

## NOTICE OF LAND DEVELOPMENT APPLICATION TO INTERESTED AND AFFECTED PARTIES FOR COMMENT

Sir / Madam

The following land use application in terms of the Stellenbosch Land Use Planning Bylaw, 2023, refers:

Application Property Address: 52 Huguenot Street, Franschhoek, 7690

Application Property Number: Erf 149, Franschhoek

Applicant: Inhaus Management (Pty) Ltd – A Donovan (contact details: 084 582 8140)

Owner: 52 Huguenot (Pty) Ltd – A Donovan (contact details: 084 582 8140)

Application Reference: LU/16325 (TP468/2023)

Description of Proposed Development:

- **Application for a permanent departure i.t.o. Section 15.2(b) of the Stellenbosch Municipality Planning By-Law, 2023 to allow the under provision of parking of 0 parking bays in lieu of 18 parking bays on Erf 149, Franschhoek.**

Notice is hereby given in terms of the provisions of Section 46 of the said Bylaw that the above-mentioned application has been submitted to the Stellenbosch Municipality for consideration. The application is available for inspection on the Planning Portal of the Stellenbosch Municipal Website for the duration of the public participation process at the following address: [[https://www.stellenbosch.gov.za/planning\\_portal/planning-notices/land-use-applications-advertisements](https://www.stellenbosch.gov.za/planning_portal/planning-notices/land-use-applications-advertisements)]. If the website or documents cannot be accessed, an electronic copy of the application can be requested from the Applicant.

You are hereby invited to submit comments and / or objections on the application in terms of Section 50 of the said bylaw with the following requirements and particulars:

- The comments must be made in writing;
- The comments must refer to the Application Reference Number and Address;
- The name of the person that submits the comments;
- The physical address and contact details of the person submitting the comments;
- The interest that the person has in the subject application;
- The reasons for the comments, which must be set out in sufficient detail in order to:
  - Indicate the facts and circumstances that explain the comments;
  - Where relevant demonstrate the undesirable effect that the application will have if approved;
  - Where relevant demonstrate any aspect of the application that is not considered consistent with applicable policy; and
  - Enable the applicant to respond to the comments.

The comments must be addressed to the applicant by electronic mail as follows: Inhaus Management (Pty) Ltd – Alistair Donovan [alistair@inhaus.co.za](mailto:alistair@inhaus.co.za)

The comments must be submitted within 30 days from the date of this notice to be received on or before the closing date of **26 February 2024**.

It should be noted that the Municipality, in terms of Section 50(5) of the said Bylaw, may refuse to accept any comments/ objection received after the closing date.

For any enquiries on the Application or the above requirements, or if you are unable to write and /or submit your comments as provided for, you may contact the Applicant for assistance at the e-mail address provided or telephonically at 084 582 8140 during normal office hours.

Yours faithfully

**ALISTAIR DONOVAN**  
**INHAUS MANAGEMENT (PTY) LTD**

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## KENNISGEWING VAN GROND ONTWIKKELINGSAANSOEK AAN GEINTERESSEERDE EN GEAFFEKTEERDE PARTYE VIR KOMMENTAAR

Meneer / Dame

Die volgende grondgebruiksaansoek in terme van Stellenbosch se Verordeninge op Grondgebruikbeplanning, 2023, verwys:

Adres van aansoek eiendom: Huguenotestraat 52, Franschhoek, 7690

Aansoek eiendom beskrywing: Erf 149, Franschhoek

Aansoeker: Inhaus Management (Pty) Ltd – A Donovan (kontakbesonderhede: 084 582 8140)

Eienaar: 52 Huguenot (Pty) Ltd – A Donovan (kontakbesonderhede: 084 582 8140)

Aansoek Verwysing: LU/16325 (TP468/2023)

Tipe aansoek:

- **Aansoek word hiermee gemaak in terme van Afdeling 15.(2)(b) van die Stellenbosch Munisipaliteit se Beplanning Bywet, 2023 vir die ondervoorsiening van parkering deur 0 parkeerplek te voorsien i.p.v. 18 parkeerplekke op Erf 149, Franschhoek.**

Kennis word hiermee gegee in terme van die voorskrifte van die Artikel 46 van die genoemde Verordeninge dat bovermelde aansoek by die Stellenbosch Munisipaliteit ingedien is vir oorweging. Die aansoek is beskikbaar vir insae op die Beplannings Portaal van die Stellenbosch Munisipaliteit se Webtuiste vir die tydsduur van die publieke deelname proses by die volgende adres: [[https://www.stellenbosch.gov.za/planning\\_portal/planning-notice/land-use-applications-advertisements](https://www.stellenbosch.gov.za/planning_portal/planning-notice/land-use-applications-advertisements)]. Indien die webtuiste of tersaaklike dokumente nie toeganklik is nie, kan die Aansoeker versoek word om 'n elektroniese kopie van die aansoek beskikbaar te stel.

Kommentaar en/ of besware kan vervolgens gedien word op die aansoek in terms van Artikel 50 van die tersaaklike Verordening wat die volgende vereistes en besonderhede moet bevat:

- Die kommentaar moet skriftelik wees;
- Die kommentaar moet die aansoek se verwysings nommer en adres insluit;
- Die naam van die persoon wat die kommentaar lewer;
- Die fisiese adres en kontak besonderhede van die persoon wat die kommentaar lewer.
- Die belang wat die persoon wat die kommentaar lewer, in die aansoek het.
- Die redes vir die kommentaar wat gelewer word, welke redes genoegsame besonderhede moet bevat ten opsite van die volgende aspekte:
  - Die feite en omstandighede aantoon wat die die kommentaar toelig;
  - Indien toepaslik, aantoon wat die onwenslike resultaat sal wees indien die aansoek goedgekeur word;
  - Waar toepaslik moet aangetoon word indien enige aspek van die aansoek strydig geag word met enige relevante beleid;
  - Dat die insette voldoende inligting sal gee wat die aansoeker in staat sal stel om kommentaar daarop te lewer.

Die kommentaar moet by wyse van elektroniese pos aan die Aansoeker gestuur word as volg: Inhaus Management (Pty) Ltd – Alistair Donovan [alistair@inhaus.co.za](mailto:alistair@inhaus.co.za)

Die kommentaar moet binne 30 dae vanaf die datum van hierdie kennisgewing gestuur word en moet ontvang word voor of op die laaste dag van die sluitingsdatum van **26 Februarie 2024**.

Daar moet kennis geneem word dat die Munisipaliteit, in terme van Artikel 50(5) van die vermelde Verordeninge, mag weier om enige kommentaar / beswaar te aanvaar wat na die sluitingsdatum ontvang word.

Indien daar enige navrae op die aansoek of bovermelde vereistes vir die lewer van kommentaar is, of indien dit nie moontlik is om geskrewe kommentaar te lewer of die kommentaar op die wyse te lewer soos voorsienning gemaak is nie, kan die Aansoeker geskakel word vir bystand by die vermelde elektroniese pos adres of telefonies by 084 582 8140 gedurende normale kantoor ure.

Die uwe

**ALISTAIR DONOVAN**  
**INHAUS MANAGEMENT (PTY) LTD**

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28 March 2023

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To Whom it May Concern

## **MOTIVATION FOR PARKING DEPARTURE ERF 149, FRANSCHHOEK**

(see attached Liezel Stodart's Site Traffic Assessment report)

The Site Plans for the redevelopment of Erf 149 Franschhoek shows that no parking will be provided on site. The parking requirement for retail developments is 4 bays per 100m<sup>2</sup> GLA, which means that the Erf 149 development will need 18 bays. The following points serve as motivation for the parking departure:

- There is no on-site parking for clients. There is only a driveway that is used by the tenants from time to time (see Photo 2, Annexure A).
- The current building's GLA equals that of the proposed development. It then follows that the public and on-street parking in the vicinity of Erf 149 which has been sufficient to date, should also be sufficient for the new development and that no parking will be required for the new development.
- The Church Street public parking area is just across the street from Erf 149.
- A significant percentage of visitors to Franschhoek make use of public transport (contracted buses or smaller shuttle vehicles). These vehicles already have dedicated parking areas and will not require further parking provision.
- The location of the site means that the only possible access would be a single driveway off Huguenot Street. If parking is to be provided on site, vehicles would also have to turn around on site in order to exit via the same driveway, as no reversing should be allowed onto Huguenot Street.
- Parking in front of the buildings would form a barrier between the sidewalk and shops, which will decrease the attraction of the businesses. Such a layout will also detract from the sidewalk café theme of Huguenot Street.
- If parking is to be provided towards the back of the erf, it would take up nearly 70% of the erf's surface and even so, there will still be a shortfall. It is doubtful whether a parking area hidden from the main road will even be used to its full capacity.

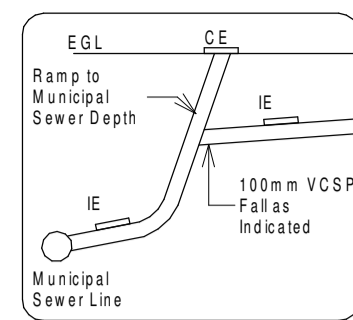
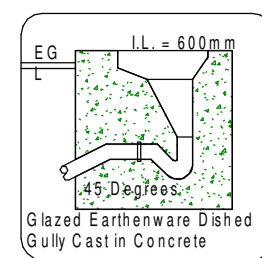




**LIEZL STODART**  
M.Eng Pr. Eng  
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90 Theewaterskloof Estate | Villiersdorp | 7200  
Tel: 082 338 6466  
E-mail: liezlstodart@gmail.com

