

NOTICE OF LAND DEVELOPMENT APPLICATION TO INTERESTED AND AFFECTED PARTIES FOR COMMENT

Affected person's Name

Affected persons Physical Address

Affected person's Title:

The following land use application in terms of the Stellenbosch Land Use Planning Bylaw, 2015, refers:

Application Property Address: 20 Dennerand Street, Dalsig, Stellenbosch.

Application Property Number: Erf 1015, Dalsig, Stellenbosch.

Applicant: Martin Geringer / Geringer Architects, at: martin@geringer.co.za

Owner: Du Toit Family Trust, at: alisonbrand@telkomsa.net

Application Reference: LU/ 14349

Application Type: APPLICATION FOR DEPARTURE; REMOVAL OF RESTRICTIONS AND TECHNICAL APPROVAL: ERF 1015, STELLENBOSCH

Detailed description of land use or development proposal, including its intent and purpose:

Description of land development application:

1. Application is made in terms of Section 15 (2) (f) of the Stellenbosch Municipal Planning By-law, 2015, for the Removal of Restrictive Title Deed Conditions contained in Title deed no: T27806/2021, Clause E (iii) (b) - (d) on Erf 1015, Stellenbosch, to allow for the deletion of the Street Building Line and to allow for the Zoning Scheme building line to be applicable, accommodate the proposed building alterations on Erf 1015, Stellenbosch.
2. Application is made in terms of Section 15 12} (b) of the Stellenbosch Municipal Planning By-law, 2015 for Permanent Departure to relax street building line adjacent to Dennerand Way from 4m to 3m to accommodate the proposed building alterations on Erf 1015, Stellenbosch.
3. Application is made in terms of Section 15 (2) (g) of the Stellenbosch Municipal Planning By-law, 2015 for Permission/ Technical Approval to accommodate a second dwelling unit on Erf 1015, Stellenbosch.

Notice is hereby given in terms of the provisions of Section 46 of the said Bylaw that the above-mentioned application has been submitted to the Stellenbosch Municipality for consideration. The application is available for inspection on the Planning Portal of the Stellenbosch Municipal Website for the duration of the public participation process at the following address: <https://www.stellenbosch.gov.za/planning/documents/planning-notices/land-use-applications-advertisements>. If the website or documents cannot be accessed, an electronic copy of the application can be requested from the Applicant.

You are hereby invited to submit comments and / or objections on the application in terms of Section 50 of the said bylaw with the following requirements and particulars:

- The comments must be made in writing;
- The comments must refer to the Application Reference Number and Address,
- The name of the person that submits the comments;
- The physical address and contact details of the person submitting the comments;
- The interest that the person has in the subject application;
- The reasons for the comments, which must be set out in sufficient detail in order to:
 - Indicate the facts and circumstances that explain the comments;
 - Where relevant demonstrate the undesirable effect that the application will have if approved;
 - Where relevant demonstrate any aspect of the application that is not considered consistent with applicable policy; and
 - Enable the applicant to respond to the comments.

The comments must be addressed to the applicant by electronic mail as follows: Martin Geringer, Geringer Architects, at: martin@geringer.co.za By lodging an objection, comment or representation, the person doing so acknowledges that information may be made available to the public and to the applicant.

The comments must be submitted within 30 days (**60 days if it is a state entity**) from the date of this notice to be received on or before the closing date of **23 December 2022**.

It should be noted that the Municipality, in terms of Section 50(5) of the said Bylaw, may refuse to accept any comments/ objection received after the closing date.

For any enquiries on the Application or the above requirements, or if you are unable to write and /or submit your comments as provided for, you may contact the Applicant for assistance at the e-mail address provided or telephonically at 082 338 6531 during normal office hours.

Yours faithfully

Martin Geringer

KENNISGEWING VAN GROND ONTWIKKELINGS AANSOEK AAN GETRESEERDE EN GEAFFEKTEERDE PARTYE VIR KOMMENTAAR.

Naam van geaffekteerde persoon

Fisiese adres van geaffekteerde persoon

Titel van geaffekteerde persoon:

Die volgende grondgebruiksaansoek in terme van Stellenbosch se Verordeninge op Grondgebruikbeplanning, 2015, verwys:

Adres van aansoek eiendom: Dennerandstraat 20, Dalsig, Stellenbosch.

Aansoek eiendom beskrywing: Erf 1015, Dalsig, Stellenbosch.

Aansoeker: Martin Geringer, Geringer Argitekte, by:
martin@geringer.co.za

Eienaar: Etienne Du Toit, Du Toit Familie Trust, by:
alisonbrand@telkomsa.net

Aansoek Verwysing: LU/ 14349

Tipe Aansoek: **AANSOEK VIR AFWYKING; VERWYDERING VAN BEPERKINGS EN TEGNIESE**

GOEDKEURING: ERF 1015, STELLENBOSCH

Besonderhede van die grondgebruiksaansoek, insluitende die doel en uitkoms:

1. Aansoek word gedoen ingevolge Artikel 15 (2) (f) van die Stellenbosch Munisipale Beplanningsverordening, 2015, vir die opheffing van Beperkende Titelaktevoorwaardes vervat in Titelakte nr: T27806/2021, Klousule E (iii) (bl. - (d) op Erf 1015, Stellenbosch, om voorsiening te maak vir die skrap van die Straatboulyn en om toe te laat dat die Soneringskema-boulyn van toepassing is, die voorgestelde bouveranderinge op Erf 1015, Stellenbosch akkommodeer.
2. Aansoek word gedoen ingevolge Artikel 15 12} (b) van die Stellenbosch Munisipale Beplanningsverordening, 2015 vir Permanente afwyking om straatboulyn aangrensend aan Dennerandweg van 4m tot 3m te verslap om die voorgestelde gebouveranderinge op Erf 1015, Stellenbosch te akkommodeer.

3. Aansoek word gedoen ingevolge Artikel 15 (2) (g) van die Stellenbosch Munisipale Beplanningsverordening, 2015 vir Toestemming/ Tegniiese Goedkeuring om 'n tweede wooneenheid op Erf 1015, Stellenbosch te akkommodeer.

Kennis word hiermee gegee in terme van die voorskrifte van die Artikel 46 van die genoemde Verordeninge dat bovermelde aansoek by die Stellenbosch Munisipaliteit ingedien is vir oorweging. Die aansoek is beskikbaar vir insae op die Beplannings Portaal van die Stellenbosch Munisipaliteit se Webtuiste vir die tydsduur van die publieke deelname proses by die volgende adres:

<https://www.stellenbosch.gov.za/planning/documents/planning-notices/land-use-applications-advertisements>. Indien die webtuiste of tersaaklike dokumente nie toeganklik is nie, kan die Aansoeker versoek word om 'n elektroniese kopie van die aansoek beskikbaar te stel.

Kommentaar en/ of besware kan vervolgens gedien word op die aansoek in terms van Artikel 50 van die tersaaklike Verordening wat die volgende vereistes en besonderhede moet bevat:

- Die kommentaar moet skriftelik wees;
- Die kommentaar moet die aansoek se verwysings nommer en adres insluit;
- Die naam van die persoon wat die kommentaar lewer;
- Die fisiese adres en kontak besonderhede van die persoon wat die kommentaar lewer.
- Die belang wat die persoon wat die kommentaar lewer, in die aansoek het.
- Die redes vir die kommentaar wat gelewer word, welke redes genoegsame besonderhede moet bevat ten opsigte van die volgende aspekte:
 - Die feite en omstandighede aantoon wat die die kommentaar toelig;
 - Indien toepaslik, aantoon wat die onwenslike resultaat sal wees indien die aansoek goedgekeur word;
 - Waar toepaslik moet aangetoon word indien enige aspek van die aansoek strydig geag word met enige relevante beleid;
 - Dat die insette voldoende inligting sal gee wat die aansoeker in staat sal stel om kommentaar daarop te lewer.

