarged to cater for the increase in rooms. Each room will offer a unique experience.

The purpose of the larger facility is to offer an even higher level of service and comfort to their guests. A larger facility brings forth the need to employ more staff. This is of huge benefit to the local community of Franschhoek and surrounding villages. This will:

- change lives by investing significant time, effort and resources in training the staff educating (local members of the community) by uplifting their skill levels within the hospitality industry to a five-star service.
- reduce the environmental impact with the additional photovoltaic installed system.



JUAN PRETORIUS ARCHITECTURE
and interior design

Development on the property will basically entail the following :

- Deli Area.
- Kitchen to serve guests.
- Seating area.
- Reception area.
- Bar Area.
- 3 x rooms on the ground floor.
- 7 x rooms on the first floor.

The size and accessibility of the site supports the proposed development as **it does not** exceed the allowable site coverage.

Physical Site Characteristics

1. The property is 822m² in extent and Huguenot Road borders the north-eastern boundary of the site.
2. The topography of Erf 1612 slopes slightly in a south-westerly direction.
3. Erf 1612 obtains access from Huguenot Road in the north. All vehicle movement and parking will be provided on the site.
4. The development proposal of the property will not have a negative impact on the physical characteristics of the site, but rather increase property value and support.

Character of the Area

1. Franschhoek is notable for having some of the top restaurants in the country within its borders. This fact, together with the strong wine culture, has made Franschhoek into what many describe as the "food and wine capital" of South Africa.
2. The attributes of the village have turned Franschhoek into a popular tourist destination..
3. The property is centrally situated in Franschhoek, easily accessible from neighbouring towns.
4. It supports the principles of sustainability, reduce urban sprawl, and improve accessibility of work and living environments.
5. Based on the above, the proposed development on the property will not have a negative impact on the surrounding communities or properties and will support the development vision for the area.

Socio-Economic Contribution and Job Creation

Education forms the base of all activities in life and social development. Hence education must be encouraged to foster the economic growth and social development.

Le Petit Maroir is highly committed to education and skills development of their staff.

The other great social challenge is influencing culture around food and service tied to the tourism industry.



JUAN PRETORIUS ARCHITECTURE
and interior design

It is anticipated that a number of short-term construction and downstream jobs will be created during the implementation of services and construction. Longer term and more permanent employment opportunities will be in place once the facility re-opens. This includes general operation and maintenance.

The proposed development will not only provide training and equipping opportunities but will also:

1. Contribute to the municipal rate base
2. Provide economic stability and promote economic sustainability
3. Increase property value
4. Promotes urban density and maximises the utilisation of space and resources

Consistency with Spatial Policy Directives

The development proposal is consistent with all the approved spatial policy frameworks that apply to the area. This statement is supported by the following :

- The proposed additions to the existing facility on ERF 1612 will not only enable the development of the property and improvement of the area, but will also provide skills development.
- The proposal promotes growth by ensuring the efficient use of land and infrastructure, containing urban sprawl and prioritising infill development and intensification.
- Erf 1612 is located inside the urban edge of Franschhoek and therefore suitable for development.
- The proposed development will result in the optimal use of land in the urban edge, thereby preventing urban sprawl.
- The proposal will contribute to the existing business node of the area.

To summarize, the following is highlighted :

- The application is consistent with the principles of the SDF.
- The proposal strengthens and supports local economic development.
- The proposed development is easily accessible from Huguenot Road and within walking distance of other tourist attractions.
- The proposed development will uplift the local community, contribute to the municipal rate base, provide economic stability, promote economic sustainability and increase property value.
- Engineering services can be made available.

It is therefore recommended from a planning point of view that this application should be supported as it will have a positive impact on development in the area.

Yours Faithfully

Juan Pretorius (for and on behalf of Le Petit Manoir).



JUAN PRETORIUS ARCHITECTURE
and interior design

30 June 2023

Our Ref: 2221

Stellenbosch Municipality

Town House Complex
Plein Street
Stellenbosch
7600

ATTENTION: MR PEDRO APRIL

PARKING | LETTER OF MOTIVATION: ERF 1612 FRANSCHHOEK

As per the Stellenbosch municipal zoning scheme for mixed use zoned properties operating as tourist accommodation establishments we require the following:

Area & Site Information Table
<u>Parking Calculations</u> Total Hotel Suites: 10 Required Parking: 0,7 bay per bedroom or suite
0.7 x 10 = 7 Parking Bays
Deli Area: 50m ² Required Parking: 4 bays per 100m ² gross leasable area
2 Parking Bays
TOTAL REQUIRED PARKING BAYS: 9

We would hereby like to motivate that our 8no parkings would be sufficient.