**ERF 149 FRANSCHHOEK  
LOCALITY PLAN**

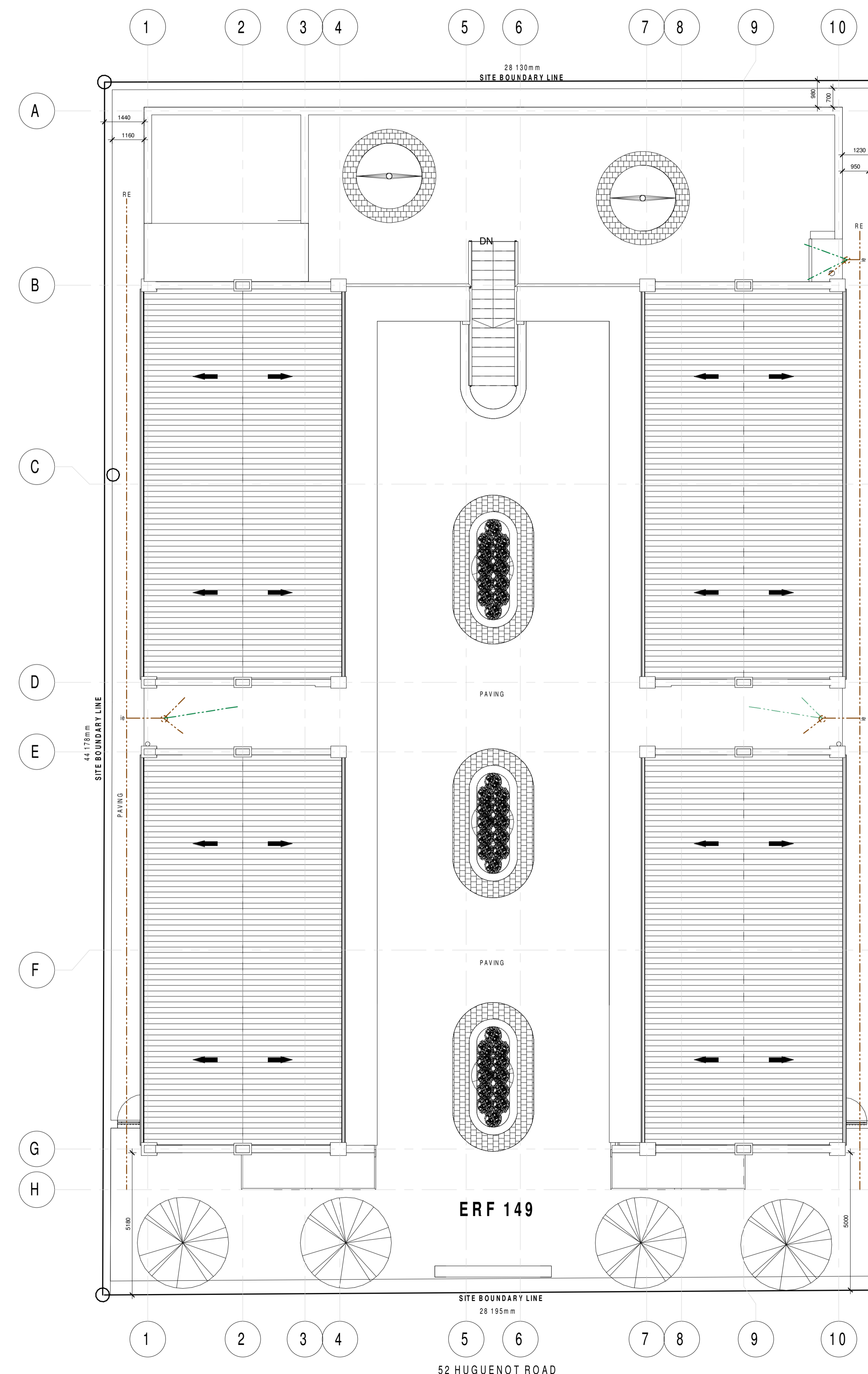
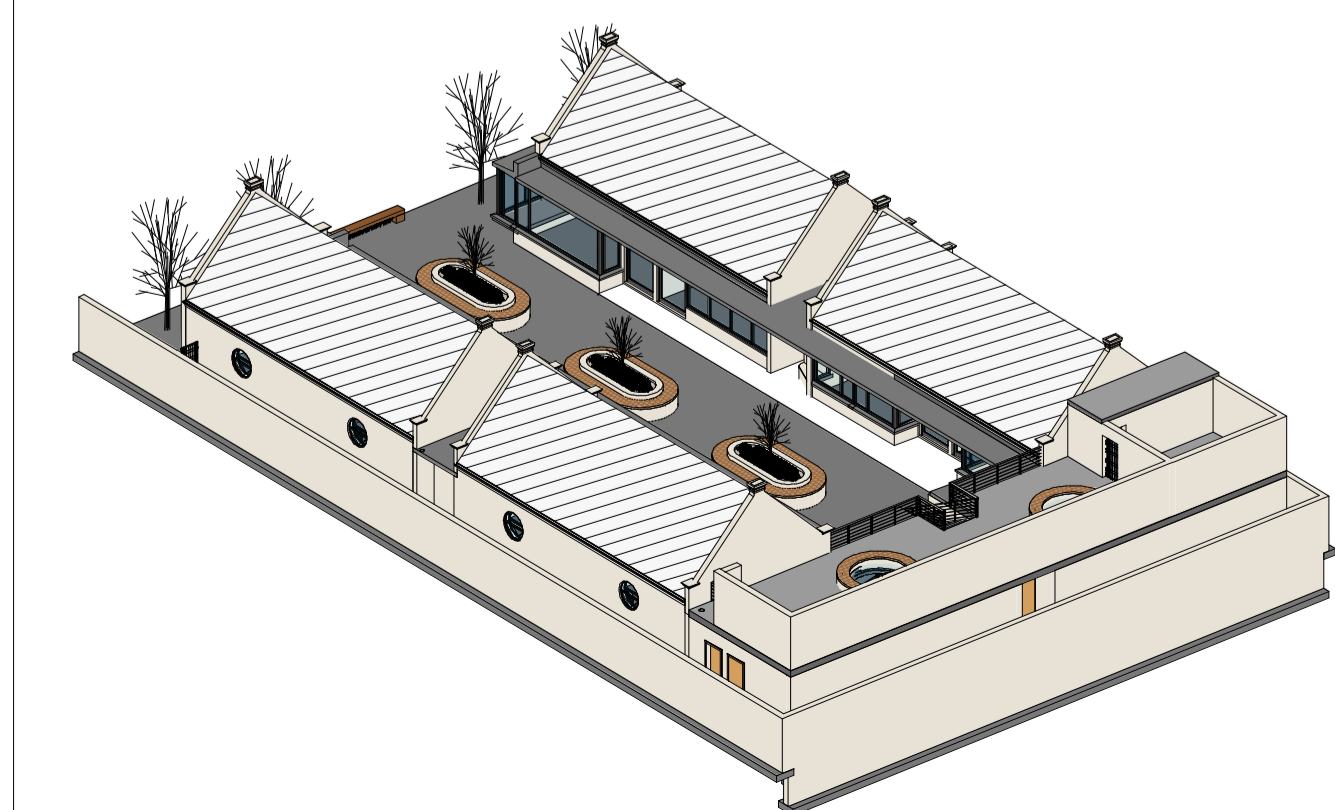
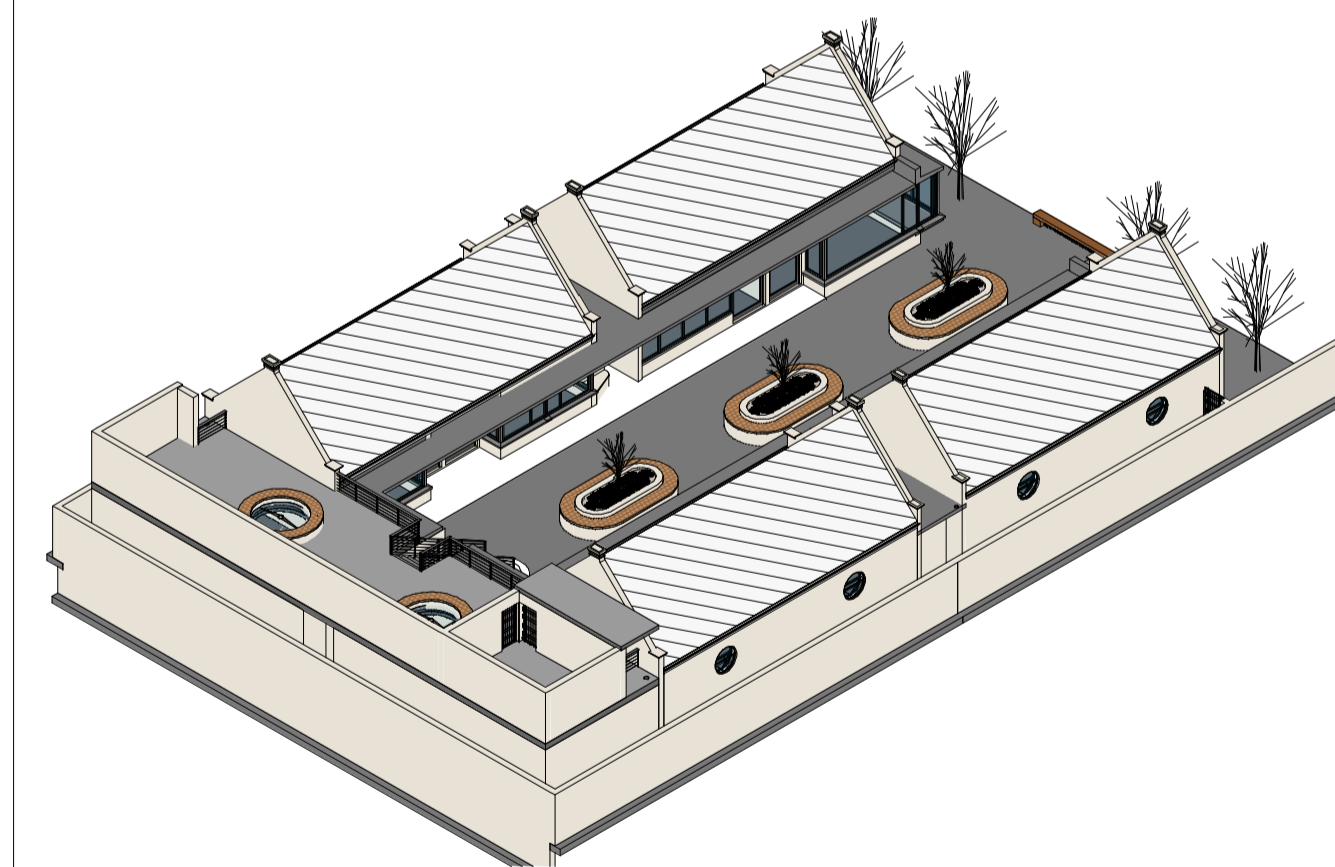
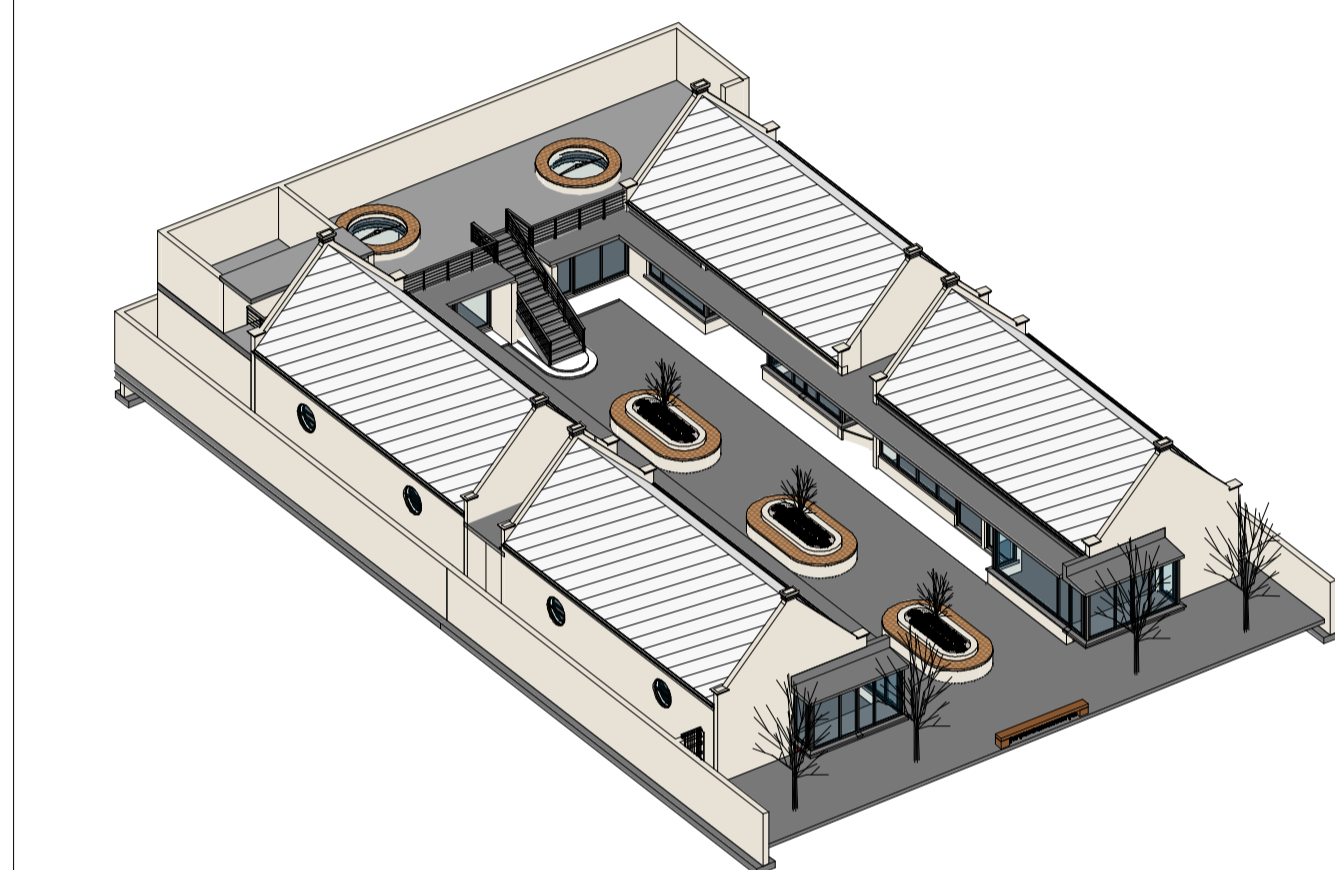
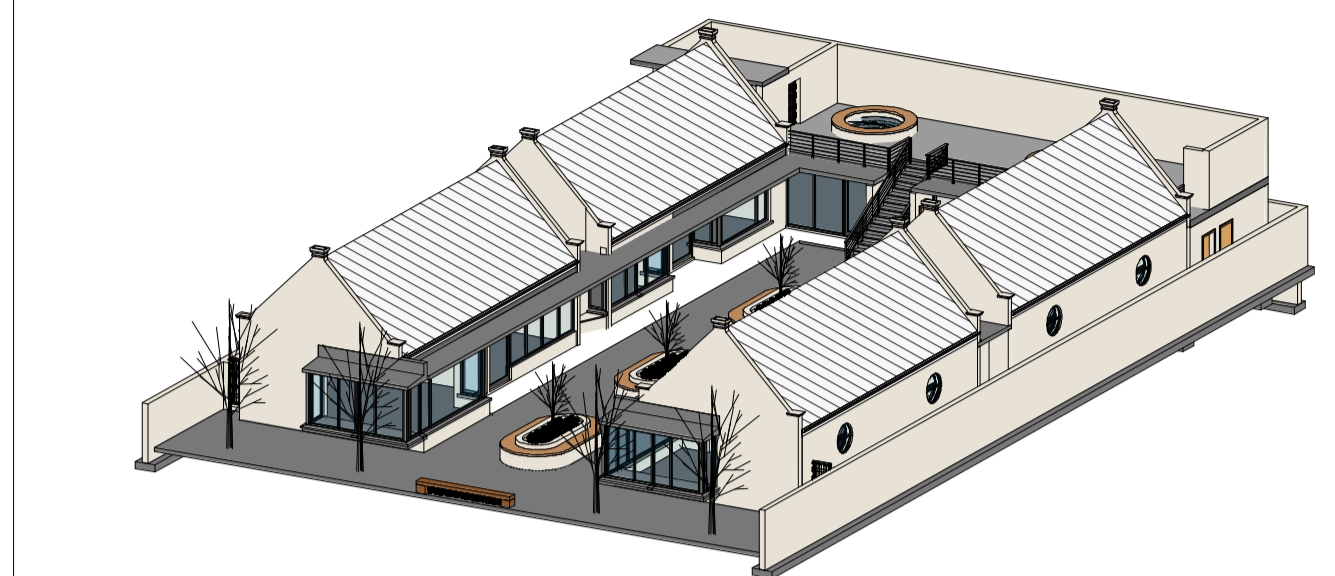
**FIGURE 1**  
2023-06-12