Die kommentaar moet by wyse van elektroniese pos aan die Aansoeker gestuur word as volg: Martin Geringer, Geringer Argitekte, by: martin@geringer.co.za Deur 'n beswaar, kommentaar of versoë te rig, erken die persoon wat dit doen dat inligting aan die publiek en aan die aansoeker beskikbaar gestel kan word.

Die kommentaar moet binne 30 dae (**60 dae indien dit 'n staatsentiteit sal wees**) vanaf die datum van hierdie kennisgewing gestuur word en moet ontvang word voor of op die laaste dag van die sluitings datum van **23 Desember 2022**.

Daar moet kennis geneem word dat die Munisipaliteit, in terme van Artikel 50(5) van die vermelde Verordeninge, mag weier om enige kommentaar / beswaar te aanvaar wat na die sluitingsdatum ontvang word.

Indien daar enige navrae op die aansoek of bovermelde vereistes vir die lewer van kommentaar is, of indien dit nie moontlik is om geskrewe kommentaar te lewer of die kommentaar op die wyse te lewer soos voorsienning gemaak is nie, kan die Aansoeker geskakel word vir bystand by die vermelde elektroniese pos adres of telefonies by: 082 338 6531 gedurende normale kantoor ure.

Die uwe

Martin Geringer

NOTES/NOTES

All services are provided on a best effort basis. The client is responsible for ensuring that all services are provided in accordance with the relevant legislation and standards. The client is responsible for ensuring that all services are provided in accordance with the relevant legislation and standards.

All dimensions of buildings and site are subject to measurement and verification. The client is responsible for ensuring that all dimensions are provided in accordance with the relevant legislation and standards.

REVISIONS / HYPERLINKS

NO.	DESCRIPTION	DATE

CLIENT SIGNATURE:

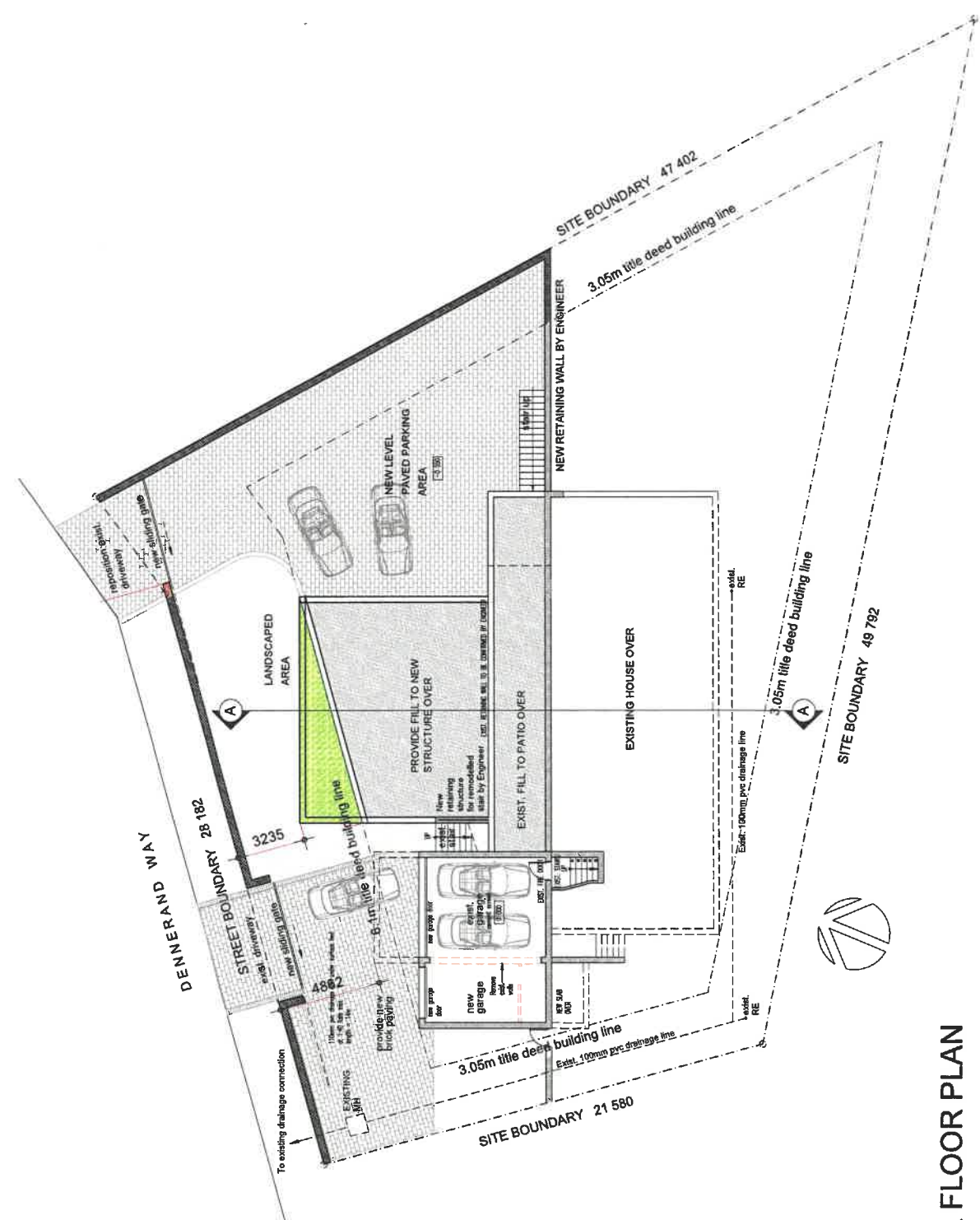
ARCHITECT SIGNATURE:
GERINGER ARCHITECTS
 100/101 DENNERAND STREET
 STELLENBOSCH
 7700

Proposed BUILDING ALTERATIONS to existing dwelling, ERF 1015 DENNERAND STREET STELLENBOSCH

LOWER FLOOR PLAN

PROJECT NO.	DATE	STATUS
456	002	<input type="checkbox"/> PRELIMINARY <input type="checkbox"/> APPROVED
456	FEB 2021	<input type="checkbox"/> REVISED <input type="checkbox"/> CANCELLED

FOR INFORMATION



LOWER FLOOR PLAN
SCALE 1:100

NOTES / NOTAS

The client is responsible for all costs associated with this project. The architect is not responsible for any costs associated with this project. The client is responsible for all costs associated with this project. The architect is not responsible for any costs associated with this project.

Architects of record and other professionals are not responsible for the design, construction or performance of any work. All dimensions shall be taken from the site plan. The architect is not responsible for any costs associated with this project.