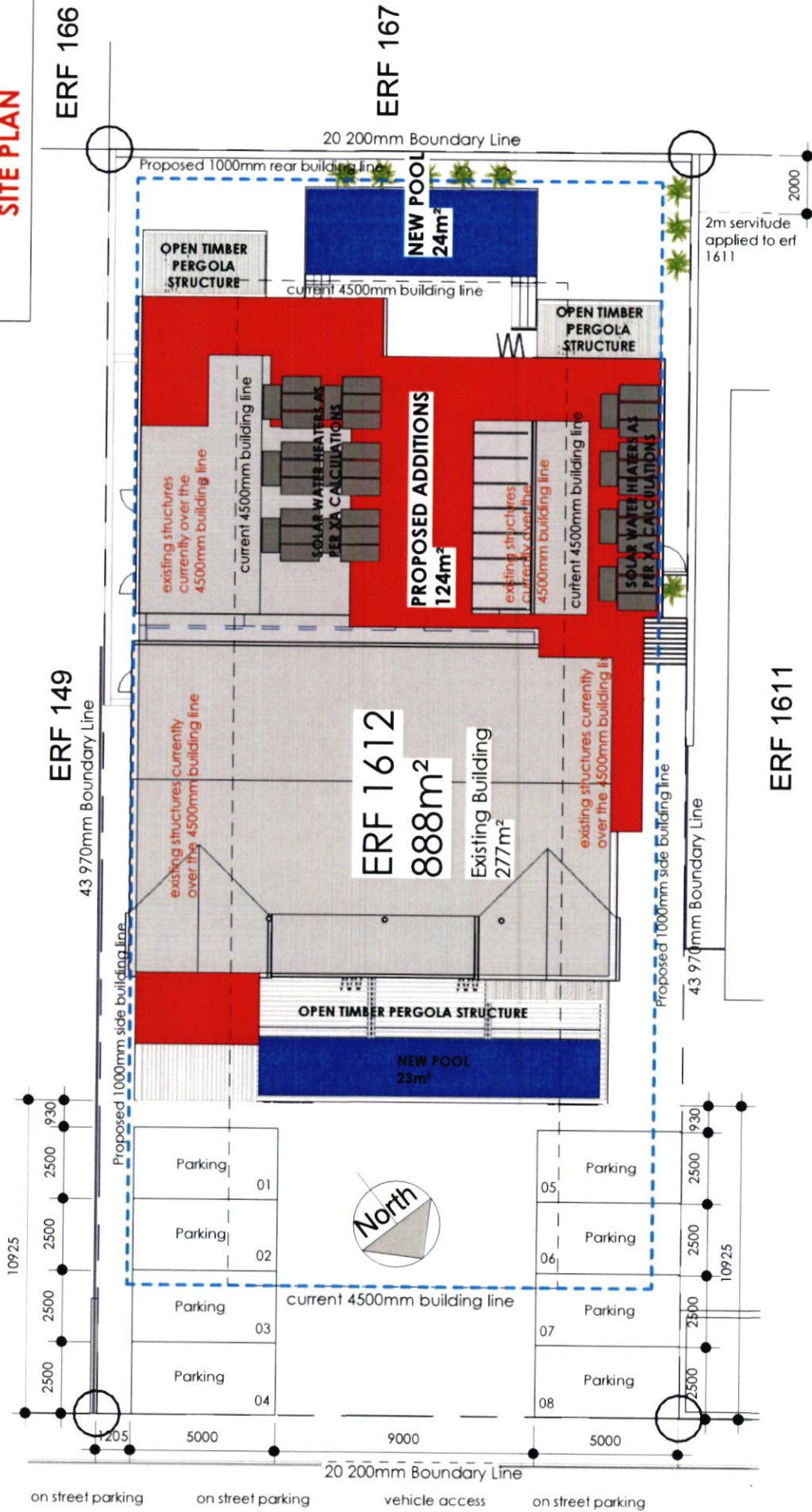
1. There are 8no parking bays, well positioned with adequate reversing space.
2. There are many off-street parking bays available for use.
3. There are 40 plus parking bays across the road at the local market.
4. Our airport pickup service reduces the need for 9 parking bays.
5. The ever growing E-Hailing service (UBER, etc) further reduces the need to have the required 9no parking bays.
6. Our facility is centrally located and is walking distance from most other facilities.
7. Our "tuk-tuk" service offers guests the opportunity to go anywhere.

We hereby request that you consider our application to offer 8no parking bays instead of the required 9no parking bays.

Yours Faithfully

Juan Pretorius (for and on behalf of Le Petit Manoir).

SITE PLAN



Project	Le Petit Manoir - Franschoek	Drawing name	Site Plan_A
Erf	1612	Scale	1 : 200
Allotment	Franschoek	Date	2023-06-30
Client	Le Petit Manoir	Revision	
Drawing Reference	2221	Page Size	A4

Notes

2m servitude applied to erf 1611

ERF 1611

ERF 1612

ERF 161

ERF 166

ERF 167

JUAN PRETORIUS ARCHITECTURE
and interior design

Signatures: *J Pretorius*
Architect: Juan Pretorius

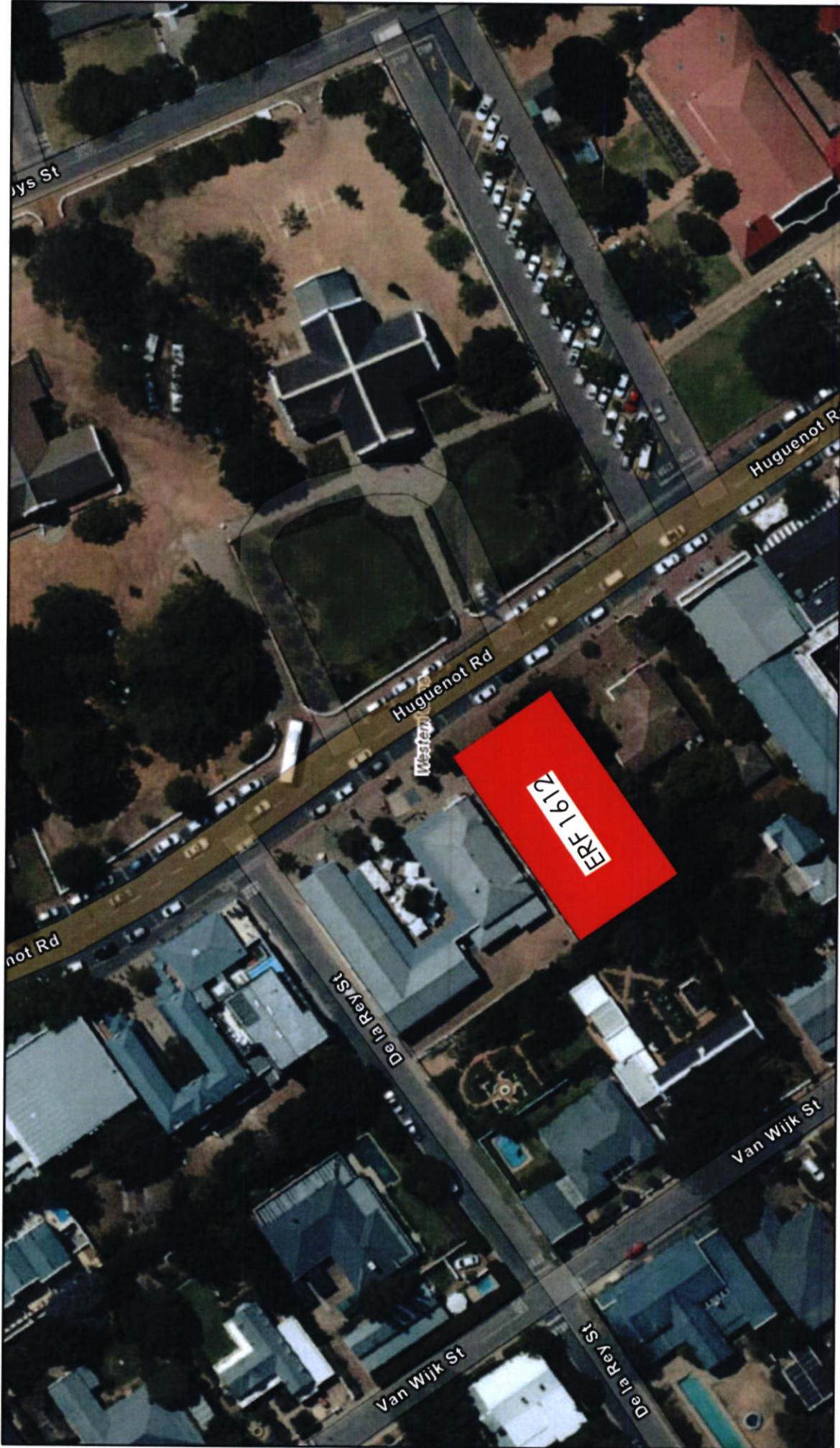
27 83 301 7457 + number to follow
juan@jparchitecture.co.za www.jparchitecture.co.za