1. ALL PLUG POINTS TO BE @ 300MM AFFL AND LIGHT SWITCHES @ 1100MM AFFL UNLESS OTHERWISE SPECIFIED.
2. ELECTRICAL CONTRACTOR TO LIAISE WITH PRINCIPAL AGENT AND SUB-CONTRACTOR ON POSITIONS
3. THIS DRAWING TO BE READ IN CONJUNCTION WITH ROOM AND CUPBOARD LAYOUTS IF REQUIRED.

LEGEND	
	NEW BRICK WALL
	NEW CONCRETE
	NEW TIMBER
	SEWER - SOIL
	SEWER - WATER

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**SPECIFICATIONS**

**FOUNDATIONS**  
All foundations to comply with SANS 10400 Part H.  
Excavations to comply with SANS 10400 Part G.  
750x250mm concrete foundations to 280/250/250mm wall.  
500x250mm concrete foundations to internal 150mm walls.  
Reinforcing to concrete foundations as per Str. Eng. specifications. All concrete to foundations, floor slabs & beams to be ready-mixed type, strength to Str. eng. specifications. Articulation joints to Str. eng's specifications.

**FLOOR CONSTRUCTION**  
To comply with SANS 10400 Part J and Parts G and H.  
Floor finish on minimum 150mm cement screed on 170mm RC slab on 30mm isoboard insulation on 250micron DPM on well compacted sand fill, compacted in layers not exceeding 150mm. DPC weightings to be minimum 150mm above the finished ground level all around. At to str. eng's specifications & inspections.

**WALLS**  
To comply with SANS 10400 Part K and Part B.  
External: 270mm x 220mm NFB SABS approved ROK clay brick, smooth plastered & painted, colour to client's approval.  
Internal: 110mm NFB SABS approved solid ROK clay brick, smooth steel/white finish plastered & painted. Internal window cills to be plastered & painted. Control and articulation joints to engineer's specifications. Internal window cills to be plastered & painted. 375micron under all cills. Galvanized brichforce to all walls every four brick courses and to every course to foundations plinth walls and to every course above pre-stressed concrete lintel height all around. Pre-stressed concrete lintels above all windows, doors and opening to be laid to manufacturer's specifications and have a minimum bearing of 250mm for spans up to 2.5m & 350mm for spans greater than or equal to 2.5m. RC beams to engineer's detail.  
375micron DPC under all cavity walls, above all windows, doors & external opening, vertical dpc to all windows & external doors.

**OPENINGS**  
All beams/roofs over opening exceeding 1000mm to Structural Engineer's detail. Lintels laid in accordance with manufacturer's specifications.  
P.C lintels & 4 courses brickwork with brick-force every course over all openings not exceeding 3.0m.

**SKIRTINGS**  
To be selected by client.

**ROOFS**  
To comply with SANS 10400 Part I.  
TYPE A - Roof tiles fixed to 38x38mm battens fixed to 22x76mm SAP rafters.  
Insulation: Radiant shield over battens/50mm insulation between battens. 50mm isoboard between rafters.  
TYPE B - RC Slab  
150mm non-traffic RC slab with penetration at 1" fall, to str. eng's details  
R-value = 3.75

**WINDOWS AND DOORS**  
All external doors and windows to be Aluminium.  
All internal doors to be timber to separate schedule.  
All glazing to comply with SANS 10400 Part N.  
All windows and doors to have full vertical and horizontal DPC.  
See window calculation schedule.

**LIGHTING AND VENTILATION**  
To comply with SANS 10400 Parts N & O.  
External doors and windows: epoxy coated aluminium internal timber doors. Codes refer to separate door schedule.  
All habitable rooms to have:  
Min. 10% of floor area glazed.  
Min. 5% of floor area for ventilation.  
Glazing: clear glazing to all windows to comply with SANS 10400 Part N & S 10137. Glazing below 500mm from floor level, access doors or larger than 1m<sup>2</sup> to be safety glass.  
Frames to receive glazing material to comply with SANS 727 or SANS 1553-2, or to be capable of withstanding the wind & impact loads in accordance with SANS 10400 - 5.

**PUBLIC SAFETY**  
To comply with SANS 10400 Part D & B.

**BALUSTRADES**  
GMS timber balustrade with handrail at 1.0m ALVL per N.B.R. Max. 100mm gaps between balusters. The balustrades are a design and supply contract, and the subcontractor must provide a professional engineers certificate on completion. All shop drawings submitted for approval, need to be first signed off by the subcontractors professional engineer prior to submital.

**STAIRS & STEPS**  
To comply with SANS 10400 Part M.  
Min. 250mm treads.  
Max. 200mm high risers.

**WATERPROOFING**  
To comply with SANS 10400 Part L.

**STORMWATER**  
To comply with SANS 10400 Part R.

**RAINWATER GOODS**  
100mm seamless aluminium box gutters on 225x12mm fibre cement fascia. PVC downpipes to discharge into catchpits and out to the street.