REMISSIONS / WYSKININGS

ERF 1015 STELLENBOSCH - SCHEDULE OF AREAS	m ²
1 SITE AREA	3235
2 EXISTING HOUSE AREA	238
3 LOWER FLOOR	19
4 GROUND FLOOR	205
5 EXISTING BULK FACTOR	0.59
6 PROPOSED ADDITIONS	473
7 5.1 LOWER FLOOR	95
8 5.2 GROUND FLOOR	101
9 5.3 FIRST FLOOR	277
10 OPEN BALCONIES	116
11 6.1 GROUND FLOOR	91
12 6.2 FIRST FLOOR	65
13 PROPOSED NEW COVERAGE	27.69%
14 7.1 COVERAGE AREA FOOTPRINT	342
15 7.2 PROPOSED NEW HOUSE AREA	711
16 7.3 PROPOSED NEW BULK FACTOR	0.58
17 PROPOSED NEW HEIGHT OF TOP OF STRUCTURE CONTAINING LOWER FLOOR LEVEL	10.6

CLIENT SIGNATURE:

ARCHITECT SIGNATURE:



GERINGER ARCHITECTS
112 WEST BANGOR AVE
DUNEDIN 9013
TEL: 03 482 2831
WWW.GERINGERARCHITECTS.CO.NZ

PROSE

Proposed BUILDING ALTERATIONS to existing dwelling, ERF 1015 DENNERAND STREET STELLENBOSCH

COMMENTS

GROUND FLOOR PLAN

PROJECT NO: 459

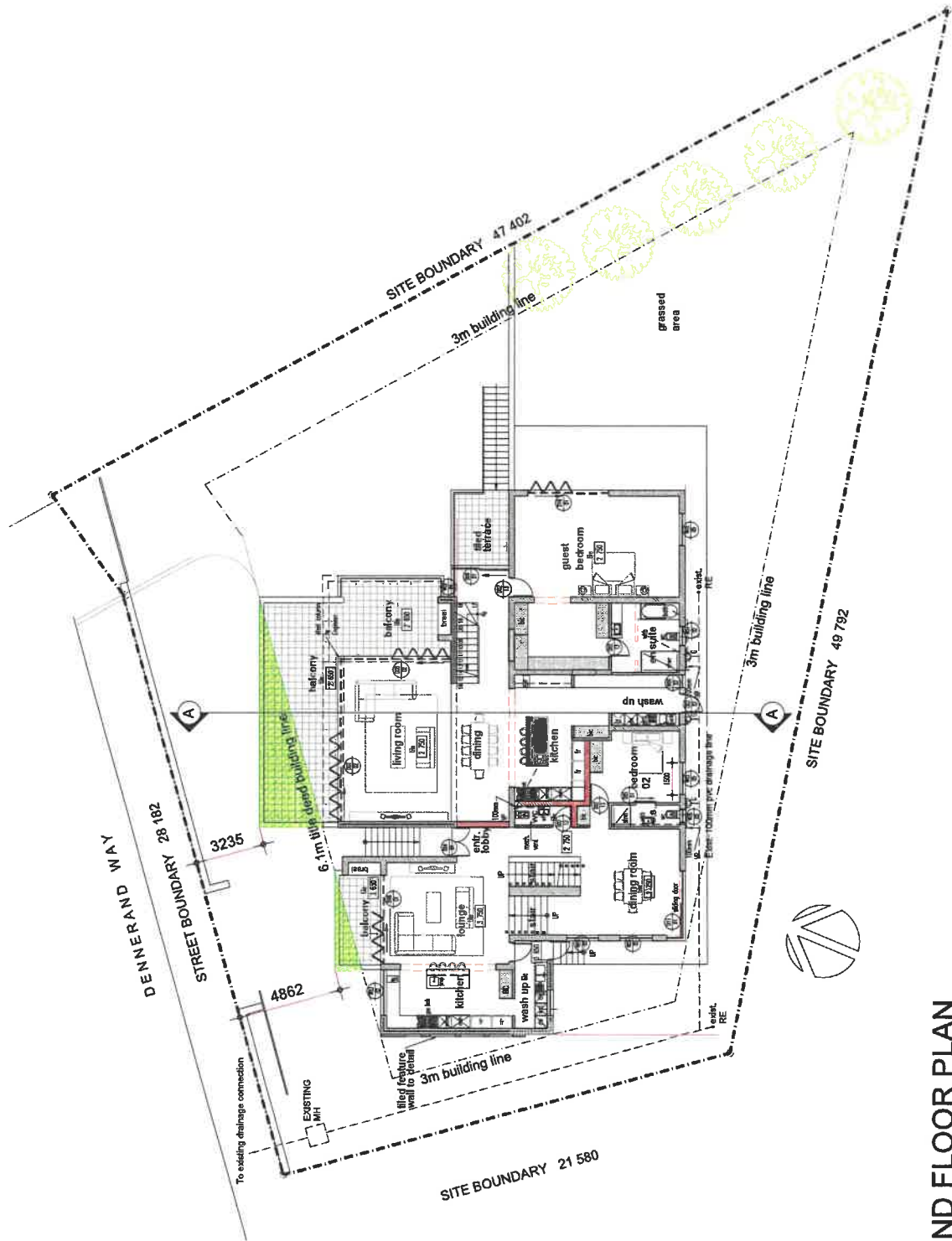
TEAM: 003

REVISION: none

DATE: FEB 2021

SCALE: MO

FOR INFORMATION



GROUND FLOOR PLAN

SCALE 1:100

NOTES / NOTAS
 Alle verduidelikings en aanwysings moet duidelik en volledig wees.
 Alle verduidelikings en aanwysings moet duidelik en volledig wees.
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REVISIONS / WYSIGINGS
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 Alle wysigings moet duidelik en volledig wees.

NO.	DESCRIPTION	UNIT	VALUE
1	SITE AREA	m ²	1235
2	EXISTING HOUSE AREA	m ²	238
3	EXISTING BALCONY AREA	m ²	33
4	EXISTING BULK FACTOR	%	205
5	PROPOSED ADDITIONS	m ²	16.60%
6	PROPOSED LOWER FLOOR	m ²	473
7	PROPOSED GROUND FLOOR	m ²	95
8	PROPOSED FIRST FLOOR	m ²	101
9	PROPOSED BALCONIES	m ²	277
10	PROPOSED BALCONIES	m ²	116
11	PROPOSED BALCONIES	m ²	51
12	PROPOSED BALCONIES	m ²	65
13	PROPOSED NEW COVERAGE	%	27.69%
14	PROPOSED NEW HOUSE AREA	m ²	342
15	PROPOSED NEW BULK FACTOR	%	211
16	PROPOSED NEW HEIGHT OF TOP OF PROPOSED WALL ABOVE EXISTING LOWER FLOOR LEVEL	m	6.58
17	PROPOSED NEW HEIGHT OF TOP OF PROPOSED WALL ABOVE EXISTING LOWER FLOOR LEVEL	m	10.4