Shop 1, 16 Wharf Street, Port Alfred, South Africa 6170
 SACAP REGISTRATION NUMBER : PSAT 24722389

M08

HUGUENOT ROAD
no street furniture effected

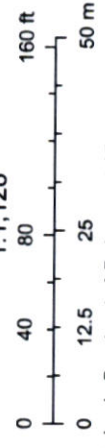
ERF 1612 Franschhoek



30/06/2023, 10:37:33

- Prince Edward Islands
- RSA Mainland
- Provinces
- Coastal erven

1:1,128



Stellenbosch, Department of Environmental Affairs: Oceans & Coasts, Dept Environmental Affairs, ESRI, CD.NGI, DWA, SAHRA, Esri Community Maps Contributors, Esri South Africa, Esri, HERE, Garmin, Foursquare, METI/NASA, USGS

ZONING MAP

Construction Notes

All dimensions to be checked on site before construction commences. All dimensions are given in millimeters, unless otherwise specified. Contractors to adhere to all local authority's regulations and requirements. These architectural drawings to be read in conjunction with the engineer and consultants drawings where applicable. All building work to be carried out in accordance with the national building regulations. The contractor is responsible for all site visits by local authorities and pay all fees in connection therewith. All drainage requirements to be carried out in accordance with the national building regulations. All measurements to be taken on site by the architect prior to commencement of work. Any discrepancies with architect's drawings to be confirmed by the architect prior to commencement of work.