**PAINTING**  
All material finishes & colours to client's spec.

**ENERGY EFFICIENCY REGULATIONS**

**EXTERNAL WALLS**  
50mm cavity walls with R-value exceeding 0.35.

**FENESTRATION**  
To be in accordance with SANS 204 as per table to meet the minimum energy performance requirements.

**HOT WATER SUPPLY**  
All exposed hot water service pipes to and from hot water cylinders to be insulated with a min. R-value of:  
1 for pipes with a diameter of 50mm or 1.5 for pipes with a diameter of more than 80mm.  
15mm wall thickness for pipes smaller than 25mm Ø and 25mm wall thickness for pipes bigger than 25mm Ø.  
Hot water pipes to be insulated with Thermolux.  
Thermal insulation to be installed in accordance with the manufacturer's instructions and be protected against the effects of weather, sunlight & be able to withstand the temperatures within the piping. Hot water vessels and tanks shall be insulated with a material achieving a min. R-value of 2.0. Insulation on vessels, tanks and piping containing cooling water shall be protected by a vapour barrier on the outside of the insulation.  
Pipes laid under walls or under surface slabs where any portion of a pipe passes under a building or slab, the following shall apply:  
a. such portion shall be installed inside a sleeve of internal diameter of at least 15mm plus the outside nominal diameter of such pipe;  
b. such portion shall be protected against the transmission of any load to it;  
c. such portion shall be laid without any change of direction, without any junctions; and  
d. the trench in which such portion is laid shall in no way impair the stability of any building, or interfere with, or affect any existing services.

**DRAINAGE & PLUMBING**  
To comply with SANS 10400 Part P.  
50mm Ø PVC waste pipes, 110mm diameter PVC sewer soil & vent pipes. IE's to all bends & junctions. IE's to have marked covers at ground level.  
All waste pipe to be fully accessible. Access covers to all ducts. Stainless steel covers to shower drains.  
All sanitary fittings to be connected separately.  
Drainage within driveways or under buildings or walls to be adequately protected. Any foundation within 1500mm of drain must be below the level of same drain line.  
Min 50% of energy used in building to be renewable.  
RE's or IE's at all bends and junctions with marked covers at ground level.  
Reset all traps to waste fittings. All waste pipes to be easily accessible for repair and cleaning. Closed system enter at 45° junctions.  
Access panels to sewer ducts to comply with part pp 20.2 (a) (ii) of SANS 10400/100mm bands to drainage run.  
MIN. depth 400mm above boundary i.e. any drainage falling near to foundations or under driveways, to be 100% pentapage protected, in accordance with part p24-e of the NBR SANS 10400.  
75x151 PVC downpipes and 100Ø pipes and sumps to road.  
Paved areas to be graded to the on site storm water system.  
backwash to sewer system.  
Storm water to be taken to road via surface channels.  
Allow for the installation of 5 garden taps - positions to be confirmed on site.  
Supply 20Ø water connection.  
Supply 25Ø pipe with draw wire from dwelling to front boundary.

Door Schedule				
Mark	Type	Height	Width	Count
D03	2'-10" x 7'-0" Flush			2
D04	0900 x 2100mm 2	2100	900	4
D01	2800 x 2000 Square - L1 3	2800	1800	10
	DOOR_0-1000_0395	2100	792	4
D05	Gate 3	1900	900	1
	Gate 4	1800	800	3
Grand total: 24				

Window Schedule				
Mark	Type	Width	Height	Count
	Circular window_16099	1200	1200	8
	Fixed 10-Pane 22'-0" x 4'-0"	5200	2200	2
	Fixed 10-Pane 22'-0" x 4'-0"	2610	2800	2
	Parametric Corner Window with Sill_15550	2700	2200	2
	Parametric Corner Window with Sill_15550 2	2700	2200	2
	Parametric Corner Window with Sill_15550 3	4000	2200	2
	Parametric Corner Window with Sill_15550 4	2400	2200	4
	Parametric Corner Window with Sill_15550 5	5400	2200	2
Grand total: 24				

ARCHITECT

SIGNATURE

CLIENT/CLIENT REPRESENTATIVE

SIGNATURE

**+ add**  
abrahamse donovan design  
ARCHITECTURE | URBAN DESIGN | HERITAGE | CONSTRUCTION

ADDRESS

**BOUTIQUE SHOPPING PRECINCT**

PROJECT TYPE

**PROPOSED NEW BOUTIQUE SHOPPING PRECINCT ON ERF 149, 52 HUGUENOT RD, FRANSCHHOEK**

DRAWING

**MUNICIPAL SUBMISSION**

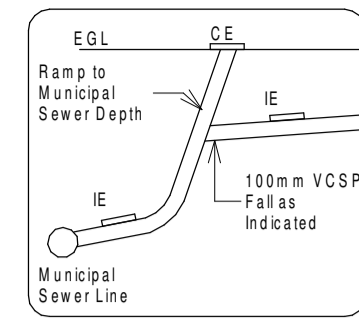
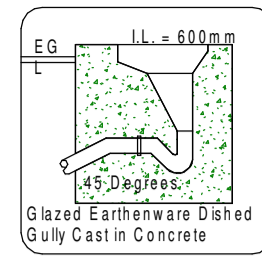
DATE: 11/22/22 SCALE: As indicated

DRAWN BY: MM CHECKED BY: EA - PAT34897891

REVISION NO. SHEET NO. **A100**

1 Site  
1 : 100

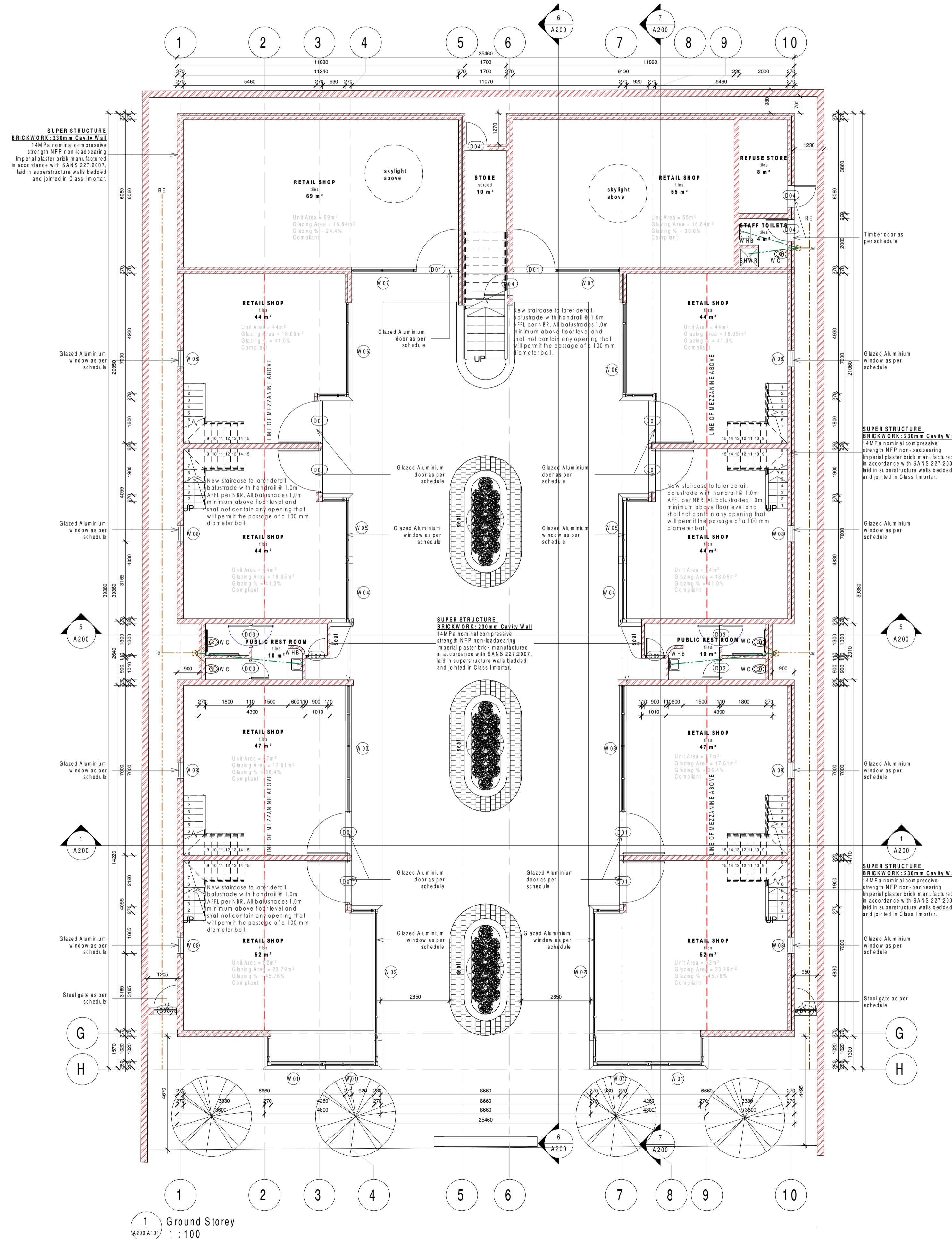




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2. ELECTRICAL CONTRACTOR TO LIAISE WITH PRINCIPAL AGENT AND SUB-CONTRACTOR ON POSITIONS
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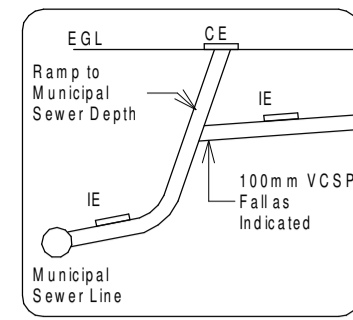
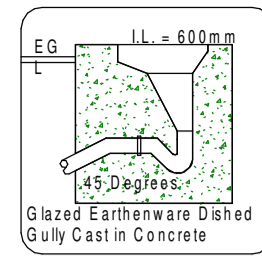
LEGEND	
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1 Ground Storey  
1 : 100