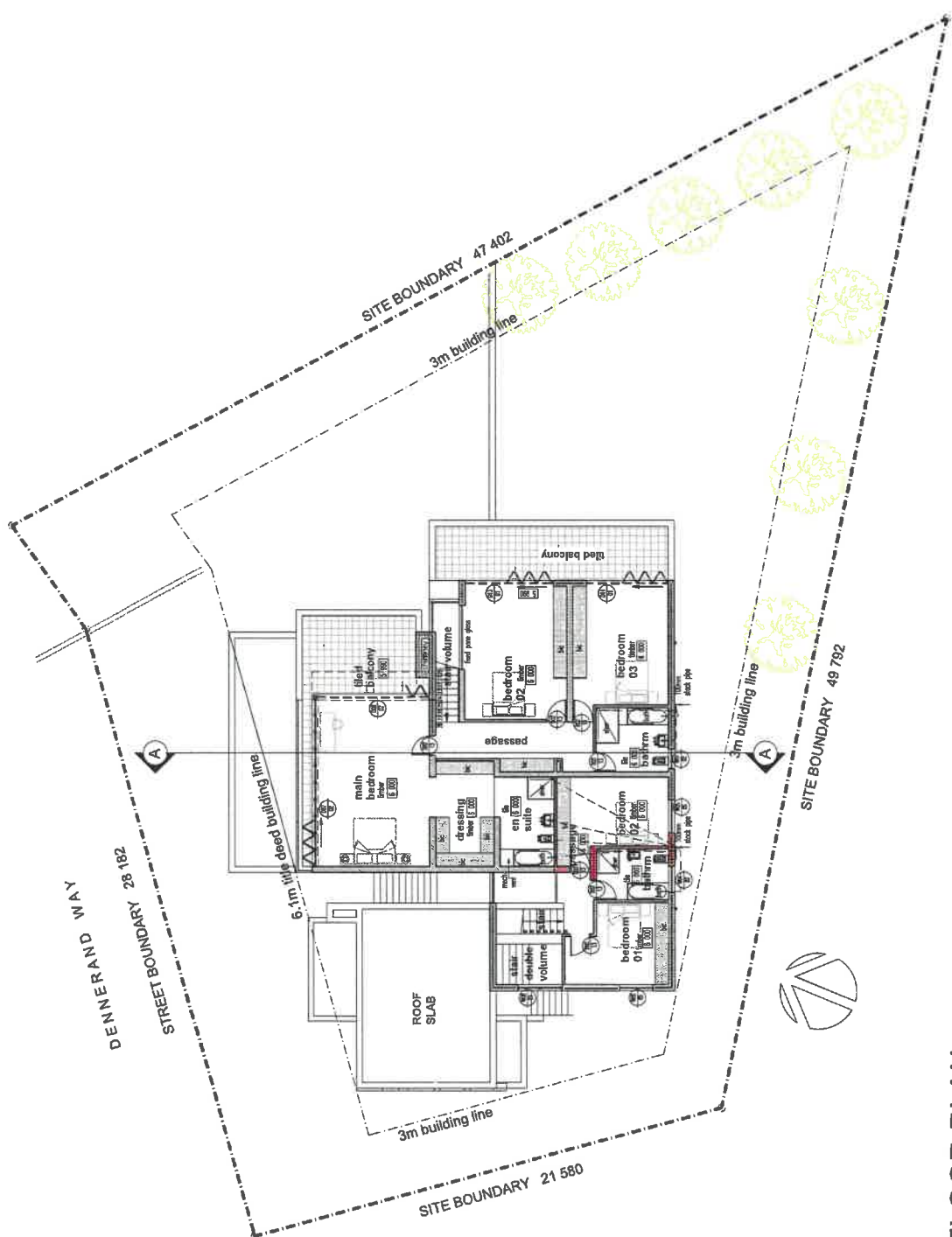
CLIENT SIGNATURE:

ARCHITECT SIGNATURE:
GERINGER ARCHITECTS
 101 DENNERAND STREET
 STELLENBOSCH
 7800
 T: 021 202 2044
 F: 021 202 2044
 P: 021 202 2044

RESERVE
 Proposed BUILDING ALTERATIONS
 to existing dwelling, ERF 1015
 DENNERAND STREET
 STELLENBOSCH

DRAWING
 UPPER FLOOR PLAN

PROJECT NO. 455
 REV. 004
 DATE: FEB 2021
 DRAWN BY: MG



FOR INFORMATION

UPPER FLOOR PLAN
 SCALE 1:100

NOTES / NOTAS

All windows and doors are to be as specified unless otherwise indicated. For all windows and doors, the opening is to be as specified unless otherwise indicated.

Dimensions are to face, unless indicated otherwise.

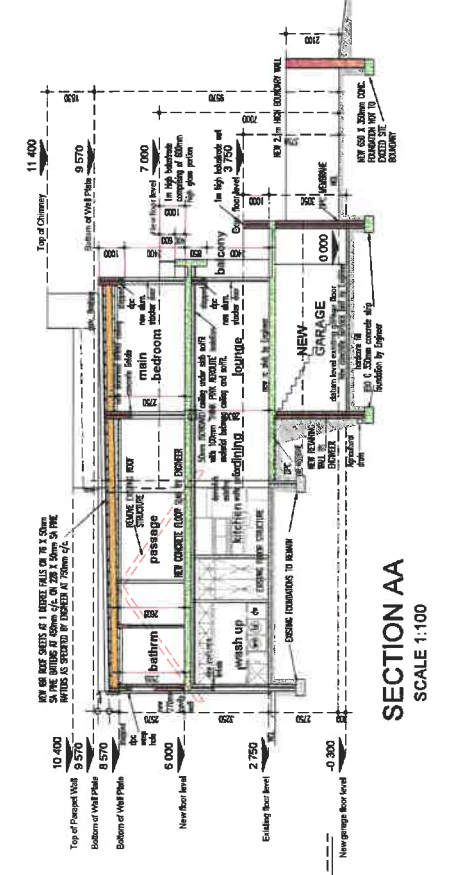
Plaster is to be applied to all internal walls and ceilings unless otherwise indicated.

Windows and doors are to be as specified unless otherwise indicated.

For more information, please refer to the relevant drawings.

REVISIONS / WISINGS

NO.	DESCRIPTION



SECTION AA
SCALE 1:100

CONCRETE
Concrete shall be supplied in accordance with SABS 2040 (2013) and shall be delivered to the site in the form of ready-mix concrete. The concrete shall be cast and finished in accordance with the approved architectural drawings.

CEILING
The ceiling shall be as shown on the drawings unless otherwise indicated. The ceiling shall be finished in a smooth, white, plaster finish.

DOORS
Doors shall be as shown on the drawings unless otherwise indicated. The doors shall be finished in a smooth, white, plaster finish.

FLOORING
The floor shall be as shown on the drawings unless otherwise indicated. The floor shall be finished in a smooth, white, plaster finish.

GLAZING
Windows and doors shall be as shown on the drawings unless otherwise indicated. The glazing shall be finished in a smooth, white, plaster finish.

ROOF
The roof shall be as shown on the drawings unless otherwise indicated. The roof shall be finished in a smooth, white, plaster finish.

WALLS
The walls shall be as shown on the drawings unless otherwise indicated. The walls shall be finished in a smooth, white, plaster finish.

NEW ROOF STRUCTURE
The new roof structure shall be as shown on the drawings unless otherwise indicated. The new roof structure shall be finished in a smooth, white, plaster finish.

NEW GARAGE
The new garage shall be as shown on the drawings unless otherwise indicated. The new garage shall be finished in a smooth, white, plaster finish.

NEW CONCRETE LIFT TO NEW ROOF
The new concrete lift to new roof shall be as shown on the drawings unless otherwise indicated. The new concrete lift to new roof shall be finished in a smooth, white, plaster finish.