Revision	Number	Description	Date

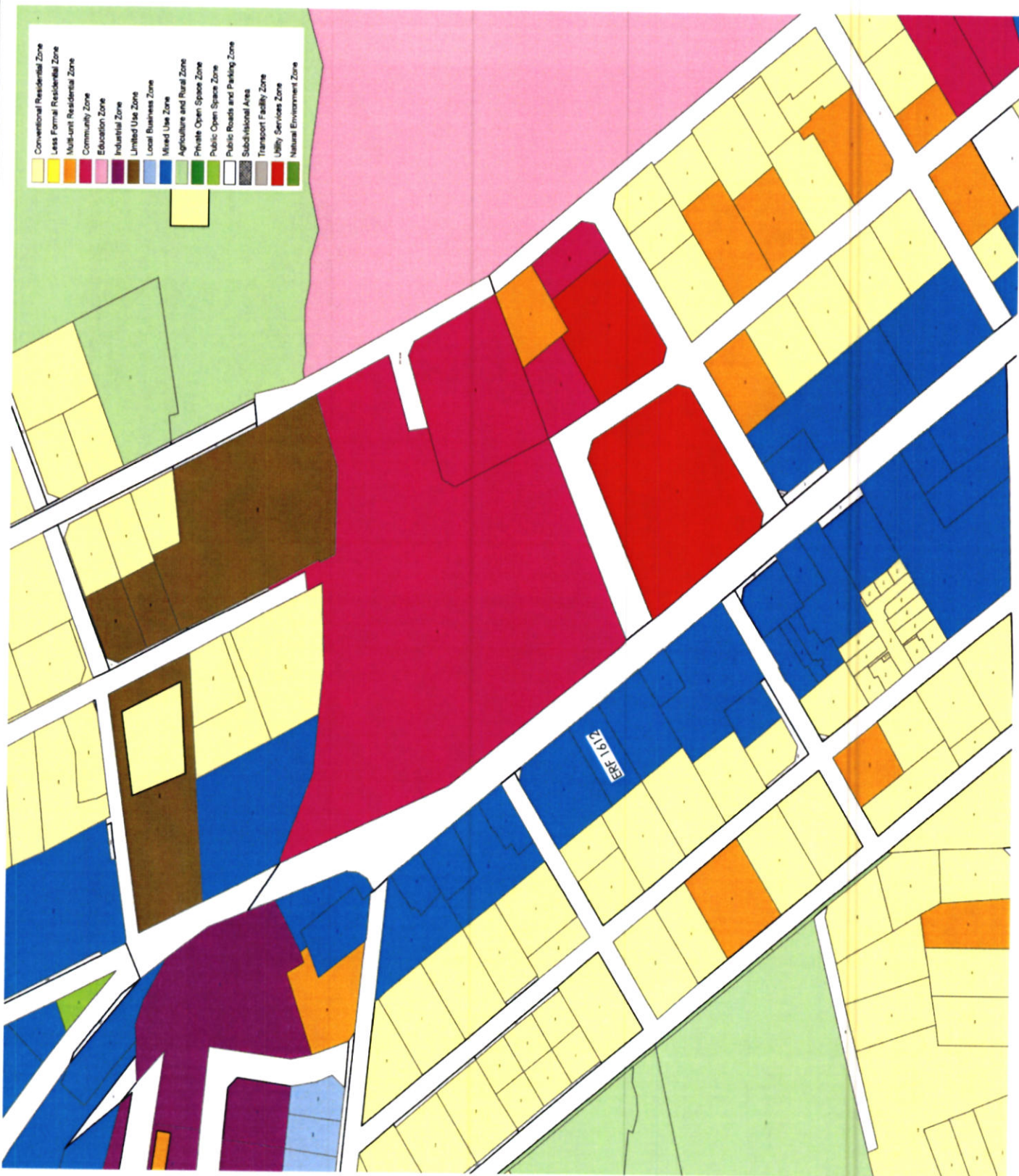


JUAN PRETORIUS
ARCHITECTURE
and interior design

+ 27 83 301 7457 to follow
@ juan@jparchitecture.co.za www.jparchitecture.co.za
Shop 1, 16 Wharf Street, Port Alfred, South Africa
SACAP REGISTRATION NUMBER : PSAT 24722389

Project	Le Petit Manoir – Franschhoek
Erf	Allotment
1612	Franschhoek
Client	
Le Petit Manoir	
Drawing Reference	
2221	
Drawing name	
Zoning Map	
Scale	Page Size
1 : 2000	A3
Date	2023-06-30
Revision	

M09





JUAN PRETORIUS ARCHITECTURE
and interior design

GENERAL POWER OF ATTORNEY

I, the undersigned,

(Name and surname) Brian Groenewald

(address) 373 Val de Vie estate
Pearl, 7646

(ID number) 680319

do hereby nominate, constitute, and appoint Juan Pretorius Architecture from 16a Wharf Street, Port Alfred, 6170

(Hereinafter called "the Agent") to be my lawful agent, and to act on my behalf and attend to the following matters, namely.

1. To lodge building plans with the municipality
2. To sign all plans required to be lodged, including any subsequent alterations effected thereto with the municipality
3. To obtain copies of plans of existing buildings on my behalf from the municipality
4. To countersign any Structural or Mechanical engineer's appointment forms and certificates, or other approved competent persons appointment forms in respect of any building plans lodged with the municipality
5. Generally, to act on my behalf regarding the approval of any building plan lodged on my behalf with the municipality as if I was personally present
6. This Power of Attorney is granted in respect of the property owned by me and more fully described as.

ERF: 1612

PHYSICAL ADDRESS: 54 Huguenot St, Franschhoek, 7690

I hereby ratify and agree to ratify everything, which the Agent under this power of attorney shall do or purport to do by virtue of this power of attorney.

(Termination of General Power of Attorney date) 30/06/2023

Thus, done and signed at Franschhoek Dated 14-12-2022

(Signature of Principal) 

1079

Van Der Spuy & Partners
P O Box 218 Paarl 7620

Prepared by me

Free-endorsement		Notary fee
Amount		
Transfer of	R. 12 089 700,00	2920,00
Capital	R.	
Reason for exemption	Cat. section Act.	Exempt (L.G.)



CONVEYANCER
SAREL VAN DEN BERG

VIR VERHOE ENDOSSERMENT MEA...
FOR FURTHER ENDORSEMENT SEE PAGE 4

DATA / VERIFY
03 MAY 2017
OLIVIER YOLANDI

T000021680 / 2017

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT


SAREL VAN DEN BERG

appeared before me, REGISTRAR OF DEEDS at CAPE TOWN, the said appearer being duly authorised thereto by a Power of Attorney which said Power of Attorney was signed at Paarl on 13 February 2017 granted to him by

RED LINE INVESTMENTS 20 CLOSE CORPORATION
Registration Number 2002/030369/23

DATA / CAPTURE
24 APR 2017
LARNEY FATGEYAH

4

DIE NAAM VAN DIE	THE NAME OF THIS
TRANSFEREE	
IS VERANDER NA	HAS BEEN CHANGED TO
LE PETIT MANOIR PROPRIETARY LIMITED	
BO0036580/2017	
2017-07-07	
	REGISTRAR/REGISTRAR

And the appearer declared that his said principal had, on 3 February 2017, truly and legally sold by Private Treaty, and that he, the said Appearer, in his capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

DE BOS BOUTIQUE GUEST HOUSE PROPRIETARY LIMITED
Registration Number 2016/210853/07

or its Successors in Title or assigns,

ERF 1612 FRANSCHHOEK
IN THE MUNICIPALITY OF STELLENBOSCH
DIVISION OF PAARL
PROVINCE OF THE WESTERN CAPE

IN EXTENT 882 (EIGHT HUNDRED AND EIGHTY TWO) Square metres

FIRST REGISTERED by Certificate of Registered Title Number T123/2000 with Diagram S.G. Number 2726/1999 relating thereto and held by Deed of Transfer Number T58322/2002

- A. SUBJECT to the conditions referred to in Deed of Transfer T11487/1952.
- B. ENTITLED to a servitude Service Area 2 metres wide the South Western boundary of which is represented by the line A.E. on Diagram S.G. Number 2725/1999 over Erf 1611 Franschoek, in the Municipality for the area of Franschoek, Division of Paarl, Province of the Western Cape, in extent 1 590 (ONE THOUSAND FIVE HUNDRED AND NINETY) square metres, held by Certificate of Registered Title Number T122/2000.

WHEREFORE the said Appearer, renouncing all rights and title which the said

RED LINE INVESTMENTS 20 CLOSE CORPORATION
Registration Number 2002/030369/23

heretofore had to the premises, did in consequence also acknowledge it to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

DE BOS BOUTIQUE GUEST HOUSE PROPRIETARY LIMITED
Registration Number 2016/210853/07

or its Successors in Title or assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R10 605 000,00 (TEN MILLION SIX HUNDRED AND FIVE THOUSAND RAND) excluding VAT in the sum of R1 484 700,00 (ONE MILLION FOUR HUNDRED AND EIGHTY FOUR THOUSAND SEVEN HUNDRED RAND), total consideration paid by the transferee to the transferor

being the amount of R12 089 700,00 (TWELVE MILLION EIGHTY NINE THOUSAND SEVEN HUNDRED RAND).

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at CAPE TOWN on

20 April 2017



q.q.