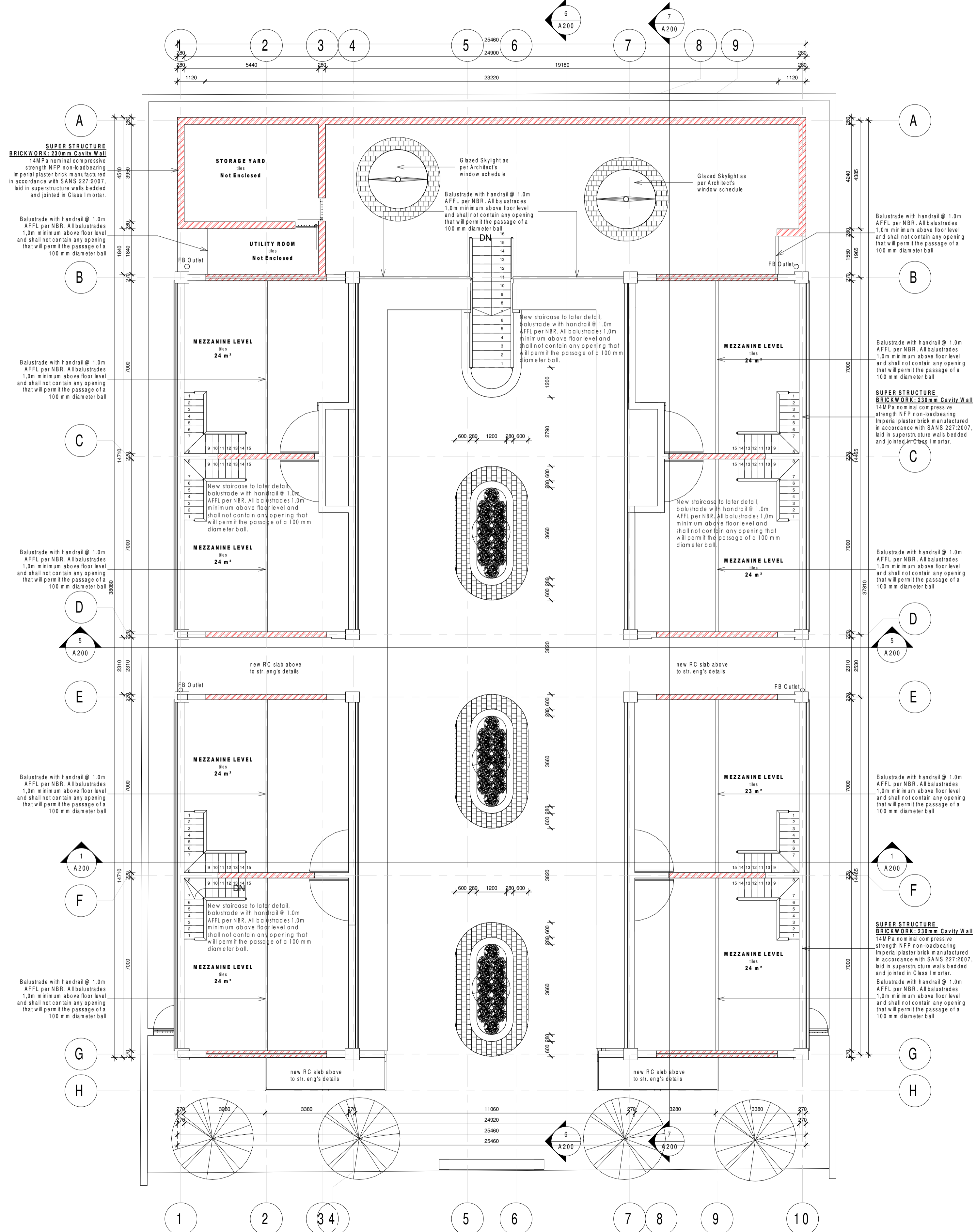
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SIGNATURE	
CLIENT/CLIENT REPRESENTATIVE	
SIGNATURE	
ADDRESS	BOUTIQUE SHOPPING PRECINCT
PROJECT TYPE	PROPOSED NEW BOUTIQUE SHOPPING PRECINCT ON ERF 149, 52 HUGUENOT RD, FRANSCHHOEK
DRAWING	MUNICIPAL SUBMISSION
DATE	11/22/22
SCALE	As indicated
DRAWN BY	MM
CHECKED BY	EA - PAT34897891
REVISION NO.	SHEET NO.
	<b>A101</b>



1. ALL PLUG POINTS TO BE @ 300MM AFFL AND LIGHT SWITCHES @ 1100MM AFFL UNLESS OTHERWISE SPECIFIED.
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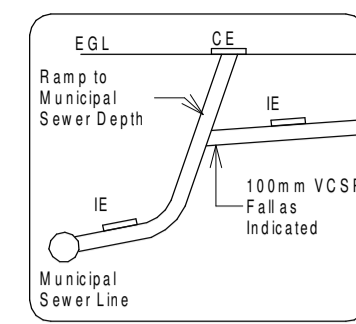
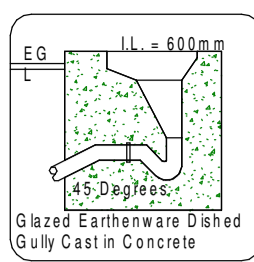
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1 First Storey  
A200/A100 1 : 100

ARCHITECT	
SIGNATURE	
CLIENT/CLIENT REPRESENTATIVE	
SIGNATURE	
ADDRESS	BOUTIQUE SHOPPING PRECINCT
PROJECT TYPE	PROPOSED NEW BOUTIQUE SHOPPING PRECINCT ON ERF 149, 52 HUGUENOT RD, FRANSCHHOEK
DRAWING	MUNICIPAL SUBMISSION
DATE	11/22/22
SCALE	As indicated
DRAWN BY	MM
CHECKED BY	EA - PAT34897891
REVISION NO.	SHEET NO.
	<b>A 102</b>



1. ALL PLUG POINTS TO BE @ 300MM AFFL AND LIGHT SWITCHES @ 1100MM AFFL UNLESS OTHERWISE SPECIFIED.  
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**SPECIFICATIONS**

**FOUNDATIONS**  
 All foundations to comply with SANS 10400 Part B. Excavations to comply with SANS 10404 Part G. 700x250mm concrete foundations to 240/250/230mm wall. 500x200mm concrete foundations to internal 110mm wall. Reinforcing to concrete foundations as per Str. Eng. specifications. All concrete to foundations, floor slabs & beams to be ready-mixed type, strength to str. eng. specifications. Articulation joints to str. eng's specifications.

**FLOOR CONSTRUCTION**  
 To comply with SANS 10400 Part J and Part B and H. Floor finish on minimum 50mm cement screed on 170mm RC slab on 30mm insboard insulation on 250mm DPM on well compacted sand fill compacted in layers not exceeding 150mm. DPC weepholes to be minimum 150mm above the finished ground level all around. Also str. eng's specifications & inspectors.

**WALLS**  
 To comply with SANS 10400 Part K and Part B. External: 200mm x 220mm NFB SABS approved ROK clay brick, smooth plastered & painted, colour to client's approval. Internal: 110mm NFB SABS approved solid ROK clay brick, smooth plaster & painted. Internal window cills to be plastered and painted. Control and articulation joints to engineer's specifications. Internal window cills to be plastered & painted. 375mm iron under all cills. Galvanized brickwork to all walls every four brick courses and to every course in foundations (joint walls and to every course above pre-stressed concrete lintel height all around. Pre-stressed concrete lintels above all windows, doors and opening to be laid to manufacturer's specifications and have a minimum bearing of 250mm for spans up to 2.5m & 250mm for spans greater than or equal to 2.5m RC beams to engineer's detail. 375mm concrete DPC under all cavity walls, above all windows, doors & external opening, vertical dpc to all windows & external doors.

**OPENINGS**  
 All beam lintels over opening exceeding 1000mm to Structural Engineer's detail. Lintels laid in accordance with manufacturer's specifications. P.C. lintels & 4 courses brickwork with brick force every course over all openings not exceeding 3m.

**SKIRTINGS**  
 To be selected by client.

**ROOFS**  
 To comply with SANS 10400 Part I.

**TYPE A** - Grey slate tiles fixed to 38x38mm battens fixed to 228x76mm SAP rafters. Insulation: Adjacent to roof over battens 50mm insulation between rafters. 50mm insboard between rafters.

**TYPE B** - RC Slab 180mm non-traffic RC slab with generation at 1' fall, to str. eng's details R-value = 3.75

**WINDOWS AND DOORS**  
 All external doors and windows to be Aluminium. All internal doors to be timber to separate schedule. All glazing to comply with SANS 10400 Part N. All windows and doors in brackets to have full vertical and horizontal DPC. See window calculation schedule.

**LIGHTING AND VENTILATION**  
 To comply with SANS 10400 Part N & O. External doors and windows: spray coated aluminium internal timber doors. Codes refer to separate door schedule. All habitable rooms to have:  
 - Min. 10% of floor area glazed  
 - Min. 5% of floor area for ventilation  
 Glazing: clear glazing to all windows to comply with SANS 10400 Part N & S 10137. Glazing below 500mm from floor level, access doors or larger than 1m<sup>2</sup> to be safety glass. Frames to receive glazing material to comply with SANS 727 or SANS 1553-2, or to be capable of withstanding the wind & impact loads in accordance with SANS 10400 - B.

**PUBLIC SAFETY**  
 To comply with SANS 10400 Part D & B.

**BALUSTRADES**  
 GMS timber balustrade with handrail at 1.0m ALVL per N.B.R. Max. 100mm gaps between balusters. The balustrades are a design and supply contract, and the subcontractor must provide a professional engineers certificate on completion. All shop drawings submitted for approval, need to be first signed off by the subcontractors professional engineer prior to submit.

**STAIRS & STEPS**  
 To comply with SANS 10400 Part M. Min. 250mm treads. Max. 200mm high risers.

**WATERPROOFING**  
 To comply with SANS 10400 Part L.

**STORMWATER**  
 To comply with SANS 10400 Part R.

**RAINWATER GOODS**  
 100mm seamless aluminium box gutters on 225x12mm fibre cement fascia. PVC downpipes to discharge into catchpits and onto the street.