CLIENT SIGNATURE:

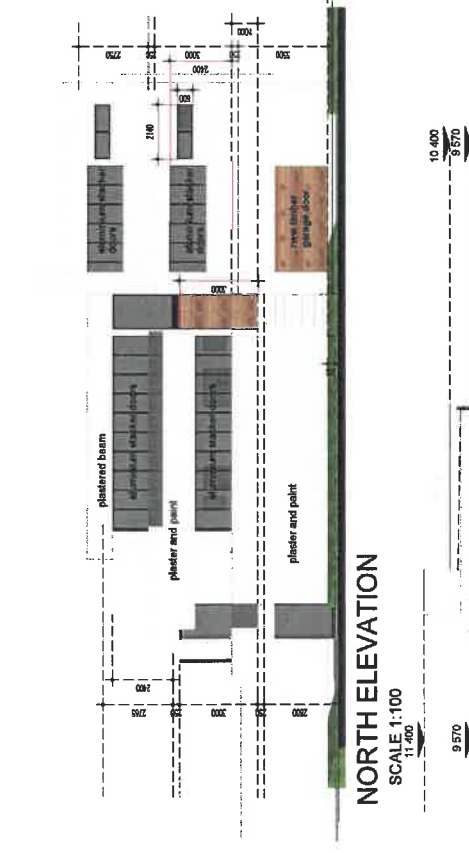
GERINGER ARCHITECTS
PO BOX 100
100 DENNING STREET
DURBAN
KZN
SOUTH AFRICA
031 433 3344
geringerarchitects.com

PROPOSED BUILDING ALTERATIONS TO EXISTING DWELLING, ERF 90 DENNERAND STREET STELLENBOSCH

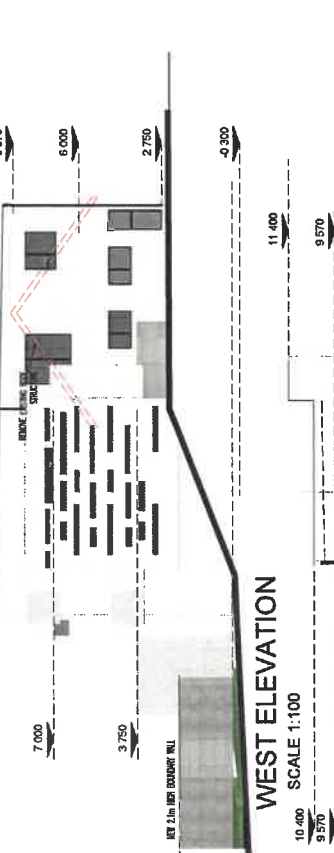
ELEVATIONS SECTION AA

PROJECT NO. 466
DATE: FEB 2021
SCALE: AS SHOWN
DRAWN BY: MG

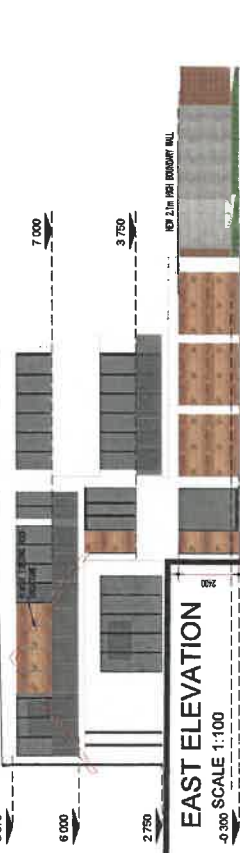
FOR INFORMATION



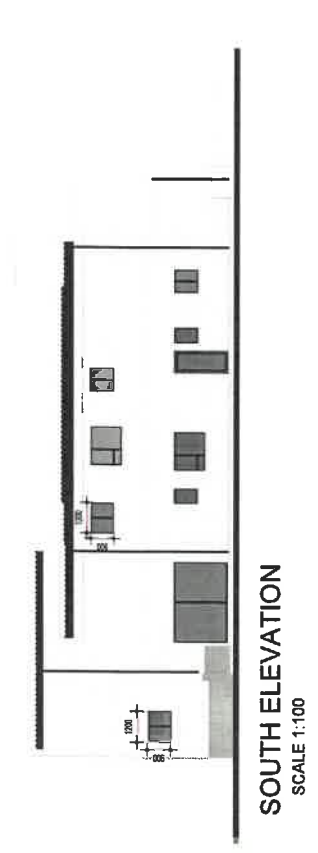
NORTH ELEVATION
SCALE 1:100



WEST ELEVATION
SCALE 1:100



EAST ELEVATION
SCALE 1:100



SOUTH ELEVATION
SCALE 1:100



GERINGER ARCHITECTS
2 Alma Road, Kenridge, Durbanville
martin.geringer@falsebay.org.za
082 338 6531



Our Reference: 102 EDT

10 July 2022

Director: Planning and Development Services
Stellenbosch Municipality
Town House
7600 STELLENBOSCH

Attention: Mr. Bongiwe Zondo

Sir

RE: ERF 1015, STELLENBOSCH: APPLICATION FOR AN ADDITIONAL USE, A PERMANENT DEPARTURE AND THE REMOVAL OF RESTRICTIVE TITLE CONDITIONS

1. Land use planning applications

Pertaining to Erf 1015, Stellenbosch (hereafter referred to as the subject property):

- (i) Application is hereby made i.t.o. Section 15.(2)(f) of the Stellenbosch Municipality Planning By-law, 2015 for a removal, suspension or amendment of restrictive conditions in respect of a land unit; i.e. **for the removal of restrictive title conditions numbers:**

C.(iii) Hierdie erf is onderhewig aan die volgende voorwaardes, met dien verstande dat indien die Administrateur, na oorleg met die Dorpekommissie en die plaaslike owerheid dit raadsaam ag dat die beperking in enige sodanige voorwaarde te enigertyd opgeskort of versag behoort te word, hy die nodige opskorting of versagting kan goedkeur onderworpe aan sodanige voorwaardes as wat hy oplê:

- (a) *Dit mag nie onderverdeel word nie;*
- (b) *Dit mag alleen gebruik word vir die doel om een woning, tesame met die buitegeboue wat gewoonlik in verband daarmee gebruik word daarop op te rig;*
- (c) *Op nie meer as een derde van die oppervlakte daarvan mag gebou word nie;*
- (d) *Geen gebou of struktuur of enige gedeelte daarvan behalwe grensmure en heinings mag binne 20 voet van die straatlyn wat 'n grens van hierdie erf vorm, opgerig word nie, ook nie binne 10 voet van die agtergrens of die sygrens van 'n aangrensende erf nie, met dien verstande dat 'n buitegebou met die toestemming van die plaaslike owerheid op die voorgeskrewe ruimte langs die agtergrens opgerig mag word, mits sodanige buitegebou nie 'n hoogte van 10 voet te bowe gaan nie, watter hoogte gemeet moet word van die vloer tot die ankerplaat, en mits geen gedeelte daarvan vir bewoningsdoeleindes deur mense aangewend word nie. By konsolidering van enige twee of meer erwe, sal hierdie voorwaardes van toepassing wees op die gekonsolideerde gebied as een erf.*

D. SUBJECT further to the special conditions imposed by and in favour of DALSIG LANDGOED EIENDOMS BEPERK and their successors in title as owners of the remainder of the ground held by them under Deed of Transfer Number T27806 dated 10th June 2021 issued in their favour and in favour of the registered owner and his successors in title of any erf in the Dalsig Village:-

- (a) *Geen gebou van welke aard ookal mag op die erf opgerig word alvorens die planne en spesifikasies nie aan die Eienaars van die dorpsaanleg of hulle opvolgers in regte voorgelê is nie, welke planne en spesifikasies binne 21 dae na voorlegging daarvan goed of afgekeur word nie.*
- (b) *Geen skadelike, raserige of enige ander bedrywighede waarteen die inwoners van die dorpsgebied redelikerwys beswaar mag maak as synde 'n oorlas vir die bure of vir diegene wat die openbare plekke of weë began, mag op die erf uitgevoer word nie. Voorts mag geen hout vir wins op hierdie erf gesaag of gekap word nie en ook mag die okkupeerder van*

die erf nie material wat hy vir enige besigheidsonderneming buite die erf gebruik, op die erf bêre nie. Die toestand van die erf moet te alle tye sodanig wees dat dit geen oorlas vir die inwoners van die dorpsaanleg of vir diegene wat die openbare plekke of weë began daarstel nie.