In my presence



REGISTRAR OF DEEDS



CONVEYANCER CERTIFICATE

I/We NERINA MARAIS

(conveyancer's name and surname)

Practising at:
MINITZERS INCORPORATED
PAARL, WESTERN CAPE

(firm and place of practice)

In respect of:
ERF 1612 FRANSCHHOEK
IN THE MUNICIPLITY OF STELLENBOSCH
DIVISION PAARL
PROVINCE OF THE WESTERN CAPE

(full property description (erf / farm) as it appear in title deed of same)

Hereby certify that a search was conducted in the Deeds Registry, regarding the said property (ies) (including both current and earlier title deeds/pivot deeds/deeds of transfer):

1. T21688/2017
2. T58322/2002
3. T63854/1999
4. T11487/1952
5. T122/2000
6.
7.
8.

For example Deed of Transfer T12345/2000 or Certificate of Registered Sectional Title ST1234/2000 (description of title deed number and date)



A. IDENTIFY RESTRICTIVE TITLE CONDITIONS (if any)

Categories		Are there deed restrictions (indicate below)		Title Deed and Clause number if restrictive conditions are found
1.	Use of land	Y	<input checked="" type="radio"/> N	
2.	Building lines	Y	<input checked="" type="radio"/> N	
3.	Height	Y	<input checked="" type="radio"/> N	
4.	Number of Dwellings	Y	<input checked="" type="radio"/> N	
5.	Bulk floor area	Y	<input checked="" type="radio"/> N	
6.	Coverage/built upon area	Y	<input checked="" type="radio"/> N	
7.	Subdivision	Y	<input checked="" type="radio"/> N	
8.	Servitudes that may be registered over or in favour of the property	Y	<input checked="" type="radio"/> N	
9.	Other Restrictive Conditions	Y	<input checked="" type="radio"/> N	



B. INDICATE AFFECTED PARTIES AS PER TITLE DEED (if any)

In respect of which it was found that there *are/are no restrictive conditions with reference to Section 33(4) (a, b or c) of the Land Use Planning By-law (2015) registered against such property (ies) prohibiting it from being utilised/developed for the following purposes (as elaborated in the accompanying application):

a.	Organ(s) of State that might have an interest in the restrictive condition	N/A
b.	A person whose rights or legitimate expectations will be affected by the removal/suspension/amendment of a restriction condition.	
c.	All persons mentioned in the deed for whose benefit the restrictive condition applies	

C. PROCESS BY WHICH RELEVANT CONDITIONS WILL BE ADDRESSED

(please tick appropriate box)

Application in terms of Section 15 of the Stellenbosch Municipal Land Use Planning By-Law (2015)	Notarial Deed of Cancellation (Submit Copy of Signed Agreement)	Action by way of court order (Submit Copy of the Court Order)	If Other, Please Specify
--	---	---	--------------------------

Signed at PAARL (Place) on this 7 (Day) July (Month) of 2023.

Full names and Surname: NERINA MARAIS

Signature: 

Firm Postal Address:

NERINA MARAIS
 COMMISSIONER OF OATHS
 PRACTISING ATTORNEY RSA
 Kindly Affirm Certificate by affixing official stamp
ARCADIA HOUSE
45 LADY GREY STREET, PAARL

Tel: 021 871 1401

Email: nerina@miniters.co.za

Cell: 084 670 9033

Nicole Katts

From: Juan Pretorius <juan@jparchitecture.co.za>
Sent: Wednesday, 02 August 2023 11:54
To: Nicole Katts
Cc: frank@lepetitmanoir.co.za; brian@lepetitmanoir.co.za; jp@lepetitmanoir.co.za; morne@jparchitecture.co.za
Subject: [EX] TP428/2023 | Neighbours Consent
Attachments: ERF 167.pdf; Erf 1611.pdf; ERF 149.pdf

Dear Nicole

We have taken the liberty of requesting neighbours consent for the building line relaxation.

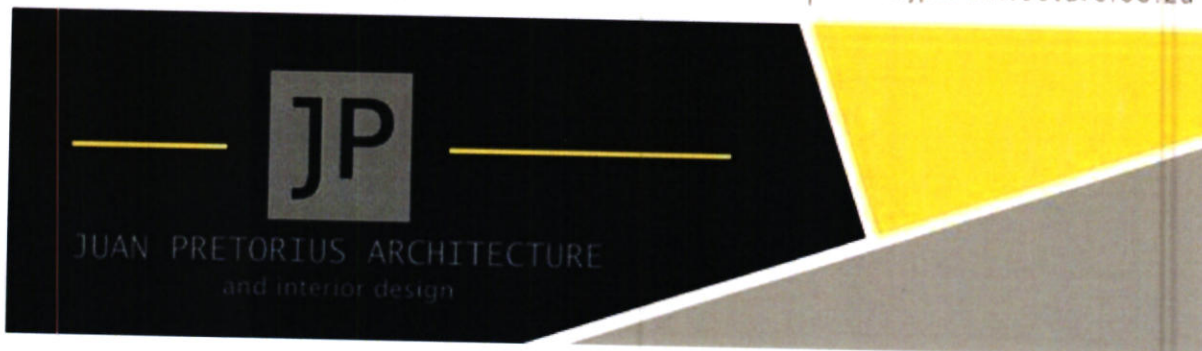
Please find attached:

1. ERF 167 – Signed with NO OBJECTION
2. ERF 149 – Signed with NO OBJECTION
3. ERF 1611 – Signed with NO OBJECTION

Please may you add this to our application.

Kind Regards | Juan Pretorius

Mobile +27 83 301 7457 | juan@jparchitecture.co.za | www.jparchitecture.co.za





NOTES:

1. The site is situated on the eastern side of Huguenot Road, between ERF 148 and ERF 167.
2. The site is bounded by Huguenot Road to the north, the 20m boundary line to the east, and the 20m boundary line to the south.
3. The site is currently vacant and is proposed for residential development.
4. The proposed development consists of a 3-story residential building with a total floor area of 200,000 m².
5. The proposed development is subject to the following conditions:
 - a. The building height shall not exceed 10m.
 - b. The building shall be set back from the Huguenot Road boundary by a minimum of 5m.
 - c. The building shall be set back from the 20m boundary line to the east by a minimum of 5m.
 - d. The building shall be set back from the 20m boundary line to the south by a minimum of 5m.