**PAINTING**  
 All material finishes & colours to client's spec.

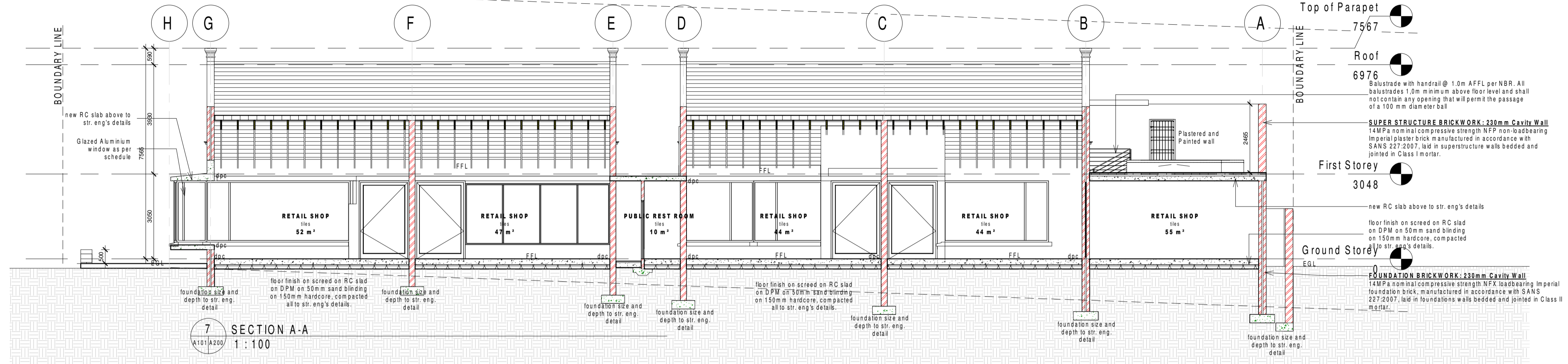
**ENERGY EFFICIENCY REGULATIONS**

**EXTERNAL WALLS**  
 50mm cavity walls with R-value exceeding 0.35

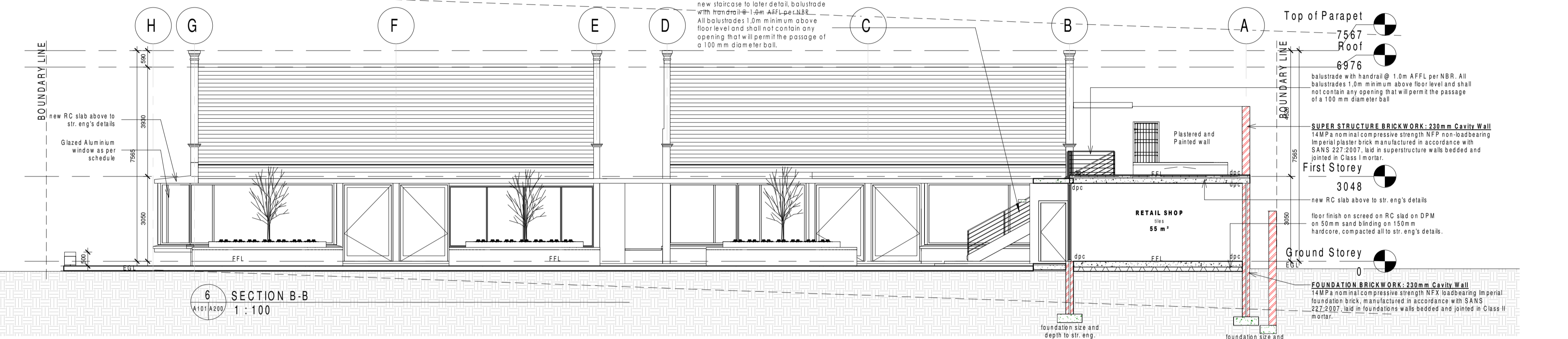
**FENESTRATION**  
 To be in accordance with SANS 204 as per table to meet the minimum energy performance requirements.

**HOT WATER SUPPLY**  
 All exposed hot water service pipes to and from hot water cylinders to be insulated with a min. R-value of:  
 1 for pipes with a diameter of <80mm of 1.5 for pipes with a diameter of more than 80mm.  
 15mm wall thickness for pipes smaller than 25mm Ø and 25mm wall thickness for pipes bigger than 25mm Ø.  
 Hot water pipes to be insulated with Thermolite.  
 Thermal insulation to be installed in accordance with the manufacturer's instructions and be protected against the effects of weather, sunlight & be able to withstand the temperatures within the piping. Hot water vessels and tanks shall be insulated with a material achieving a min. R-value of 2.0. Insulation on vessels, tanks and piping containing cooling water shall be protected by a vapour barrier on the outside of the insulation.  
 Pipes laid under walls or under surface slabs where any portion of a pipe passes under a building or slab, the following shall apply:  
 a. such portion shall be installed inside a sleeve of internal diameter of at least 15mm plus the outside nominal diameter of such pipe;  
 b. such portion shall be protected against the transmission of any lead to it;  
 c. such portion shall be laid without any change of direction, without any junctions; and  
 d. the trench in which such portion is laid shall in no way impair the stability of any building, or interfere with, or affect any existing services.

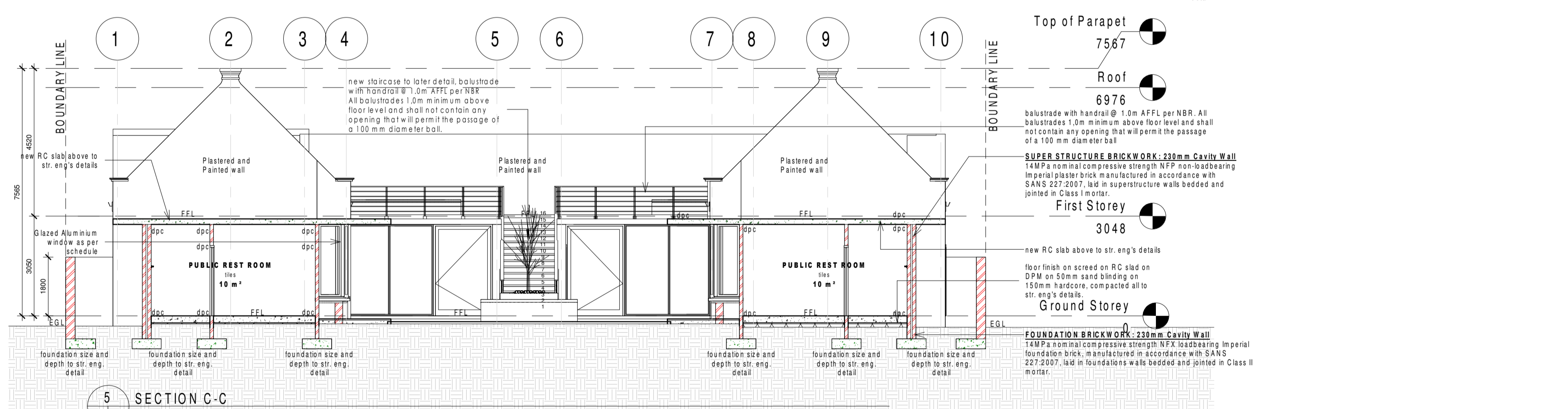
**DRAINAGE & PLUMBING**  
 To comply with SANS 10400 Part P.  
 50mm Ø PVC waste pipes, 110mm diameter PVC sewer soil & vent pipes. IE's to all bends & junctions. IE's to have marked covers at ground level.  
 All waste pipes to be fully accessible. Access covers to all ducts. Stainless steel covers to shower drains.  
 All sanitary fittings to be connected separately.  
 Drainage within driveways or under buildings or walls to be adequately protected. Any foundation within 1500mm of drain must be below the level of same drain line.  
 Min. 50% of energy used in building to be renewable.  
 RC's or IV at all bends and junctions with access covers at ground level.  
 Reseal all traps to waste fittings. All waste pipes to be easily accessible for repair and cleaning. Closed system enter at 45° junctions.  
 Access panels to sewer ducts to comply with part pp 20-2 (a),(ii) of SANS 10400/200mm bends to drainage run.  
 MIN. depth 400mm above boundary.  
 any drainage falling near to foundations or under driveways, to be 1020 galvanized protected, in accordance with part p24 of the N.B.S. SANS 0400.  
 75x51 PVC downpipes and 1020 pipes and sumps to road.  
 Paved areas to be graded to the on site storm water system, backwash to sewer system.  
 Stormwater to be taken to road via surface channels.  
 Allow for the installation of 5 garden taps: positions to be confirmed on site.  
 Supply 200 water connection.  
 Supply 250 pipe with draw wire from dwelling to front boundary.



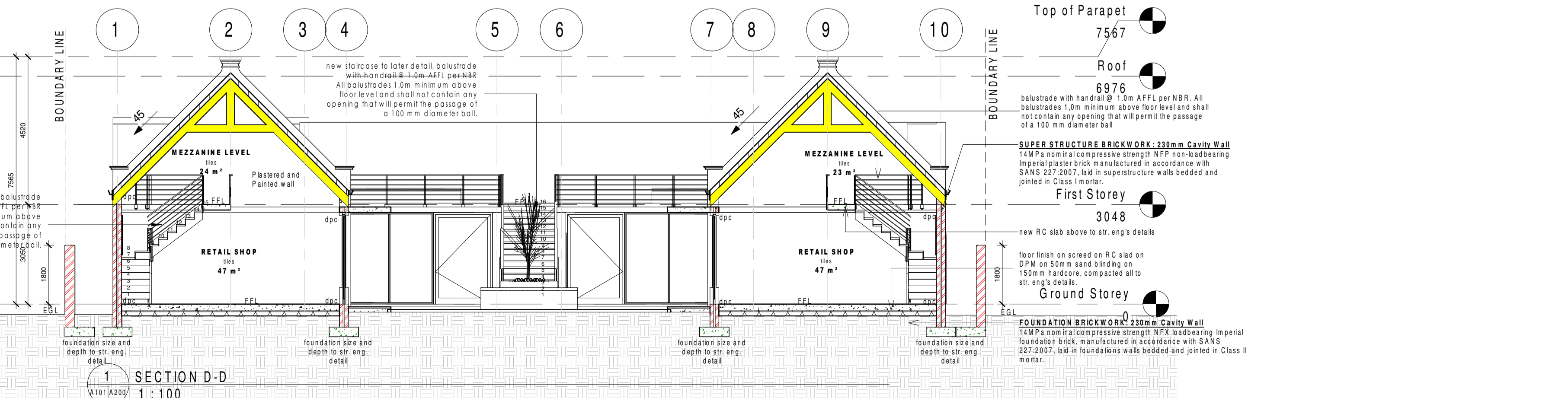
7 SECTION A-A  
1:100



6 SECTION B-B  
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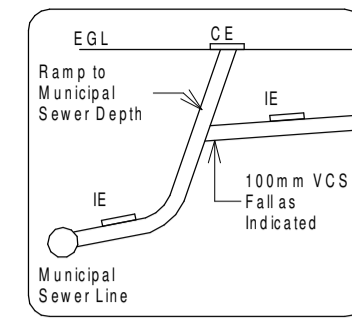
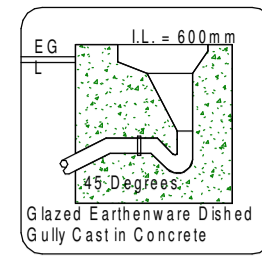