- (c) Geen dak van enige bouwerk op die erf mag van sinkplaat van enige aard gemaak word nie behalwe as sodanige dak nie van die straat sigbaar is nie. Alle dakke op die erf moet van dieselfde material en konstruksie wees behalwe as die betrokke dak nie van die straat sigbaar is nie.*
- (d) Die omheining van die erf mag alleen opgerig word nadat volle besonderhede in verband met die beplanning daarvan aan die eienaars van die dorpsaanleg voorgelê is en dit deur hul goedgekeur is, dog in geen geval mag enige omheining van enige soort sinkplaat gehou word nie.*

- (ii) Application is hereby made i.t.o. Section 15.(2)(g) of the Stellenbosch Municipality Planning By-law, 2015 for a permission required in terms of the zoning scheme; i.e. **for a technical approval (for an additional use) to permit a 2nd dwelling.**
- (iii) Application is hereby made i.t.o. Section 15.(2)(b) of the Stellenbosch Municipality Planning By-law, 2015 for a permanent departure from the development parameters of the zoning scheme; i.e. **for the relaxation of the street building line from 4m to 3m.**

The purpose of this land use planning application is to obtain the required planning approval for the development of a 2nd dwelling on the subject property.

2. Property details

The subject property is located at 20 Dennerand Street, in Dalsig, Stellenbosch – see Figures 1 and 2 below.

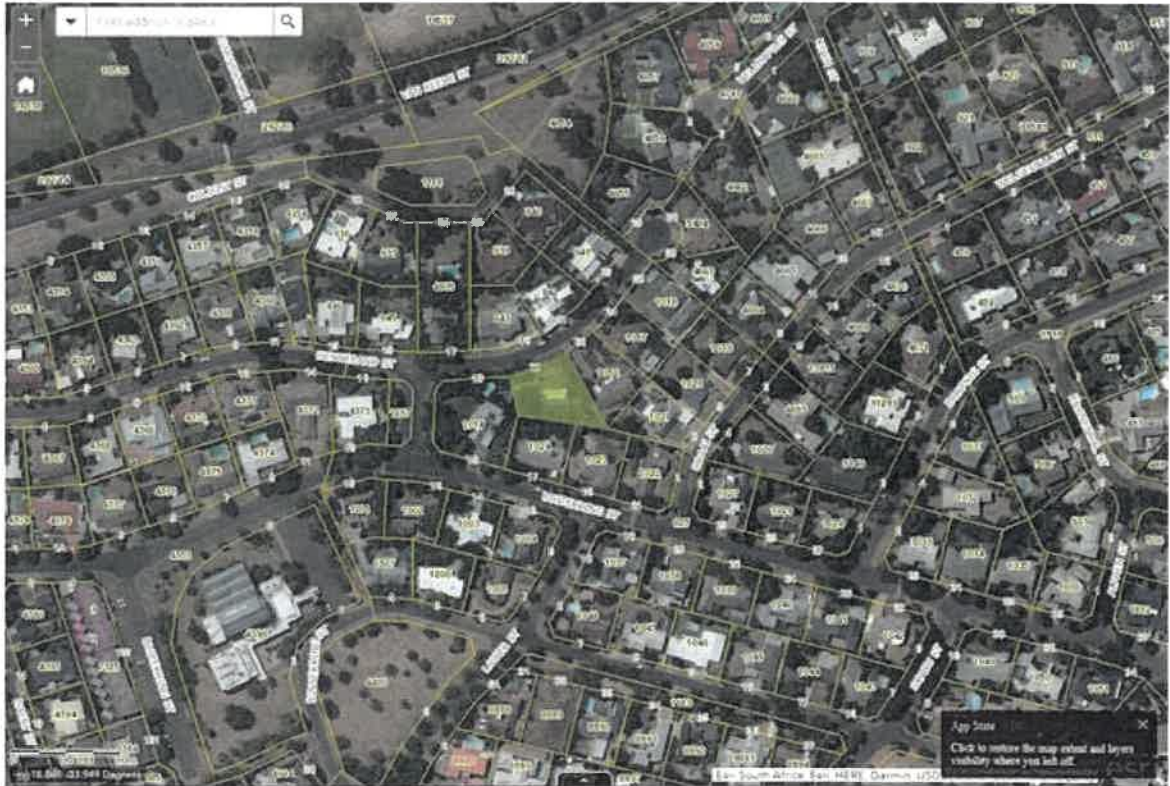


Figure 1: Locality of Erf 1015, Stellenbosch



Figure 2: Streetview of 20 Dennerand Street, Dalsig

The subject property is described in the Deed of Transfer No. T27806/2021 as Erf 1015, Stellenbosch.

The Trustees of the Du Toit Family Trust Registration number IT 931/1996 are the registered owners of the subject property.

The subject property is 1267 m² in extent.

3. Development proposal

The landowner wishes to convert the existing dwelling into a 2-dwelling configuration on the subject property. Layout Plans indicating the proposed floor layout plans are attached to this submission.

Once the land use planning application has been approved, a formal building plan for the 2nd dwelling will be submitted to Council for approval.

4. Motivation for the removal of the restrictive title conditions

The removal of restrictive title conditions is motivated as follows:

- Title deed search

A title deed search was undertaken by Hennie Van Rooyen Attorneys. According to their attached Conveyancer Certificate there are title conditions that will restrict the proposed development of a 2nd dwelling. These restrictive title conditions, namely title conditions numbers E.(iii)(b) – (d), will have to be removed. For this reason, application is made for the removal of these restrictive title conditions.

- Reasons to remove the title conditions

All of the above mentioned restrictive title conditions will have to be removed in order to allow the landowner to implement the proposed plan layouts attached to the submission on the subject property, that complies with the permissible land uses and development rules of the Stellenbosch Municipality's Zoning Scheme By-Law (2019).

The title restrictions were imposed due to an absence of a municipal zoning scheme, with the proclamation of the Dalsig Township in 1950. In 2019, the Council has adopted the Stellenbosch Municipality Zoning Scheme Regulations (2019) that details all the land uses and development rules for each zoning. Therefore the township establishment development rules (as listed

above) have become obsolete and has been replaced by the new Stellenbosch Zoning Scheme Regulations (2019). In order for the subject property to properly utilise the new Stellenbosch Zoning Scheme Regulations all historic township establishment development rules and title conditions must be removed.

- Benefits of removing outdated title deed restrictions

In order for the new zoning conditions of 2019 to be implemented, Restrictive Title Deed conditions will have to be removed.

The Stellenbosch Zoning Scheme Regulations (2019) have become the governing statutory document and has replaced the township development parameters contained in the subject property's title deed. The removal of these restrictive title conditions will remove any future confusion pertaining to the subject property's development rights and parameters.