INCREMENT OF AREA

Area	Proposed	Final
Site Area	48,300 m ²	48,300 m ²
Public Space	79,300 m ²	79,300 m ²
Open Space	14,500 m ²	14,500 m ²
Permeable Pavement	54,500 m ²	54,500 m ²
Non-Permeable Pavement	793,500 m ²	793,500 m ²
Total	43,700 m ²	200,000 m ²

Area & Site Information Table

Area	Value
Site Area	48,300 m ²
Public Space	79,300 m ²
Open Space	14,500 m ²
Permeable Pavement	54,500 m ²
Non-Permeable Pavement	793,500 m ²
Total	43,700 m ²

Area & Site Information Table

Area	Value
Site Area	48,300 m ²
Public Space	79,300 m ²
Open Space	14,500 m ²
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Area & Site Information Table

Area	Value
Site Area	48,300 m ²
Public Space	79,300 m ²
Open Space	14,500 m ²
Permeable Pavement	54,500 m ²
Non-Permeable Pavement	793,500 m ²
Total	43,700 m ²

Le Petit Manoir
 Residential • Retail • Commercial
 0 0 0 0 0

Project Information

Project Name: **ERF 1612**
 Client: **ERF 1612**
 Architect: **JUAN PRETORIUS ARCHITECTURE**
 Date: **2023-06-16**
 Scale: **1:100**
 Page Size: **A1**

JUAN PRETORIUS ARCHITECTURE
 10001 10001 10001 10001
 10001 10001 10001 10001
 10001 10001 10001 10001
 10001 10001 10001 10001

Freeform Construction Drawings

Project Name: **ERF 1612**
 Client: **ERF 1612**
 Architect: **JUAN PRETORIUS ARCHITECTURE**
 Date: **2023-06-16**
 Scale: **1:100**
 Page Size: **A1**



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Consent Form Jan 2022v1

DIRECTORATE: PLANNING & ECONOMIC DEVELOPMENT

www.stellenbosch.gov.za/planning-portal/

FOR ENQUIRIES CONTACT landuse.enquiries@stellenbosch.gov.za

DECLARATION BY AFFECTED PARTY(IES) / PROPERTY OWNER(S)

Dear Sir / Madam

This letter serves to notify potentially affected parties of the application set out hereunder.

APPLICATION DETAILS			
Erf / Farm No.	1672	Area	Franschoek
Applicant / consultant	Brian Greenewald	Contact No.	083 609 1160
Application type in terms of applicable planning legislation	<input checked="" type="checkbox"/> Building Line Departure	Other Departures	Amendment of Conditions
	<input type="checkbox"/> Consent Use	Other (please specify)	
Detailed description of application			
Additions and alterations			


Note to applicant:

Should the affected party / property owner not be prepared to sign this letter of no objection, you are advised to submit the application without their agreement so that the Directorate can formally advertise the matter via email or post.

DECLARATION BY AFFECTED PARTY(IES) / PROPERTY OWNER(S)

1. If signing on behalf of a company / trust, please attach written proof of authorisation to do so. If affected premises owned by more than one person (i.e. both husband and wife), all parties to sign.
2. By lodging an objection, comment or representation, the person doing so acknowledges that information may be made available to the public and to the applicant.
3. Ensure the application detail section above is properly completed.
4. Ensure the plan specified below corresponds with the plan shown to and signed by you.

I / We, registered owner(s) of the under-mentioned premises, having been shown the subdivision / layout plan / building plans / proposal in respect of the aforementioned application and having signed, confirm that I / we understand the proposal as set out above and confirm that I / we (please tick)

<input checked="" type="checkbox"/> have no objection	<input type="checkbox"/> object for the reasons listed hereunder			
Reasons for objection				
Owner signature		Date	28 July 2023	
Full name (capitals)	Elmarie Maritz			
Company name				
Erf / Farm No.	167			
Street address / Postal address	33 van Wijk Street, Franshoek			
Contact No.	Office / Home	012 661 4280	Postal code	7690
			Cell	083 440 7762



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Consent Form Jan 2022v1

DIRECTORATE: PLANNING & ECONOMIC DEVELOPMENT

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FOR ENQUIRIES CONTACT landuse.enquiries@stellenbosch.gov.za

DECLARATION BY AFFECTED PARTY(IES) / PROPERTY OWNER(S)

Dear Sir / Madam

This letter serves to notify potentially affected parties of the application set out hereunder.

APPLICATION DETAILS			
Erf / Farm No.	1612	Area	Franschhoek
Applicant / consultant	Brian Groenewald	Contact No.	083 609 1160
Application type in terms of applicable planning legislation	<input checked="" type="checkbox"/> Building Line Departure	Other Departures	Amendment of Conditions
	<input type="checkbox"/> Consent Use	Other (please specify)	
Detailed description of application			
Additions and alterations			

Note to applicant:

Should the affected party / property owner not be prepared to sign this letter of no objection, you are advised to submit the application without their agreement so that the Directorate can formally advertise the matter via email or post.

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1. If signing on behalf of a company / trust, please attach written proof of authorisation to do so. If affected premises owned by more than one person (i.e. both husband and wife), all parties to sign.
2. By lodging an objection, comment or representation, the person doing so acknowledges that information may be made available to the public and to the applicant.
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have no objection object for the reasons listed hereunder

Reasons for objection

Owner signature		Date	1/08/2023
Full name (capitals)	Tracy Alexandra Klister		
Company name	TK Retail Properties		
Erf / Farm No.	1611		
Street address / Postal address	P.O. Box 635 Franschhoek	Postal code	7690
Contact No.	Office / Home (021) 8764974	Cell	0824635006



NOTES:

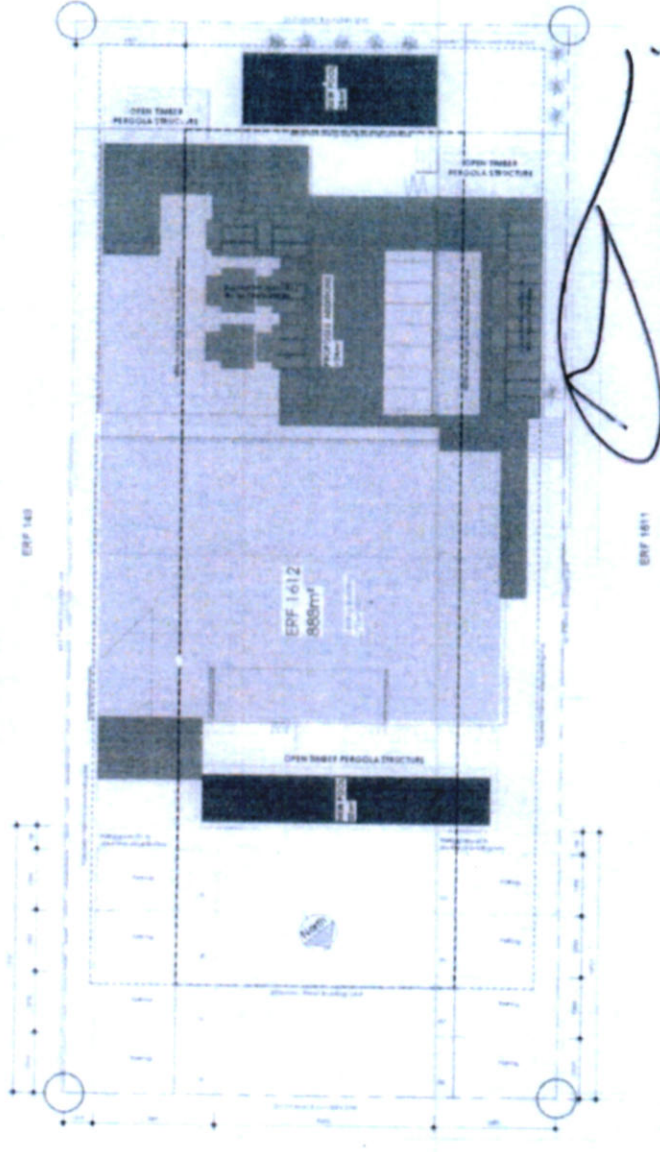
1. THE SITE IS LOCATED AT THE INTERSECTION OF HUGUENOT ROAD AND JEFFERSON ROAD.
2. THE PROPOSED DEVELOPMENT IS A 3-STORY OFFICE BUILDING WITH A TOTAL FLOOR AREA OF 9850m².
3. THE PROPOSED DEVELOPMENT IS SUBJECT TO THE APPROVAL OF THE LOCAL AUTHORITY.
4. THE PROPOSED DEVELOPMENT IS SUBJECT TO THE APPROVAL OF THE NATIONAL DEPARTMENT OF ENVIRONMENTAL AFFAIRS AND TOURISM.
5. THE PROPOSED DEVELOPMENT IS SUBJECT TO THE APPROVAL OF THE NATIONAL DEPARTMENT OF WATER AND ELECTRICITY SUPPLY.
6. THE PROPOSED DEVELOPMENT IS SUBJECT TO THE APPROVAL OF THE NATIONAL DEPARTMENT OF TRANSPORT AND INFRASTRUCTURE DEVELOPMENT.
7. THE PROPOSED DEVELOPMENT IS SUBJECT TO THE APPROVAL OF THE NATIONAL DEPARTMENT OF SOCIAL DEVELOPMENT.
8. THE PROPOSED DEVELOPMENT IS SUBJECT TO THE APPROVAL OF THE NATIONAL DEPARTMENT OF HEALTH AND WELLNESS.
9. THE PROPOSED DEVELOPMENT IS SUBJECT TO THE APPROVAL OF THE NATIONAL DEPARTMENT OF EDUCATION.
10. THE PROPOSED DEVELOPMENT IS SUBJECT TO THE APPROVAL OF THE NATIONAL DEPARTMENT OF ARTS AND CULTURAL HERITAGE.
11. THE PROPOSED DEVELOPMENT IS SUBJECT TO THE APPROVAL OF THE NATIONAL DEPARTMENT OF SPORTS AND RECREATION.
12. THE PROPOSED DEVELOPMENT IS SUBJECT TO THE APPROVAL OF THE NATIONAL DEPARTMENT OF ENVIRONMENTAL AFFAIRS AND TOURISM.



Architectural Office: 100, De Wet Street, Johannesburg, Gauteng, South Africa

Category	Description	Quantity	Unit	Remarks
Structural	Concrete	1000	m ³	
Structural	Reinforcement	1000	kg	
Structural	Steel	1000	kg	
Structural	Brick	1000	m ²	
Structural	Roof Tiles	1000	m ²	
Structural	Plaster	1000	m ²	
Structural	Paint	1000	kg	
Structural	Glazing	1000	m ²	
Structural	Roofing	1000	m ²	
Structural	Sanitary	1000	kg	
Structural	Electrical	1000	kg	
Structural	Water	1000	kg	
Structural	Gas	1000	kg	
Structural	Other	1000	kg	

Le Petit Monoir
 Architects & Planners
 100, De Wet Street, Johannesburg, Gauteng, South Africa
 Tel: +27 (0)11 462 1111
 Fax: +27 (0)11 462 1112
 Email: info@lepetitmonoir.co.za
 Website: www.lepetitmonoir.co.za



Item	Description	Quantity	Unit	Remarks
1	Structural Steel	1000	kg	
2	Reinforcement	1000	kg	
3	Concrete	1000	m ³	
4	Brick	1000	m ²	
5	Roof Tiles	1000	m ²	
6	Plaster	1000	m ²	
7	Paint	1000	kg	
8	Glazing	1000	m ²	
9	Roofing	1000	m ²	
10	Sanitary	1000	kg	
11	Electrical	1000	kg	
12	Water	1000	kg	
13	Gas	1000	kg	
14	Other	1000	kg	

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9	Roofing	1000	m ²	
10	Sanitary	1000	kg	
11	Electrical	1000	kg	
12	Water	1000	kg	
13	Gas	1000	kg	
14	Other	1000	kg	

Municipal Drawings

Project No: 100/2018/00000
 Drawing No: 100/2018/00000
 Date: 10/10/2018
 Scale: 1:1000
 Author: J.P. Pretorius
 Checker: J.P. Pretorius
 Approver: J.P. Pretorius
 Page No: 1 of 1
 MDD

J.P. JUAN PRETORIUS ARCHITECTURE
 100, De Wet Street, Johannesburg, Gauteng, South Africa
 Tel: +27 (0)11 462 1111
 Fax: +27 (0)11 462 1112
 Email: info@lepetitmonoir.co.za
 Website: www.lepetitmonoir.co.za



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	<input type="checkbox"/> Consent Use	Other (please specify)	
Detailed description of application			
Additions and alterations.			

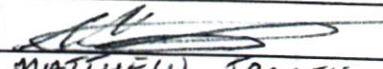
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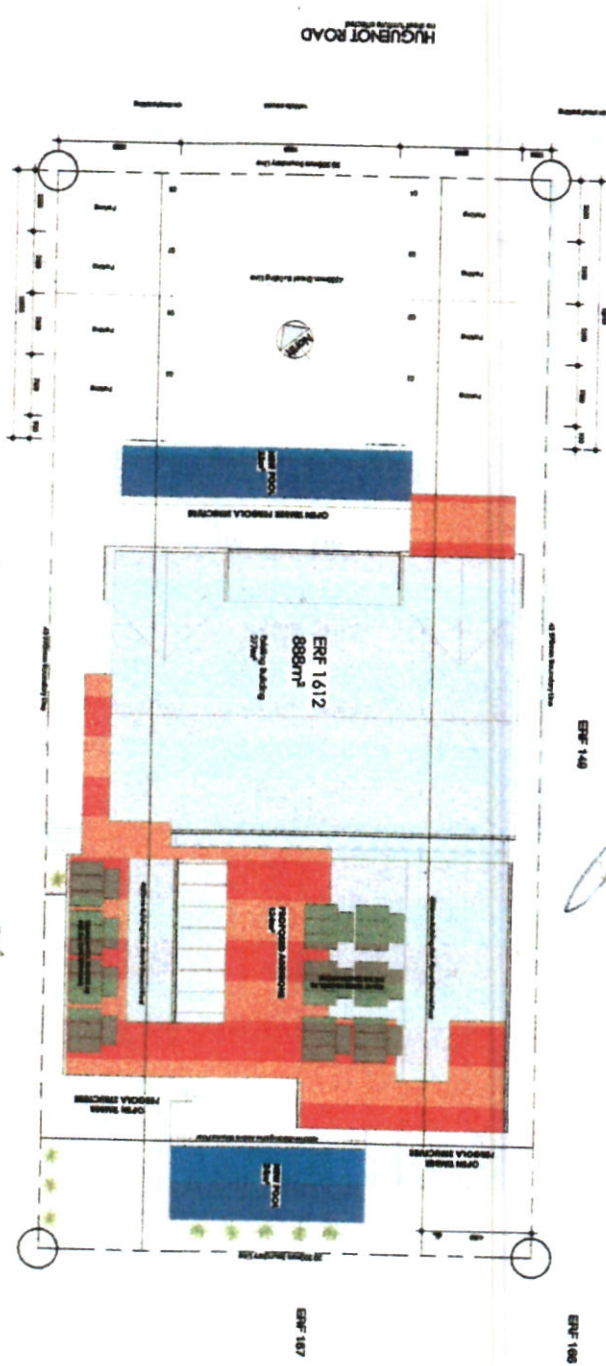
<input checked="" type="checkbox"/> have no objection	<input type="checkbox"/> object for the reasons listed hereunder		
Reasons for objection			
Owner signature		Date	24/7/23
Full name (capitals)	MATTHEW TRAUER		
Company name	52 HUGUENOT PTY LTD		
Erf / Farm No.	149		
Street address / Postal address	52 HUGUENOT ST FRANSCHHOEK		
Contact No.	Office / Home	Postal code	7690
		Cell	083 670 5085



Site Location
 The site is located on the corner of Le Petit Monroir road and Huguenot road, adjacent to ERF 1612 and ERF 1617. The site is bounded by Le Petit Monroir road to the north, Huguenot road to the east, and the site boundary to the south and west. The site is situated in the northern part of the property.



Site Plan
 The site plan shows the layout of the building footprint, including the main building, service areas, and parking spaces. The footprint is color-coded to indicate different functional areas.



Handwritten signature
 24/7/23

FLOOR	Grade	Area	Volume	Notes
FIRST FLOOR	38.5m	888m²	33,192m³	As per specifications and drawings
ROOF	38.5m	888m²	33,192m³	As per specifications and drawings

Volume Calculations

Total Volume = 66,384m³

Total Area = 1,776m²

Volume per Area = 37.4m³/m²

Material	Volume (m³)	Weight (kg)
Concrete	66,384	1,659,600
Brick	10,000	150,000
Blockwork	10,000	150,000
Roofing	10,000	150,000
Flooring	10,000	150,000
Windows	10,000	150,000
Doors	10,000	150,000
Services	10,000	150,000
Paint	10,000	150,000
Other	10,000	150,000

Material Schedule

Material	Description	Quantity	Units
Concrete	Structural concrete	66,384	m³
Brick	Face brick	10,000	units
Blockwork	Blockwork	10,000	m³
Roofing	Roofing material	10,000	m²
Flooring	Flooring material	10,000	m²
Windows	Windows	10,000	units
Doors	Doors	10,000	units
Services	Services	10,000	m³
Paint	Paint	10,000	kg

Prelim Construction Drawings

Project: ERF 1612

Client: [Client Name]

Architect: J.P. Pretorius

Date: 2023-07-23

Scale: As Indicated

Project No: M00

Architectural Specifications

Client: [Client Name]

Project: [Project Name]

Site: [Site Location]

Address: [Address]

Architect: J.P. Pretorius

1770 Le Petit Monroir

Le Petit Monroir
 Architectural & Civil Engineering

J.P. PRETORIUS
 ARCHITECTURE

1770 Le Petit Monroir

011 461 1111

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