5 SECTION C-C  
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1 SECTION D-D  
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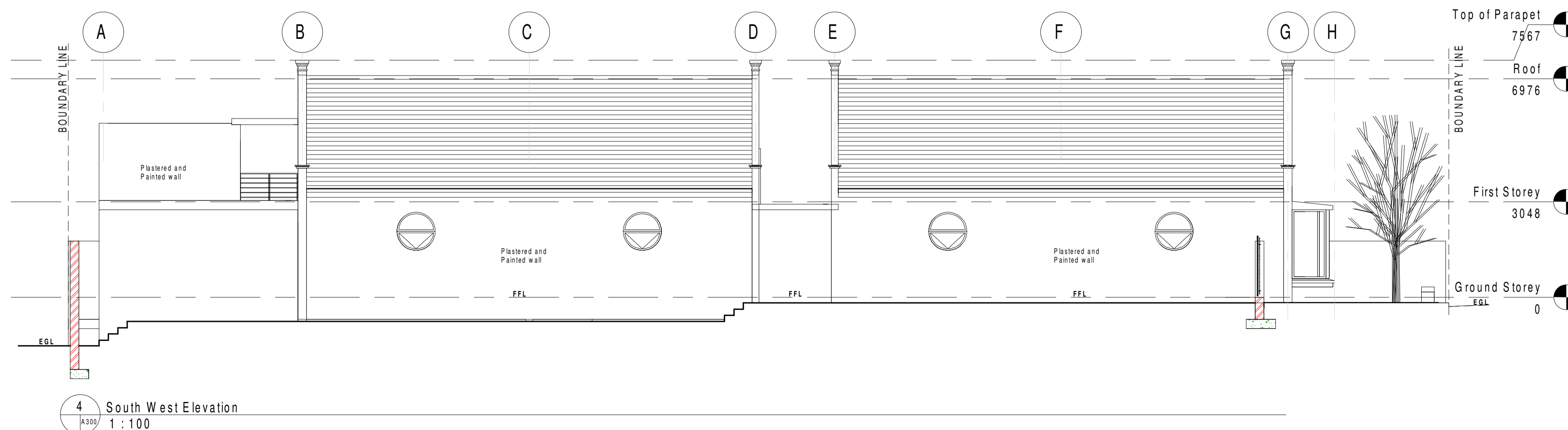
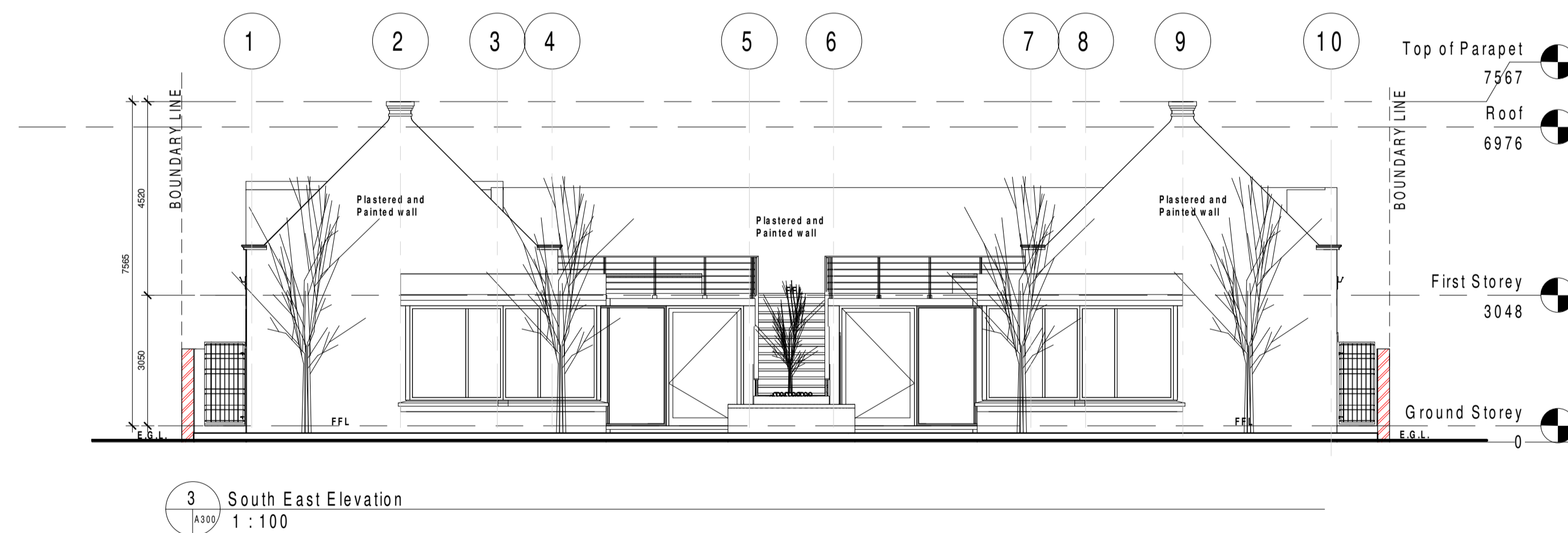
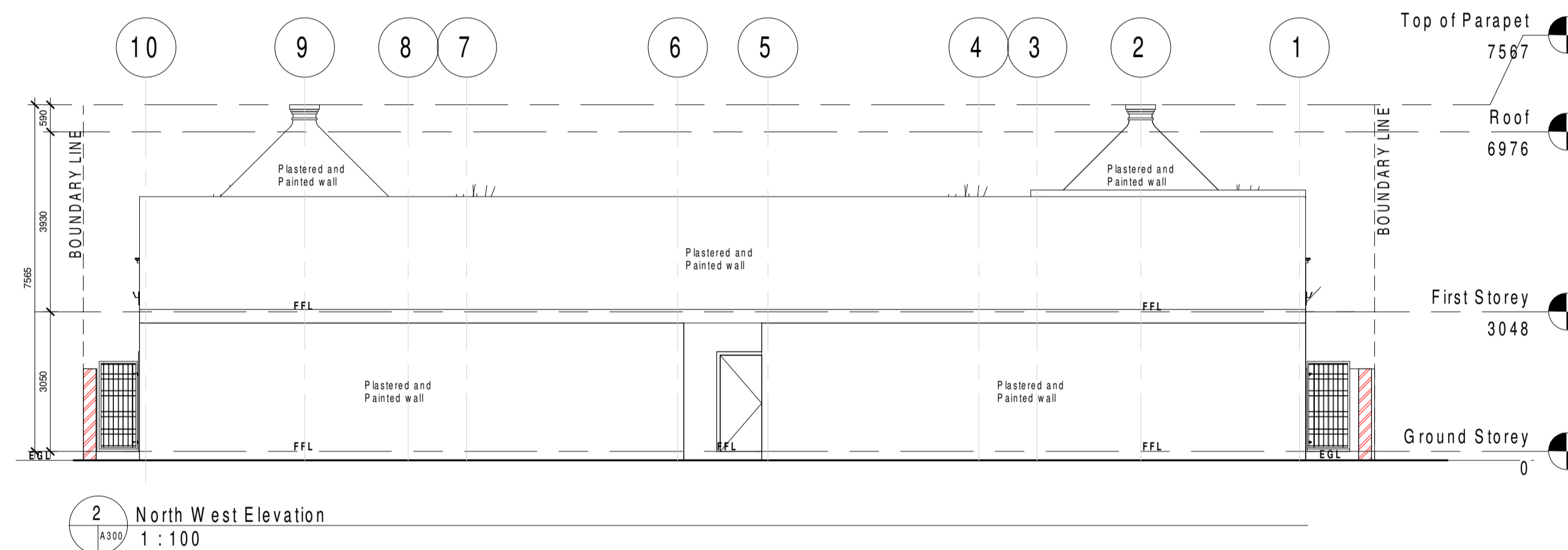
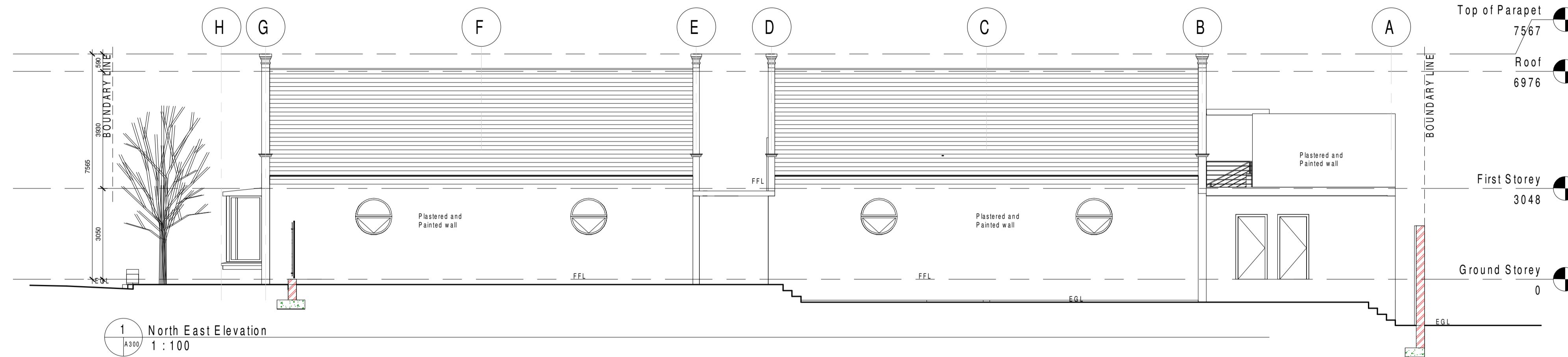
ARCHITECT	
SIGNATURE	
CLIENT/CLIENT REPRESENTATIVE	
SIGNATURE	
ADDRESS	BOUTIQUE SHOPPING PRECINCT
PROJECT TYPE	PROPOSED NEW BOUTIQUE SHOPPING PRECINCT ON ERF 149, 52 HUGUENOT RD, FRANSCHHOEK
DRAWING	MUNICIPAL SUBMISSIONS
DATE	11/22/22
SCALE	As indicated
DRAWN BY	MM
CHECKED BY	EA - PAT34897891
REVISION NO.	SHEET NO.
	<b>A 200</b>



1. ALL PLUG POINTS TO BE @ 300MM AFFL AND LIGHT SWITCHES @ 1100MM AFFL UNLESS OTHERWISE SPECIFIED.
2. ELECTRICAL CONTRACTOR TO LIAISE WITH PRINCIPAL AGENT AND SUB-CONTRACTOR ON POSITIONS
3. THIS DRAWING TO BE READ IN CONJUNCTION WITH ROOM AND CUPBOARD LAYOUTS IF REQUIRED.

LEGEND	
	NEW BRICK WALL
	NEW CONCRETE
	NEW TIMBER
	SEWER - SOIL
	SEWER - WATER

THE DESIGN ON THIS DRAWING REMAINS THE PROPERTY OF ABRAHAMSE DONOVAN DESIGN, COPYRIGHT RESERVED ©



ARCHITECT

SIGNATURE

CLIENT/CLIENT REPRESENTATIVE

SIGNATURE



ADDRESS  
BOUTIQUE SHOPPING PRECINCT

PROJECT TYPE  
PROPOSED NEW BOUTIQUE SHOPPING PRECINCT  
ON ERF 149, 52 HUGUENOT RD, FRANSCHHOEK

DRAWING  
MUNICIPAL  
SUBMISSION

DATE 11/22/22 SCALE As indicated

DRAWN BY MM CHECKED BY EA - PAT34897891

REVISION NO. SHEET NO.

**A 300**



**ERF 149 HUGUENOT STREET  
FRANSCHHOEK**  
SITE TRAFFIC ASSESSMENT

**Liezl Stodart Pr Eng**

Address: PO Box 339 | Villiersdorp | 6849    Tel no: 082 338 6406    e-mail: liezlstodart@gmail.com

## COVER PAGE

### Certification

It is herewith certified that this Site Traffic Assessment has been prepared according to the requirements of the South African Traffic Impact and Site Traffic Assessment Manual.



### **L. Stodart**

M. Eng Pr. Eng (2008 0316)

Tel: 082 338 6466

E-mail: liezlstodart@gmail.com

### Application details:

- a) Municipality name: Stellenbosch Municipality
- b) Type of assessment: Site Traffic Assessment
- c) Particulars of the Site Plan: Proposed new boutique shopping precinct on Erf 149, 52 Huguenot Road, Franschhoek. Abrahamse Donovan Design Drawing No. A100 dated 22 November 2022
- d) Erf numbers: Erf 149 Franschhoek
- e) Date of report: June 2023
- f) Name and address of the Assessor: Liezl Stodart Pr Eng, PO Box 359, Villiersdorp, 6848

## 1. BACKGROUND

This Site Traffic Assessment (STA) accompanies the building plan submission for Erf 149 Franschhoek. The site is located on the south-western side of Huguenot Road, opposite the Dutch Reformed Church. The location is shown in **Figure 1**, Annexure B.

The property is currently zoned as Mixed Use zone and the application / building plan submission is in line with this zoning. The erf is 1243m<sup>2</sup> in size, with existing buildings covering approximately 20% of the property. The main building houses an art gallery and the garage is used for storage. Access is obtained off Huguenot Street on the south-eastern erf boundary.

## 2. DEVELOPMENT PROPOSAL

The owner intends to demolish the existing structures and to construct new buildings that will be used for retail. The Site Plan shows that the buildings will form a U-shape along the outer edges of the erf, with a courtyard in the centre. The courtyard will open onto Huguenot Street. The development proposal is shown in **Figures 2a and 2b** (*Proposed new boutique shopping precinct on Erf 149, 52 Huguenot Road, Franschhoek Drawing Numbers A100 and A101*), Annexure B.

The ten proposed new retail outlets will have a combined floor area of 498m<sup>2</sup>. Assuming that 90% of the floor area will constitute lettable area, the gross lettable area (GLA) will be approximately 450m<sup>2</sup>. If it is assumed that 70% of the existing building's floor area qualifies as gross lettable area, the GLA of the existing building is 450m<sup>2</sup>, which means that there will be no nett GLA gain.

## 3. TRAFFIC IMPACT

The new development will replace an existing retail facility with the same gross lettable area. In theory, no new trips will be added to the road network and therefore the traffic impact of the new development will be negligible.

## 4. MOTIVATION FOR PARKING DEPARTURE

The Site Plans for the redevelopment of Erf 149 Franschhoek shows that no parking will be provided on site. The parking requirement for retail developments is 4 bays per 100m<sup>2</sup> GLA, which means that the Erf 149 development will need 18 bays. The following points serve as motivation for the parking departure:

- There is no on-site parking for clients. There is only a driveway that is used by the tenants from time to time (see Photo 2, Annexure A).
- The current building's GLA equals that of the proposed development. It then follows that the public and on-street parking in the vicinity of Erf 149 which has been sufficient to date, should also be sufficient for the new development and that no parking will be required for the new development.
- The Church Street public parking area is just across the street from Erf 149.
- A significant percentage of visitors to Franschhoek make use of public transport (contracted buses or smaller shuttle vehicles). These vehicles already have dedicated parking areas and will not require further parking provision.
- The location of the site means that the only possible access would be a single driveway off Huguenot Street. If parking is to be provided on site, vehicles would also have to

turn around on site in order to exit via the same driveway, as no reversing should be allowed onto Huguenot Street.

- Parking in front of the buildings would form a barrier between the sidewalk and shops, which will decrease the attraction of the businesses. Such a layout will also detract from the sidewalk café theme of Huguenot Street.
- If parking is to be provided towards the back of the erf, it would take up nearly 70% of the erf's surface and even so, there will still be a shortfall. It is doubtful whether a parking area hidden from the main road will even be used to its full capacity.

## **5. NON-MOTORISED AND PUBLIC TRANSPORT**

There are sidewalks along both sides of Huguenot Street. Minibus taxi services, shuttle buses and tour buses operate along Huguenot Street, with stops within walking distance of Erf 149. The development is well served in terms of public transport services and non-motorised transport infrastructure.

## **6. CONCLUSIONS**

From the Site Traffic Assessment, it can be concluded that the redevelopment of Erf 149 Franschhoek will have a negligible traffic impact. Other conclusions are summarised below.

- The development entails the demolition of an existing building housing an art gallery and the construction of new retail lines shops;
- The gross lettable area of the new development will be equal to or less than the GLA of the existing building;
- The developer is applying for a parking departure. No on-site parking is proposed;
- The current business does not have on-site parking either;
- The site is well served in terms of non-motorised transport infrastructure and public transport infrastructure and operations.

## **7. RECOMMENDATIONS**

It is recommended that the proposed development should be approved and that the motivation for a parking departure should be considered.

---



Should we show something like this to indicate how much space will be taken up by parking if we are to comply? This shows 16 bays; the requirement is 18 bays



## Annexure A: Photo pages

1) Existing main building and garage seen from Huguenot Street



2) Right hand side of main building



3) Looking down driveway towards Huguenot Street



4) Backyard



5) Looking north-west along Huguenot Street



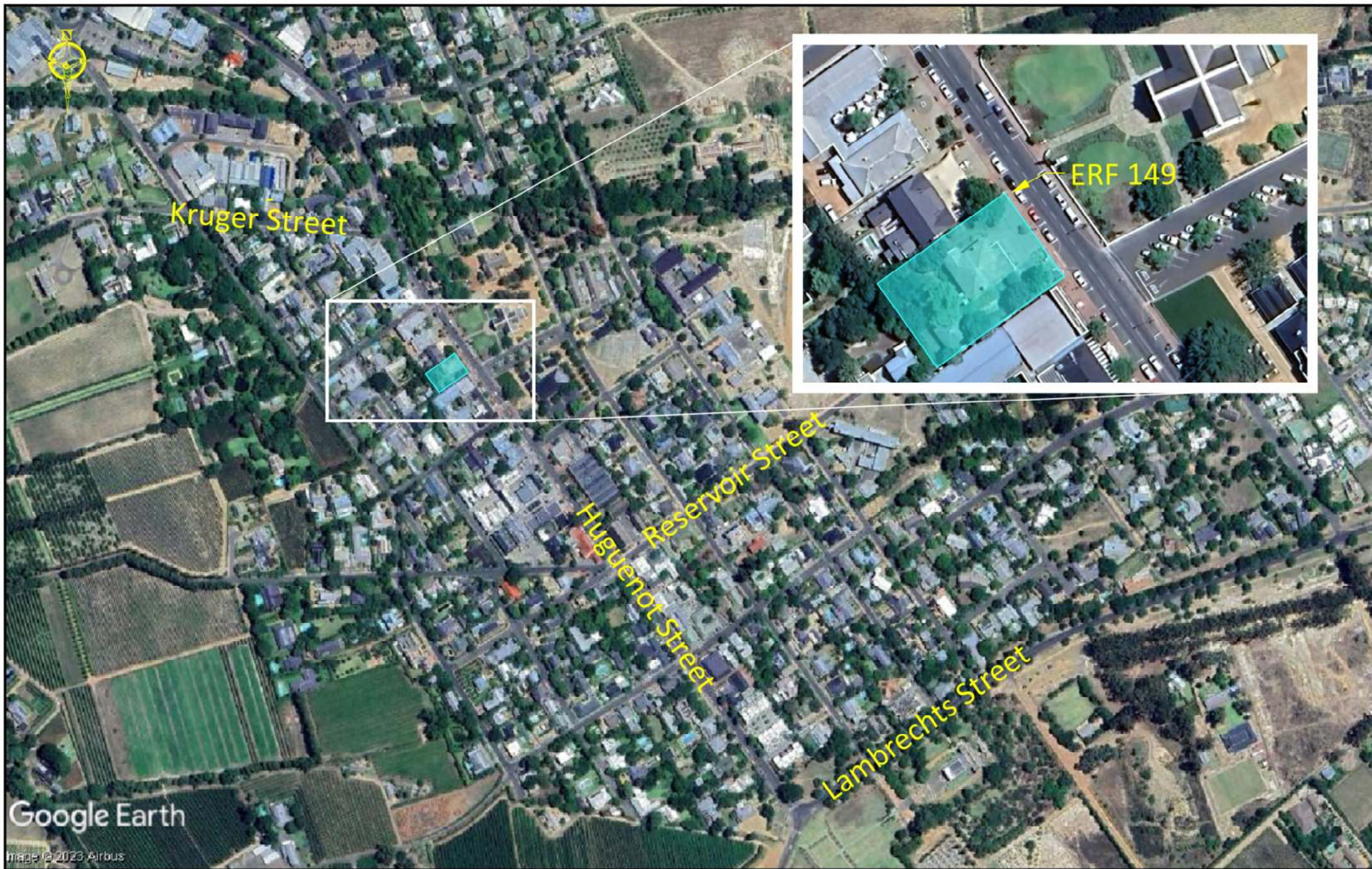
6) Looking east across Huguenot Street to Church Street parking area



7) Looking south-east along Huguenot Street



## **Annexure B: Drawings**



LIEZL STODART

M.Eng Pr. Eng

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90 Theewaterskloof Estate | Villiersdorp | 7200  
Tel: 082 338 6466  
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## ERF 149 FRANSCHHOEK LOCALITY PLAN

FIGURE 1  
2023-06-12