5. Motivation for a 2nd dwelling

Application is made for a technical approval (for an additional use) to permit the development of a 2nd dwelling on the subject property. This application is motivated as follows:

- The Stellenbosch Municipality has identified the need to densify Stellenbosch. However, it is still important that the densification of the town's urban areas is consistent with the municipal spatial planning policies and regulations. To this end, the proposed 2nd dwelling is consistent with the recommendations of the draft Stellenbosch Densification Strategy (2001). In 2001 the Stellenbosch Municipality

appointed a planning consultant to “prepare a densification strategy that will give pragmatic meaning to achieving the vision and objectives for a more compact urban form of development for the town of Stellenbosch”. According to their report subdivisions and 2nd dwellings should be promoted in Dalsig – see Figure 3 below:

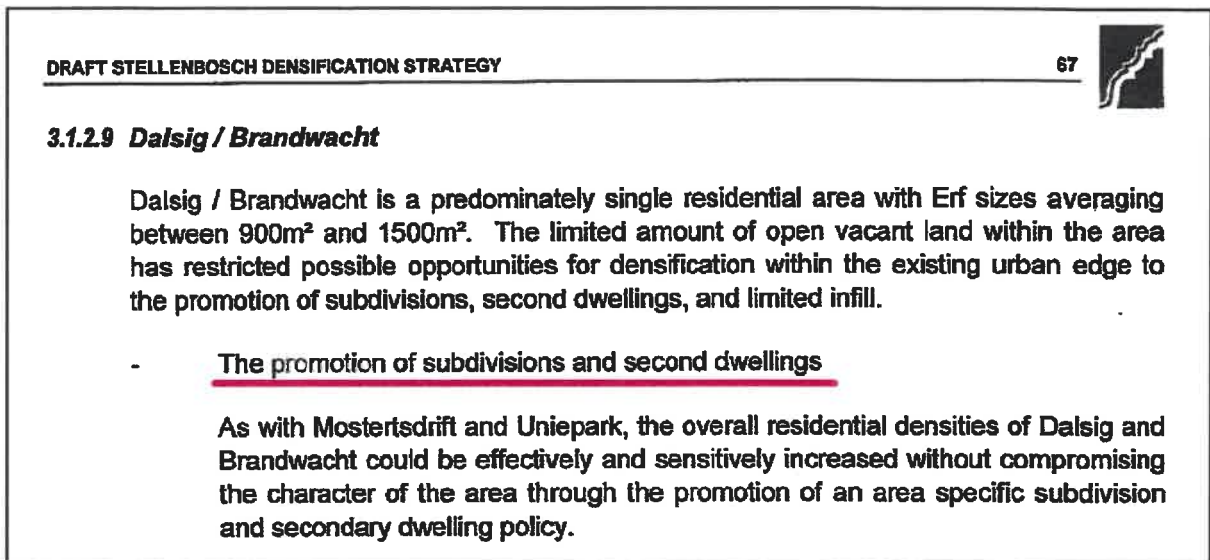


Figure 3: Extract of the draft Stellenbosch Densification Strategy (2001)

- The subject property is zoned i.t.o. the Stellenbosch Municipality’s Zoning Scheme By-Law, 2019 Conventional Residential Zone. According to the Zoning Scheme By-Law, the purpose of this Zone is to inter alia “make provision for moderate densification through additional dwellings of similar built form and character”. This land use planning application – to develop a 2nd dwelling – supports the purpose of the Conventional Residential Zone.
- This vision for the densification of Stellenbosch is also reflected by the Stellenbosch Municipal Spatial Development Framework (MSDF) which states, “dwelling densities have increased in Stellenbosch, but are still significantly lower than the targeted density of set in planning policies and studies of 25du/ha”. The MSDF advocates the densification of Stellenbosch in order to protect the rural and agricultural hinterland. It is the MSDF’s aim to increase the town’s residential density to ±25du/ha and the ways to densify is via the recommendations of the relevant spatial planning policies and regulations, such as the draft Stellenbosch Densification Strategy (2001), the Stellenbosch Subdivision Policy (2003), the Stellenbosch Municipality Zoning Scheme By-Law (2019) and the Adam Tas Corridor Project (2022). In order to

achieve this vision of 25du/ha Council must approve the subdivisions of large erven and the construction of 2nd dwellings on residential erven.

- The 2nd dwelling development proposal – to sensibly densify Dalsig – is therefore consistent with the Stellenbosch Municipality’s densification vision and spatial planning policies and regulations and should be supported by the Town Planning Department.

6. Motivation for the relaxation of the street building line

Application is made for the relaxation of the street building line from 4m to 3m to accommodate the proposed building alterations – see Figure 7.1 and 7.2 below.

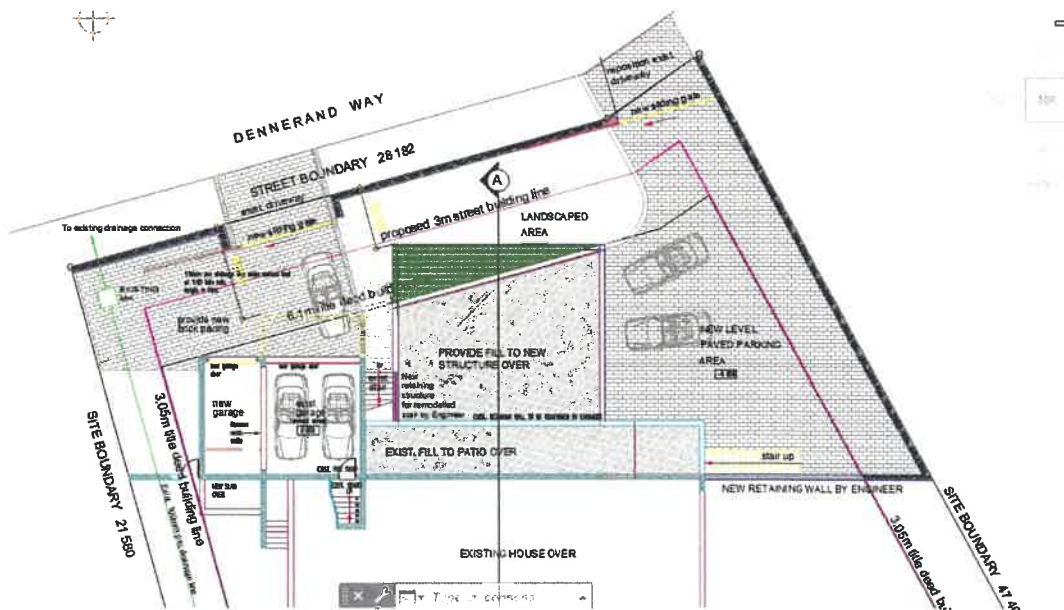


Figure 7.1: Proposed street building line encroachment: Lower Ground Floor

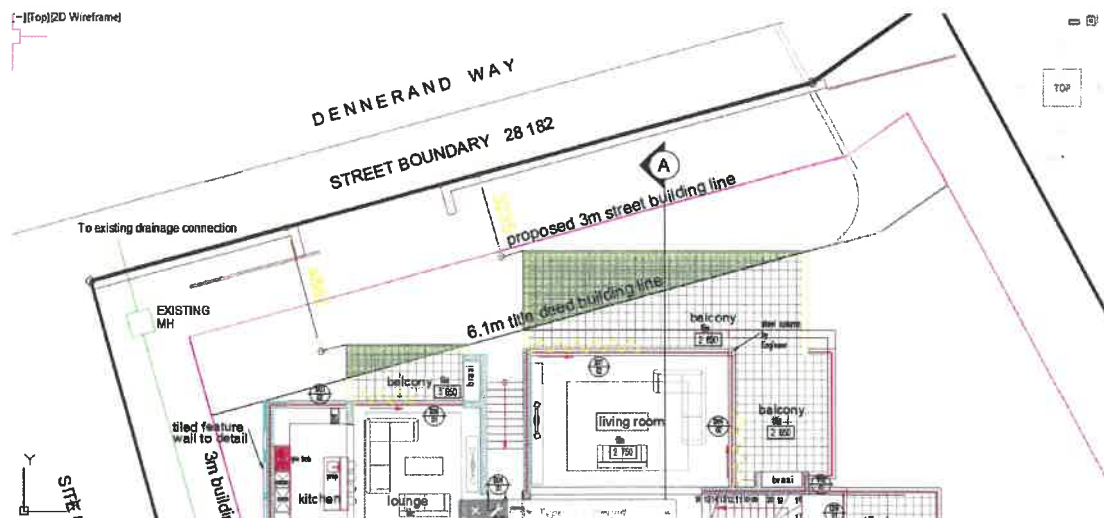


Figure 7.2: Proposed street building line encroachment: Lower Ground Floor

On the Lower Ground Floor Level:

Due to the slope of the existing ground level to the street, the proposed building alteration is of the new dwelling is split into a Lower Ground Storey which is accessible from the street, and an Upper Ground Storey, which is accessible from the back yard.

Due to the diagonal street boundary line of Dennerand Road with the orientation of the existing dwelling, the space to construct a practical, square new double garage on the street side, would be seriously impeded due to the existing 6.1m Title Deed building line, as well as the 4m street building line of the Zoning Scheme.

Application is therefore made to allow for a relaxation of the street boundary building line from 4m (Stellenbosch zoning scheme) or 6.1m (Title Deed restriction E (iii) (d)) to allow for the construction of a portion of the square garage up to 3.2m distance to the street boundary.

On the Upper Ground Floor Level:

The permission to allow for the construction of the double garage portion would form a balcony to the Living Room on the Upper Ground Floor Level, which would be a big improvement on the diagonal line the current 6.1m building line is enforcing on the house plan. The ability to form square balconies would create a more rational design solution for the house form, and depart from the unusual diagonal shaped balconies due to the current building line restrictions. (See figure 7.3)

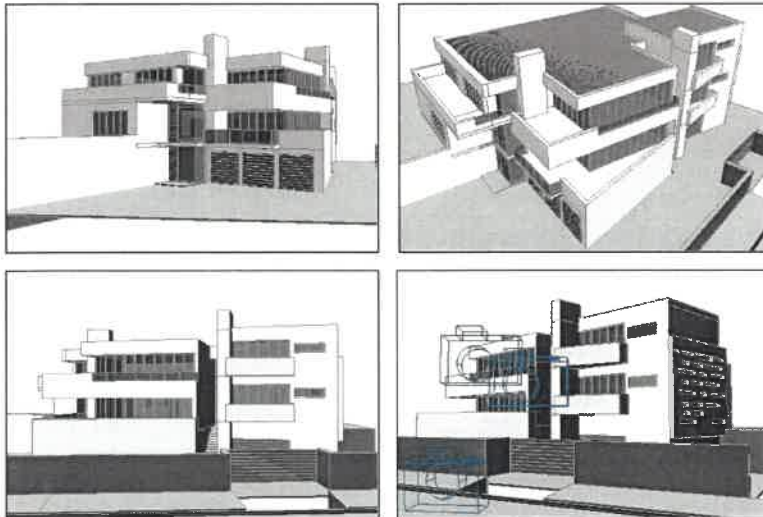


Figure 7.3: Impact of diagonal street building line on the design proposal

As the images show, the impact of the diagonal street building line, results in a portion of the buildings being - cut off towards the Western boundary. Permission to allow the encroachment of the street building line, would facilitate a square building, with functional Garage on the Lower Ground Floor, a square, functional balcony for the Living Room on the Upper Ground Floor, and a square, functional balcony for the Lounge of the Second Dwelling on the Upper Ground Floor Level.

The proposal includes a built upstand balcony on the street boundary, in lieu of an open balustrade, to mitigate the loss of privacy that may occur from the street level. Due to the sloping nature of the existing site level, Dennerand Street is placed at a lower level, which would mean that the plastered balustrade walls to the balconies would not have any privacy issues from the road side.

7. List of supporting documents

Find attached hereto the following supporting documents:

- **Section A:** Land Use Planning Application Form
- **Section B:** Power of Attorney
- **Section C:** Title Deed and General Plan
- **Section D:** Conveyancer Certificate
- **Section E:** Locality Plan and Site Development Plan

8. Conclusion

The purpose of this land use planning application is to obtain the Stellenbosch Municipality's planning approval for the removal of outdated and restrictive title conditions, a technical approval for a 2nd dwelling and for the relaxation of the street building line. This will allow the landowner to construct a second dwelling on the subject property which is already permissible i.t.o. the erf's zoning (i.e. a second dwelling is a permissible additional land use). The impact of a second dwelling is deemed to be desirable and will contribute to the sensible densification of Stellenbosch.

The 2nd dwelling development proposal is consistent with Council's spatial planning policies (for densification). There is a need for new residential opportunities in Stellenbosch, and this development proposal will not undermine the single residential character of the area but will support Council's vision for the sensible densification of urban areas in Stellenbosch. For this reason, we deem this densification development proposal to be desirable and we respectfully request the application be granted.

We trust the information provided will suffice in processing the land use planning application. However, feel free to contact the undersigned at 021 787 0800 or martin.geringer@falsebay.org.za if you have any queries or require any additional information in order to process the application.

Yours faithfully



Martin Geringer

KINDLY NOTE:

1. The POE may only be submitted once all relevant municipal departments and organs of state have submitted their comment, inclusive of the applicant's written reply thereto.
2. When any comments have been discussed or amended terms negotiated with the relevant commenting entity, the amended comments and the applicant's written reply thereto must be attached to the POE.
3. The decision-making period will only commence after receipt and confirmation of a complete POE in accordance with section 57 of the Bylaw.

COMPLETE AND SIGN THE FOLLOWING DECLARATION


DECLARATION

I, (full names & surname) ETIENNE DU TOIT

and ID No: 69 01 12 5019 086, as the Applicant for the above application, hereby confirms:

- 1) the public participation process for the subject application was duly undertaken in accordance with the instruction for such process and the associated requirements stipulated in the Stellenbosch Municipal Land Use Planning Bylaw;
- 2) the information contained in the above checklist and the accompanied information and documentation in the Portfolio of Evidence for the concluded public participation process, are accurate and complete; and
- 3) the personal information (e.g. name, address, contact details) of interested and affected parties as supplied by the Municipality was only used for official municipal communication matters with reference to the Protection of Personal Information Act 4 of 2013 (POPI).

Duly signed on _____ at Stellenbosch
Date Place



 Signature

<i>For office use only</i>	
CHECKED BY ADMINISTRATIVE OFFICER	
CHECKED BY TOWN PLANNER	
DATE VERIFIED	

NOTES TO BE RECORDED: