



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/14070

Our File Reference Number: Farm 489/4, Stellenbosch

Your Reference Number: None

Enquiries: Ulrich von Molendorff

Contact No: 021 – 808 8682

Email address: Ulrich.Vonmolendorff@stellenbosch.gov.za

PER E-MAIL: [REDACTED]

Sir / Madam

APPLICATION FOR A CONSENT USE ON FARM 489/4, STELLENBOSCH DIVISION

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:
 - 2.1 That the application in terms of Section 15(2)(O) of the Stellenbosch Municipal Land Use Planning Bylaw, promulgated by notice number 8768/2023, dated 9 June 2023 for a Consent Use to allow for the development of a tourist accommodation establishment on Portion 4 of Farm 489, Stellenbosch.

BE APPROVED in terms of Section 60 of the said Bylaw and subject to conditions of approval.
3. **The approval is subject to the following conditions imposed in terms of Section 66 of said By law:**
 - 3.1 The approval only applies to the proposed consent use under consideration and shall not be construed as authority to depart from any other legal prescriptions or requirements from Council or other legislation or Bylaws or Regulations that may be applicable.
 - 3.2 The tourist facility be limited to 7 rooms or 14 guests in the buildings indicated on Site Development Plan, No: 4/489-2022, dated 01-11-2023, Pages 1 to 4, attached as **Annexure B.**

- 3.3 The approval granted shall not exempt the applicant from complying with any other legal prescriptions or requirements that might have a bearing on the proposed use.
- 3.4 Building plans must be generally in accordance with the Site Development Plan, No: 4/489-2022, dated 01-11-2023, Pages 1 to 4, attached as **Annexure B**.
- 3.5 Building plans be submitted and approved by the Municipality prior to the commencing of any building works, including the preparation of land, which will only be approved when all relevant (or qualified) conditions of approval have been complied with.
- 3.6 Development charges are payable in accordance with the prevailing and applicable Council Tariffs at the time of payment prior to the transfer of the first property or approval of any building plans, whichever occurs first, or as may be agreed on in writing with the Director Infrastructure Services.
- 3.7 Should the full extent of permissible development rights, as approved herein-above, not be implemented initially, a pro rata Development Charge will be levied in accordance with the extent to which the development rights will be implemented, provided that the remaining development charges will be levied for the remaining permissible development rights when implemented in future.
- 3.8 The conditions imposed by the Directorate Infrastructure Services as contained in the memorandum dated 22 September 2022 and attached as **Annexure E**, be complied with.

4. The reasons for the above decision are as follows:

- 4.1 The proposal will allow the optimal use of the existing buildings and infrastructure located on the subject property without having an impact on the existing agricultural activities taking place on the subject property.
- 4.2 The additional accommodation facilities will have a small impact on the current traffic volumes in the area due to the scale of the proposal and the adhoc nature of the activity.
- 4.3 The Stellenbosch MSDP promotes the use of existing buildings on agricultural properties for tourist related uses.

5. Matters to be noted:

5.1 Building plans be approved by the Municipality prior to any building work commencing.

5.2 All electrical requirements be directed to Eskom.

6. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.

7. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:

(a) The personal particulars of the Appellant, including:

- (I) First names and surname;
- (II) ID number;
- (III) Company of Legal person's name (if applicable)
- (IV) Physical Address;
- (V) Contact details, including a Cell number and E-Mail address;

(b) Reference to this correspondence and the relevant property details on which the appeal is submitted.

(c) The grounds of the appeal which may include the following grounds:

- (i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);
- (ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.

(d) whether the appeal is lodged against the whole decision or a part of the decision;

(e) if the appeal is lodged against a part of the decision, a description of the part;

(f) if the appeal is lodged against a condition of approval, a description of the condition;


- (g) the factual or legal findings that the appellant relies on;
- (h) the relief sought by the appellant; and
- (i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;
- (j) That the appeal includes the following declaration by the Appellant:
 - (i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
 - (ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.

8. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of e-mail at the following address: landuse.appeals@stellenbosch.gov.za
9. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The LU Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.
10. The approved tariff structure and the banking details for the General Account can be accessed and viewed on the municipal website. For any enquiries the office can be contacted at landuse.appeals@stellenbosch.gov.za
11. An applicant who lodges an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
 - (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
 - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
 - (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
 - (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.

12. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

13. Kindly note the above decision in the case of any approval, is suspended, and may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

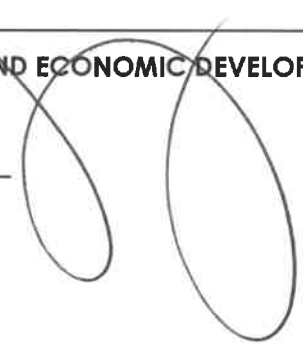
Yours faithfully



FOR: DIRECTOR PLANNING AND ECONOMIC DEVELOPMENT

29/1/2024

DATE:

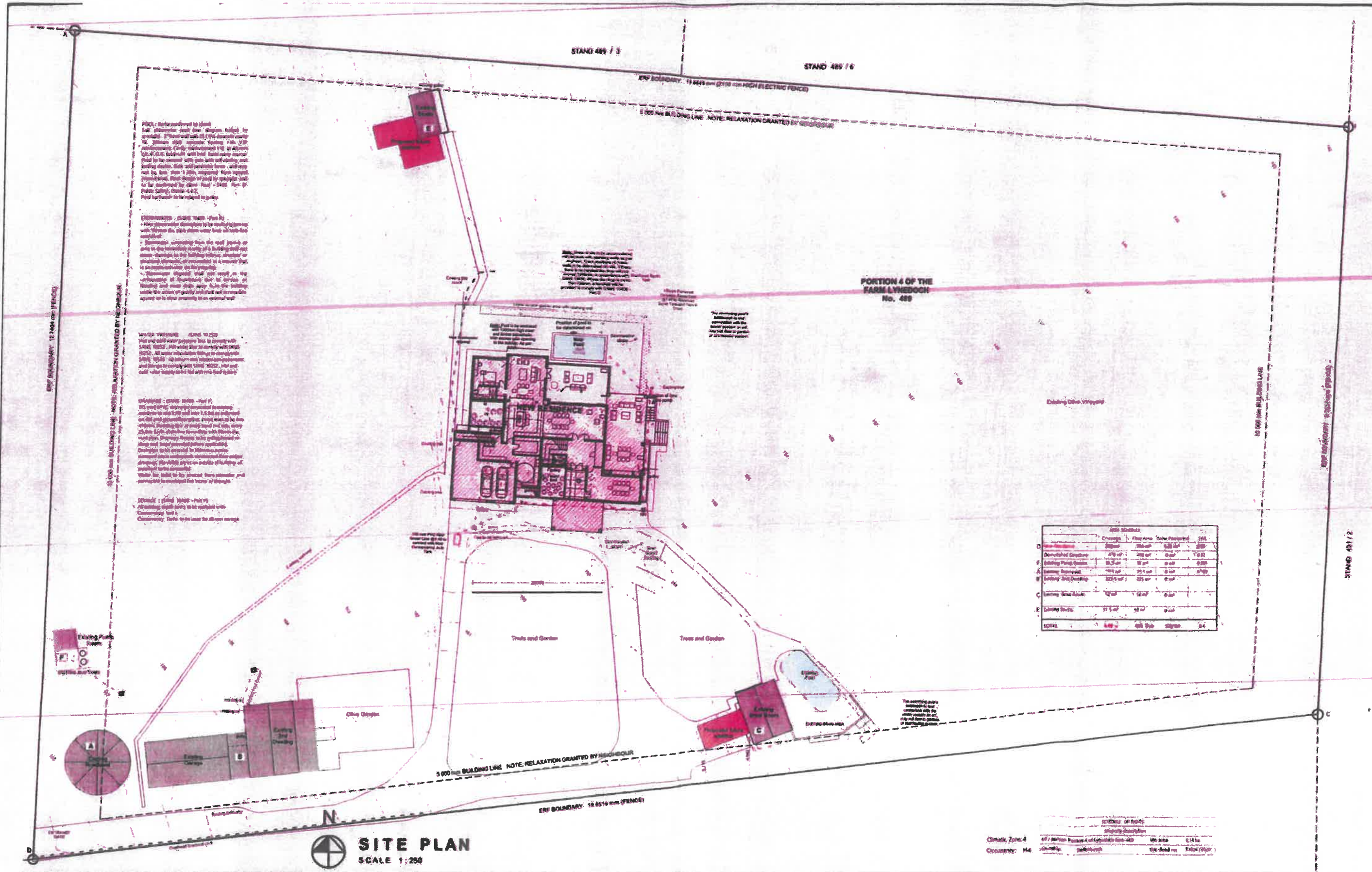




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ANNEXURE B



POOL: Refer to drawing 489/3-2022-001 for details. The pool is to be constructed in the rear garden area of the property. It is to be a rectangular pool with a depth of 1.2m. The pool is to be constructed with a concrete base and a tiled finish. The pool is to be surrounded by a concrete deck. The pool is to be connected to the main water supply. The pool is to be covered by a concrete slab. The pool is to be surrounded by a concrete wall. The pool is to be surrounded by a concrete wall. The pool is to be surrounded by a concrete wall.

CONCRETE: (SANS 10400 - Part 1)
 All concrete to be cast in accordance with SANS 10400 - Part 1. All concrete to be cast in accordance with SANS 10400 - Part 1. All concrete to be cast in accordance with SANS 10400 - Part 1. All concrete to be cast in accordance with SANS 10400 - Part 1. All concrete to be cast in accordance with SANS 10400 - Part 1. All concrete to be cast in accordance with SANS 10400 - Part 1. All concrete to be cast in accordance with SANS 10400 - Part 1. All concrete to be cast in accordance with SANS 10400 - Part 1.

WATER: (SANS 10400 - Part 2)
 Hot and cold water supply to be in compliance with SANS 10400 - Part 2. Hot and cold water supply to be in compliance with SANS 10400 - Part 2. Hot and cold water supply to be in compliance with SANS 10400 - Part 2. Hot and cold water supply to be in compliance with SANS 10400 - Part 2. Hot and cold water supply to be in compliance with SANS 10400 - Part 2. Hot and cold water supply to be in compliance with SANS 10400 - Part 2. Hot and cold water supply to be in compliance with SANS 10400 - Part 2. Hot and cold water supply to be in compliance with SANS 10400 - Part 2.

LANDSCAPE: (SANS 10400 - Part 3)
 All landscaping to be in accordance with SANS 10400 - Part 3. All landscaping to be in accordance with SANS 10400 - Part 3. All landscaping to be in accordance with SANS 10400 - Part 3. All landscaping to be in accordance with SANS 10400 - Part 3. All landscaping to be in accordance with SANS 10400 - Part 3. All landscaping to be in accordance with SANS 10400 - Part 3. All landscaping to be in accordance with SANS 10400 - Part 3. All landscaping to be in accordance with SANS 10400 - Part 3.

SOIL: (SANS 10400 - Part 4)
 All soil to be in accordance with SANS 10400 - Part 4. All soil to be in accordance with SANS 10400 - Part 4. All soil to be in accordance with SANS 10400 - Part 4. All soil to be in accordance with SANS 10400 - Part 4. All soil to be in accordance with SANS 10400 - Part 4. All soil to be in accordance with SANS 10400 - Part 4. All soil to be in accordance with SANS 10400 - Part 4. All soil to be in accordance with SANS 10400 - Part 4.

Item	Description	Quantity	Unit	Value
D	Demolished Structure	170 m ²	0.00	0.00
F	Building Floor Slab	11.5 m ²	0.00	0.00
A	Building Structure	11.5 m ²	0.00	0.00
B	Building Roof Decking	11.5 m ²	0.00	0.00
C	Building Wall Masonry	11.5 m ²	0.00	0.00
E	Building Slab	11.5 m ²	0.00	0.00
TOTAL				0.00

SITE PLAN
 SCALE 1:250

Climate Zone: 4
 Occupancy: H4
 Wind Speed: 0.14 m/s
 Snow Load: 0.00 kN/m²

reinier brönn
 ARCHITECTS

14 Sand LIPS
 1000 West Street, Sandton, Johannesburg 2013
 Tel: +27 (0)11 791 1111
 Fax: +27 (0)11 791 1112
 Email: info@reinierbronn.co.za

NOTES FOR CONTRACTOR:

- PRIOR TO THE COMMENCEMENT OF ANY EXCAVATIONS AND BUILDING ON SITE, ALL MEASUREMENTS AND HEIGHTS MUST BE VERIFIED AND, WHERE APPLICABLE, ADAPTED TO EXISTING BUILDINGS IN CONSULTATION WITH THE OWNER OF THE DRAWING.
- EXCEPT WHERE OTHERWISE INDICATED, ALL GIVEN LEVELS ARE UNFINISHED LEVELS.
- ALL DIMENSIONS ARE INDICATED IN MILLIMETRES AND MUST BE VERIFIED ON SITE. THE DRAWINGS MUST NOT BE COPIED AND THE PRINTED DIMENSIONS MUST BE USED.

- ALL WORK MUST BE DONE ACCORDING TO THE SOUTH AFRICAN BUREAU OF STANDARDS CODE OF PRACTICE SABS 0400-1990.
- REQUIREMENTS OF OTHER CONCERNED AUTHORITIES MUST BE STRICTLY ADHERED TO.
- THE LOCATION OF ALL UNDERGROUND SERVICES ON SITE SHALL REMAIN THE SOLE RESPONSIBILITY OF THE OWNER. IF ANY SUCH SERVICES ARE DAMAGED DURING DIGGING OR TRENCHING OPERATIONS, THE OWNER SHALL BE RESPONSIBLE FOR THE REPAIRS THEREOF TO THE SATISFACTION OF THE CONCERNED AUTHORITY.
- BRICKWORK IS TO BE SET OUT USING A PROFILE MARKED AT FOUR COURSES PER JOINT WHICH EQUALS 85mm COURSES.

- ALL DIMENSIONS INDICATED ON PLAN ARE TO BE SET OUT ON A LEVEL HORIZONTAL PLANE.
- THE CONTRACTOR IS RESPONSIBLE FOR CORRECT SETTING OUT OF BUILDINGS ON SITE WITH PARTICULAR REFERENCE TO ERF BOUNDARIES, BUILDING LINES, CONTOUR INTERVALS AND SERVICES WHERE APPLICABLE.
- THE CONTRACTOR MUST AT ALL TIMES HAVE A MUNICIPAL APPROVED SET OF DRAWINGS ON SITE.
- COPYRIGHT OF THIS DOCUMENT IS STRICTLY RESERVED BY THE AUTHOR THEREOF. IF IN DOUBT ASK.

Rev	Date	By	Description
1			

Drawing Title: **SITE PLAN REVISED DRAWING**

Project: **PROPOSED ADDITIONS & ALTERATIONS TO EXISTING RESIDENCE, FARM 489/3 LYNDENBOCK, BULEMBOSCH**

Area: **Existing New Const. Total Area**

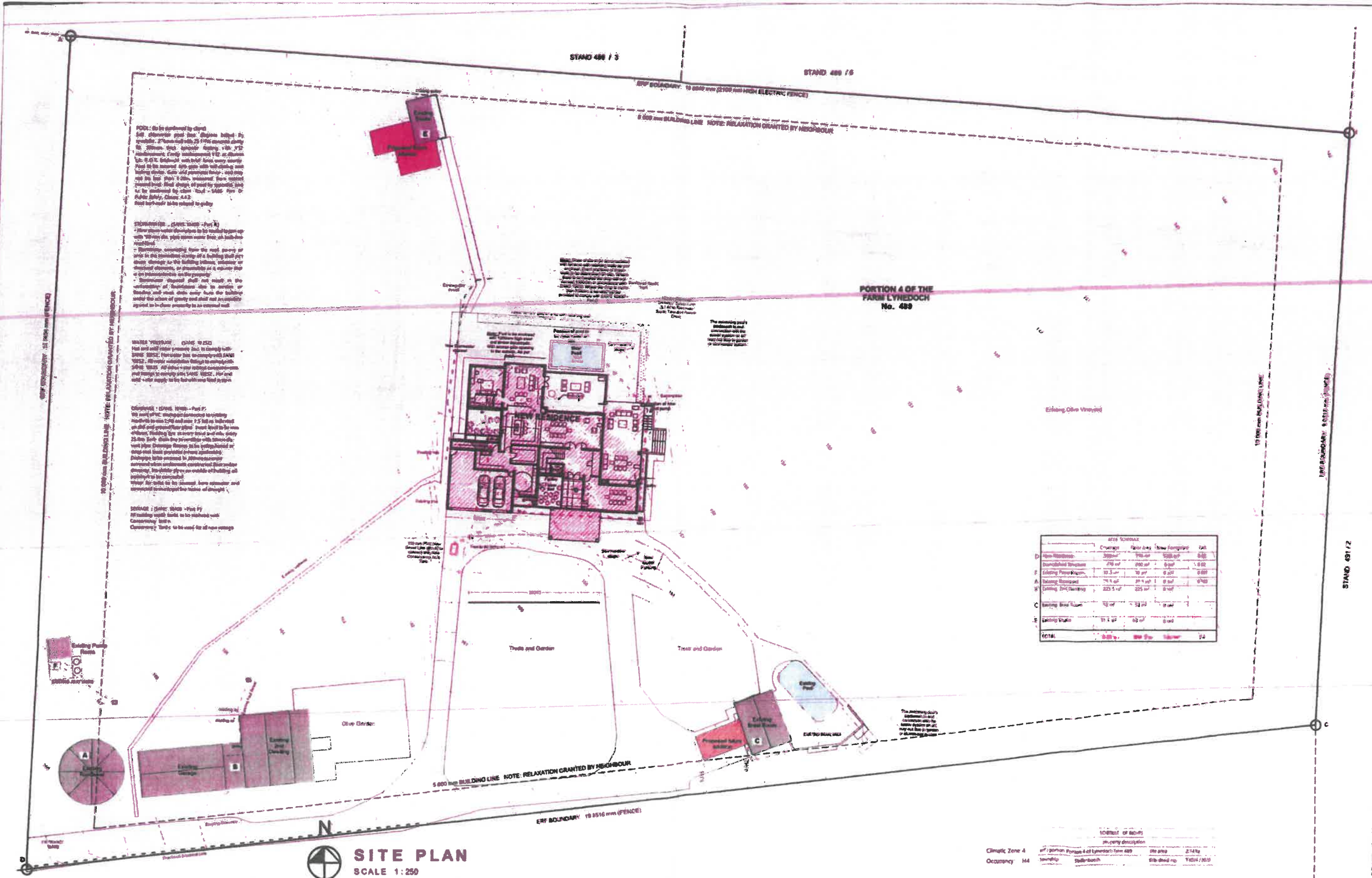
PLACE OF GRACE FARM

Client: **DEWAM**

Architect: **RJB**

Date: **2022/05/20**

Revision: **01**



PODS: (to be approved by client)
 The structure shall be designed to be...
 The structure shall be designed to be...
 The structure shall be designed to be...

CONSTRUCTION: (SEE SPEC - Part 1)
 The structure shall be constructed...
 The structure shall be constructed...
 The structure shall be constructed...

WATER TREATMENT: (SEE SPEC - Part 2)
 The water treatment system shall be...
 The water treatment system shall be...
 The water treatment system shall be...

LANDSCAPE: (SEE SPEC - Part 3)
 The landscape shall be designed...
 The landscape shall be designed...
 The landscape shall be designed...

DRIVEWAY: (SEE SPEC - Part 4)
 The driveway shall be constructed...
 The driveway shall be constructed...
 The driveway shall be constructed...

ITEM	DESCRIPTION	AREA (sqm)	VOLUME (m³)	UNIT PRICE (R)	TOTAL (R)
1	Foundation	100	100	1000	100000
2	Structure	200	200	2000	400000
3	Roofing	100	100	1000	100000
4	Interior	100	100	1000	100000
5	Exterior	100	100	1000	100000
6	Landscaping	100	100	1000	100000
7	Driveway	100	100	1000	100000
8	Water Treatment	100	100	1000	100000
9	Other	100	100	1000	100000
TOTAL					1000000

SITE PLAN
 SCALE 1:250

Climatic Zone 4
 Occupancy H4
 SITE PLAN
 REVISED DRAWING

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 ARCHITECTS

14 Bona, 10th Floor
 2191 Sandton, Johannesburg, 2191
 Tel: +27 (0)11 791 1111
 Fax: +27 (0)11 791 1112
 Email: info@reinierbronn.co.za

IMPORTANT NOTES FOR CONTRACTOR:

- PRIOR TO THE COMMENCEMENT OF ANY EXCAVATIONS AND BUILDING ON SITE, ALL MEASUREMENTS AND HEIGHTS MUST BE VERIFIED AND, WHERE APPLICABLE, ADAPTED TO EXISTING BUILDINGS IN CONSULTATION WITH THE COMPILER OF THIS DRAWING.
- EXCEPT WHERE OTHERWISE INDICATED, ALL GIVEN LEVELS ARE UNFINISHED LEVELS.
- ALL DIMENSIONS ARE INDICATED IN MILLIMETRES AND MUST BE VERIFIED ON SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.

- ALL WORK MUST BE DONE ACCORDING TO THE SOUTH AFRICAN BUREAU OF STANDARDS CODE OF PRACTICE SABS 0104-2011.
- REQUIREMENTS OF OTHER CONCERNED AUTHORITIES MUST BE STRICTLY ADHERED TO.
- THE LOCATION OF ALL UNDERGROUND SERVICES ON SITE SHALL REMAIN THE SOLE RESPONSIBILITY OF THE OWNER. IF ANY SUCH SERVICES IS DAMAGED DURING DIGGING OR TRENCHING OPERATIONS, THE OWNER SHALL BE RESPONSIBLE FOR THE REPAIRS THEREOF TO THE SATISFACTION OF THE CONCERNED AUTHORITY.
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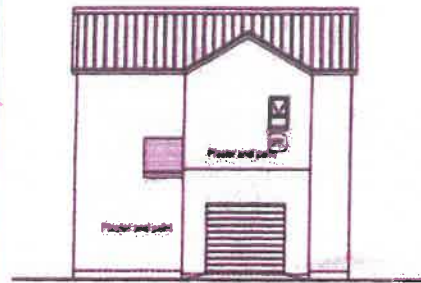
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NO.	DATE	BY	DESCRIPTION

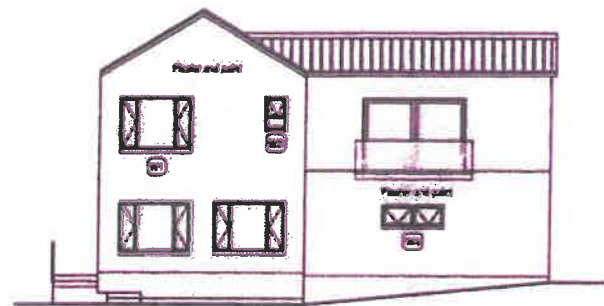
Drawing Title: SITE PLAN REVISED DRAWING
 Project: PROPOSED ADDITIONS & ALTERATIONS TO EXISTING RESIDENCE, FARM 489/14 LYNEDOCH, SIELENDORCH
 Client: PLACE OF GRACE FARM

Client: PLACE OF GRACE FARM
 Date: 2022/05/20
 Drawing no: TELONG/2022/01

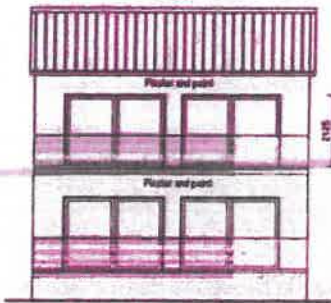
Scale: 1:250
 Date: 2022/05/20
 Checked: RJD
 Drawn: DEWAN



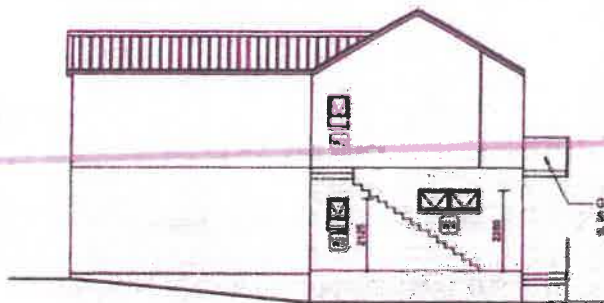
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Scale 1:100



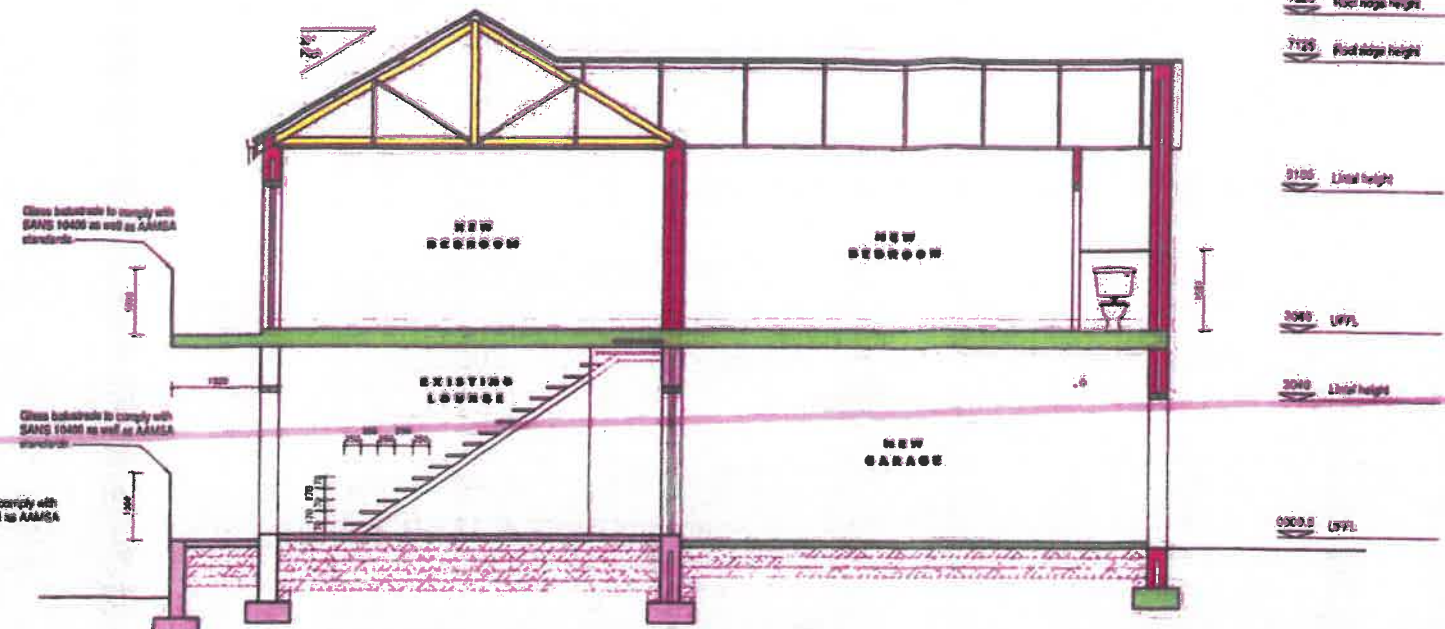
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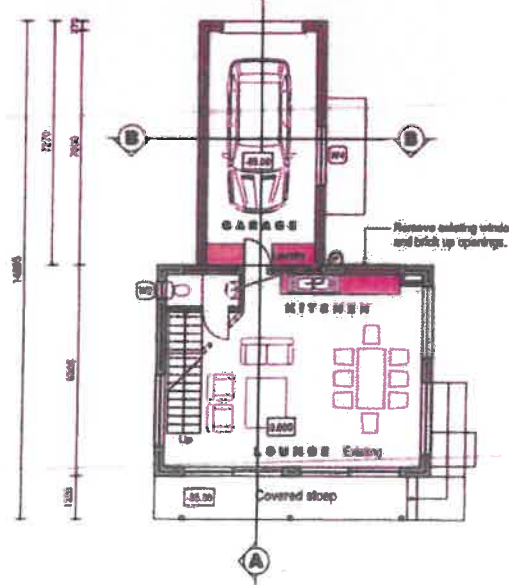
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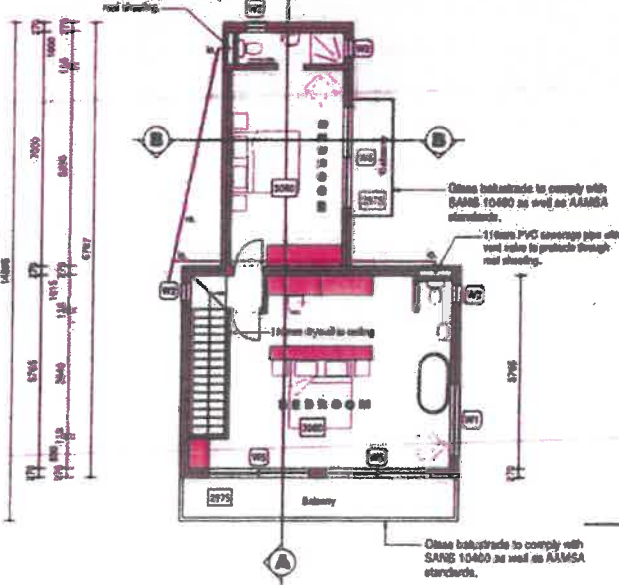
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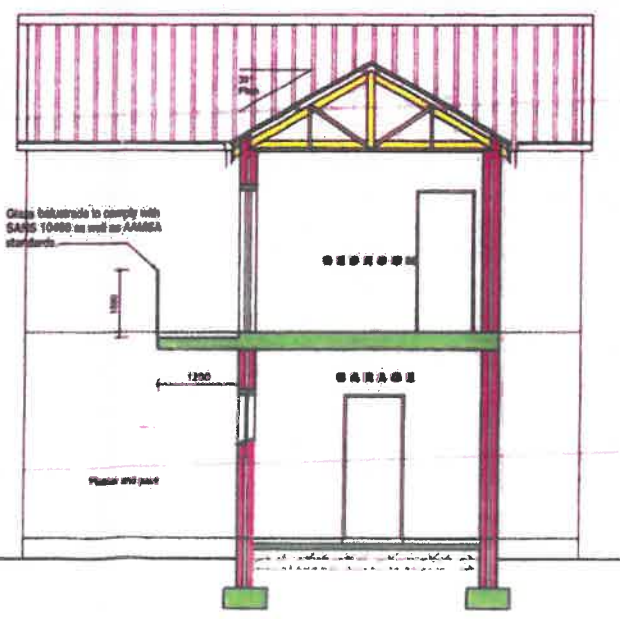
SECTION AA
Scale 1:50



EXISTING COTTAGE C
GROUND FLOOR PLAN
Scale 1:100



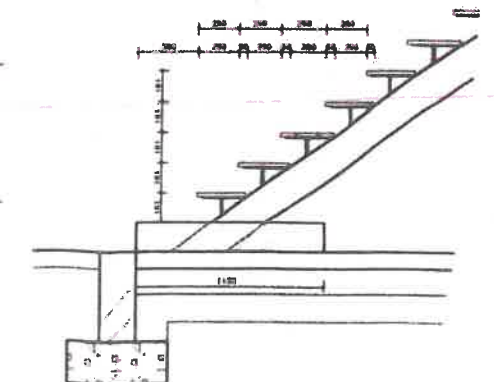
EXISTING COTTAGE C
FIRST FLOOR PLAN
Scale 1:100



SECTION BB
Scale 1:50



DETAIL
Scale 1:5



ELEVATION
Scale 1:20

reimier brunn
architects / architects
S. Arch. LEP
141 van der SA Boulevard van Arnhem
Member of the SA Institute of Architects
GACAP Membership no. 2000
1 Kestel Street, Waverley, Johannesburg.

BELANGRIJKE NOTAS VIR KONTRAKTEUR:
- ALLE MATES EN HOOGTES MOET OP TERREIN GEDENTRIFLEER WORD VOORDAT MET OORSGROND OF SKOONHEID GEBOD WORD. INDIEN MOET NIET MATES AANSPREK WARD MET BESTAANDE GEBODE IN OORSGROND EN OORSGROND WARD MET DIE OPSTELLER VAN INDIEN VERBOD.
- BOUWLINE WARD, RIGIDITEIT AANGEGEWE EN ALLE AANGEGEWE VLOERPLAAS, VERTIKALE HOOGTES EN HORIZONTALITEIT, ONAFHANGIGE VLAAS.
- ALLE AFMETINGS OETOOM IS IN MILLIMETER EN MOET OP TERREIN GEDENTRIFLEER WORD. DIE TEKENING MAG NIE GEMAAK WORD NIE EN GLEES GEDRUKTE AFMETINGS MOET GEBRUIK WORD.

- ALLE WERK MOET GEDEN WORD VOLGENS DIE BUD-APPASIONE BUD VOOR STAMBOUW EN GEDRUKTE BUD 2000-2000.
- VOORSKRIFTE VAN ALLE WERKMOET MOET STYND HADENOM WORD.
- DIE POSISIE VAN ALLE ONOPHOORDE DEWETE IS DIE VERANTWOORDELIHEID VAN DIE EENWAL, INDIEN SALME DEWETE BESKADIG WORD INDIEN WERKMOET OP OORSGROND DIE SKOONHEID, SAL DIE EENWAL VERANTWOORDELIHEID WARD VAN DIE HERTIE, DAARVAN TOT SKOONHEID VAN DIE BETROKKE OORSGROND. BASTEENWERK MOET UITGEF WORD MET N PROFEL GEMAK MET WER STEENLAE VIR ELKE 240mm WAT GELYKSTANDE IS AAN 85mm STEENLAE.

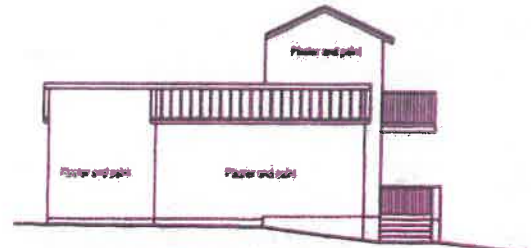
- ALLE AFMETINGS OETOOM OP PLAN MOET UGESH WORD OP 'N HORIZONTALIS WATSKOONHEID.
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- DIE SKOONHEID MOET TY ALE TYE 'N MUNISIPALE STD. OORSGROND PLANS OP TERREIN IS.
- DIE KONKRETE VAN WERK TEKENING WARD BY DIE OPSTELLER DAARVAN, TONST ANDERS AANGEGEWE.

no	date	by	description
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2			
3			
4			

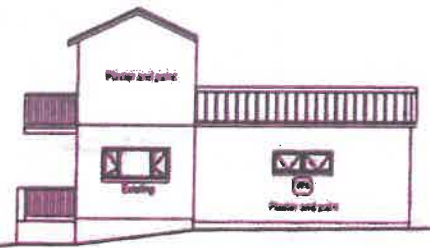
Client:
Name:
PLACE OF GRACE FARMS

Area	Oppervlakte	Unit
Est. Geboue		m ²
Aanwagings		m ²
Totale Deuring		m ²

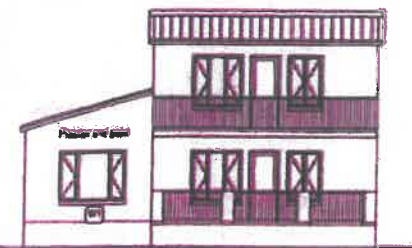
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COTTAGE C	AS SHOWN	Relier
Project:	Date:	Checked:
PROPOSED ADDITIONS AND ALTERATIONS TO EXISTING RESIDENCE, FARM 489/4 LYNDENHURST, STELLENBOSCH	2021-08-03	ph
Revision no:	Drawing no:	Herstelding:
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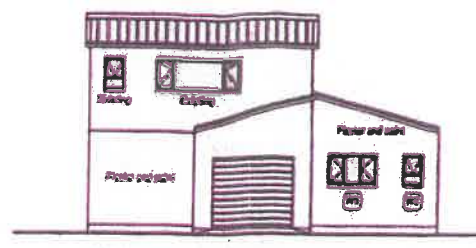
SOUTH ELEVATION
Scale 1:100



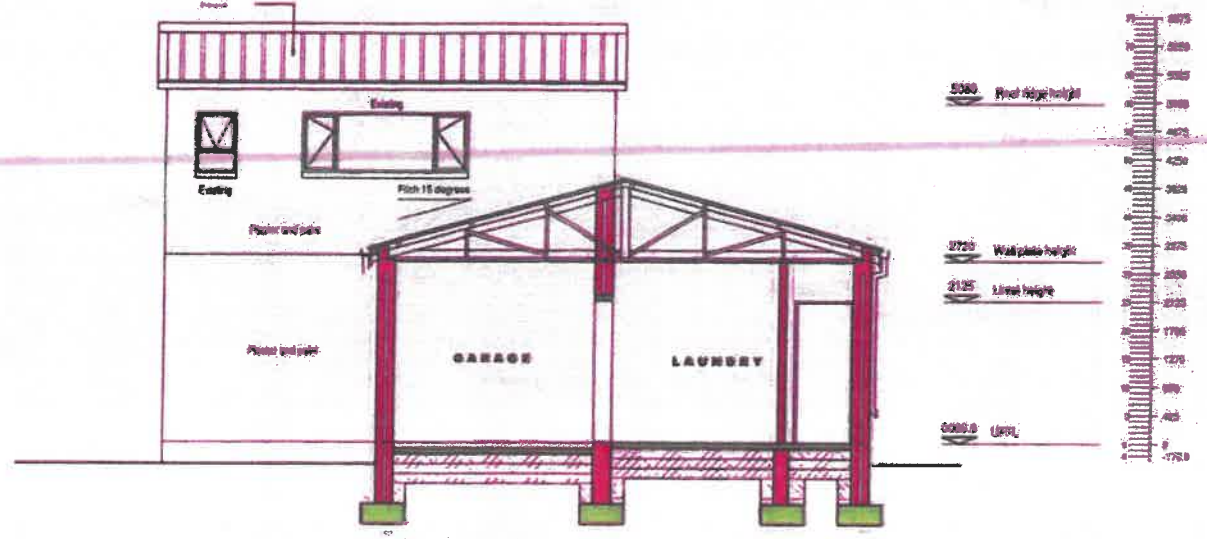
NORTH ELEVATION
Scale 1:100



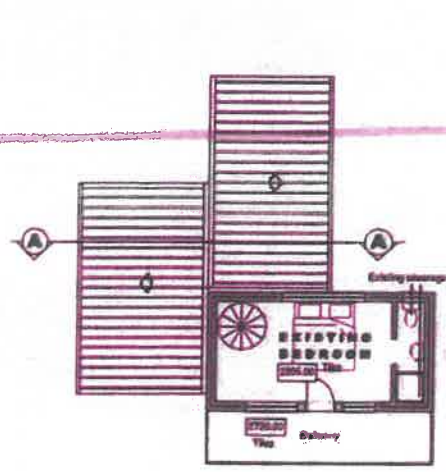
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Scale 1:100



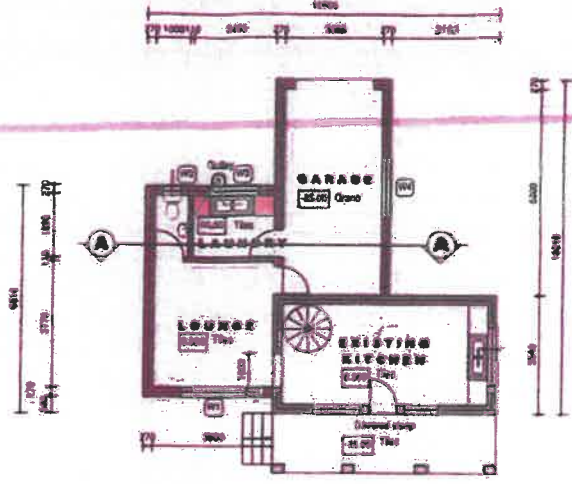
WEST ELEVATION
Scale 1:100



SECTION AA
Scale 1:50



**STUDIO E
FIRST FLOOR PLAN**
Scale 1:100



**STUDIO E
GROUND FLOOR PLAN**
Scale 1:100

SCHEDULE: WINDOWS Scale 1:50					
NUMBER ON PLAN	W1	W2	W3	W4	W5
QUANTITY	1	1	1	1	2
PROFILE	Purpose made aluminium window to comply with Minimum ANZS Standards, NOT Coated window. Outer Frame: -485 HRC/AF, Mullion / Transoms: -485 HRC/AF Inner Frame: -485 HRC/AF, Sashes: -485 HRC/AF	Purpose made aluminium window to comply with Minimum ANZS Standards, NOT Coated window. Outer Frame: -485 HRC/AF, Mullion / Transoms: -485 HRC/AF Inner Frame: -485 HRC/AF, Sashes: -485 HRC/AF	Purpose made aluminium window to comply with Minimum ANZS Standards, NOT Coated window. Outer Frame: -485 HRC/AF, Mullion / Transoms: -485 HRC/AF Inner Frame: -485 HRC/AF, Sashes: -485 HRC/AF	Purpose made aluminium window to comply with Minimum ANZS Standards, NOT Coated window. Outer Frame: -485 HRC/AF, Mullion / Transoms: -485 HRC/AF Inner Frame: -485 HRC/AF, Sashes: -485 HRC/AF	Purpose made aluminium SLIDING DOOR to comply with Minimum ANZS Standards, NOT Coated window. Outer Frame: -485 HRC/AF, Mullion / Transoms: -485 HRC/AF Inner Frame: -485 HRC/AF, Sashes: -485 HRC/AF
FINISH	White Powder Coated.	White Powder Coated.	White Powder Coated.	White Powder Coated.	White Powder Coated.
GLAZING	6.38mm LAMINATED SAFETY GLASS. FROSTED GLASS FOR BATHROOMS ON GROUND FLOOR ONLY.	6.38mm LAMINATED SAFETY GLASS. FROSTED GLASS FOR BATHROOMS ON GROUND FLOOR ONLY.	6.38mm LAMINATED SAFETY GLASS. FROSTED GLASS FOR BATHROOMS ON GROUND FLOOR ONLY.	6.38mm LAMINATED SAFETY GLASS. FROSTED GLASS FOR BATHROOMS ON GROUND FLOOR ONLY.	6.38mm LAMINATED CLEAR SAFETY GLASS.
GENERAL	SEAL ALLROUND WITH COLOUR MATCHED SILICON.	SEAL ALLROUND WITH COLOUR MATCHED SILICON.	SEAL ALLROUND WITH COLOUR MATCHED SILICON.	SEAL ALLROUND WITH COLOUR MATCHED SILICON.	SEAL ALLROUND WITH COLOUR MATCHED SILICON.
FURNITURE	CLOSING MECHANISM AS PER MANUFACTURER	CLOSING MECHANISM AS PER MANUFACTURER	CLOSING MECHANISM AS PER MANUFACTURER	CLOSING MECHANISM AS PER MANUFACTURER	CLOSING MECHANISM AS PER MANUFACTURER

roinier brönn
arghinhô / architects
S. Arch. UFS
118 van der SA Street van Arginhô
Member of the SA Institute of Architects
SACAP Membership no: 5360

BELANORKE NOTAS VIR KONTRAKTEUR:
- ALLE MATES EN HOODTES MOET OP TEKEN GEÏNTEGREER WERD VOORDAT MET VERWAKING OF BEWAKING GEDIEP WORD. BIEKEN REKKE, MOET MATES AANVAARDIG WORD MET BEWAKING GEDIEP IN OORSPREKING EN GOEDKEURING MET DIE OPSTELLER VAN HIERDIE TEKENING.
- VERALHE WAAR ANDERS AANGEWYSE IS ALLE AANWYDINGE IN DERVAARDIG VERVALHE HOODTES EN INDRUKTELE WAARDE. DRINGEWAARDE VLAAG.
- ALLE AFWYKINGE GETOON IS IN MILLIMETER EN HOET OP TEKENING GEÏNTEGREER WORD. DIE VERHOORDE MAG NIE OORSAKAL WORD DIE, EN SLEGS GEDREWE AFWYKINGE MOET GEBRAUK WORD.

- ALLE WERK MOET GEDIEP WORD VOLOES DIE BUD-AFVALLEIE BUREAU VIR STANDAARDE SE OORSPREKINGE MAGS 648-1389.
- VOORSKRYFTE VAN ALLE MEMBERSHAP OORREKDE MOET STRENG NAGEDROM WORD.
- DIE POSSE VAN ALLE ONDERGRONDE DEBENTE IS DIE VERANTWORTELIENHEID VAN DIE EERNALE, INDIEN SLEGS DEBENTE BEKENDIS WORD OOR VERWAKING OF GEDREWE DIE OORSPREKINGE. DIE DIE EERNALE VERANTWORTELIENHEID WIESE VIR DIE HERKTEL, DAARVAN TOT BEVREDIGING VAN DIE BETROKKE DEBENTALE.
- BAKTECHNER MOET LIT OESSE WORD MET 'N PROFIE, GENEK MET WER STYENLAE VIR ELKE SLEGS WAT DIE VASTLANDE IS 448 1544m STEENLAE.

nr	date	body	description

Client: **PLACE OF GRACE FARMS**

Drawing Title: **STUDIO E**

Scale: **AS SHOWN**

Drawn: **Rabier**

Project: **PROPOSED ADDITIONS AND ALTERATIONS TO EXISTING RESIDENCE FARM 489 / 4 LYNEBOSCH, STELLENBOSCH**

Date: **2021-08-12**

Checked:

Approved:

Scale: **MUN / STUD E**

Revision no: **0**



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ANNEXURE E



STELLENBOSCH MUNICIPALITY
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MEMORANDUM

DIREKTEUR: INFRASTRUKTUURDIENSTE
DIRECTORATE: INFRASTRUCTURE SERVICES

To - Aan: Director: Planning + Economic Development
Att Aandag Nicole Katts
From - Van: Manager: Development (Infrastructure Services)
Author - Skrywer: Tyrone King
Date - Datum: 22 Sept 2022
Our Ref - Ons Verw: Civil LU 2388
Your Ref: LU/14070
Re - Insaak: Farm 4894, Stellenbosch: The application in made in terms of Section 15(2)(o) of the Stellenbosch Municipality Land Use Planning By-Law (2015), for consent use for the establishment of self-catering Tourist Accommodation with 7 bedrooms in three (3) existing buildings.

The application is recommended for approval, subject to the following:

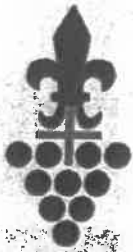
1. **Civil Engineering Services**
 - 1.1 No objection, no municipal services are affected.
2. **Development Charges (DCs)**
 - 2.1 The following DC's are payable: See Development Charge Calculation attached.
 - 2.2 The DC's were calculated by using the 2022/2023 tariff structure. If DC's are paid after 30 June 2023 it will have to be recalculated by using the tariff structure applicable at date of payment.
 - 2.3 The appropriate DC's are payable before building plan approval.

- 3. **Electrical Engineering**
- 3.1 **General: Electrical network belongs to Eskom**
- 3.2 **Refer to Annexure: Electrical**



Tyrone King Pr Tech Eng
MANAGER: DEVELOPMENT (INFRASTRUCTURE SERVICES)

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Spatial Planning

To : Manager: Land Use Management
From : Manager: Spatial Planning
Reference : Farm 489/4, Stellenbosch
LU No : LU/14070
Date : 17 November 2022
Re : Application for Consent Use on Farm 489/4, off Polkadraai Road, Stellenbosch

I refer to your request for comment on the above application.

Application is made for the following:

- Consent Use for the establishment of self-catering Tourist Accommodation with 7 bedrooms in three (3) existing buildings.

1) Opinion/reasoning:

The new approved Municipal Spatial Development Framework for the WC024 area was approved by Council in November 2019 and recognises that the spatial decisions and actions of many make what settlements are.

In terms of this approved document, seven principles need to be considered:

1. Maintain and grow the assets of Stellenbosch Municipality's natural environment and farming areas;
2. Respect and grow cultural heritage;
3. Direct growth to areas of lesser natural and cultural significance as well as movement opportunity;
4. Clarify and respect the different roles and potentials of existing settlements;
5. Clarify and respect the roles and functions of different elements of movement structure;
6. Ensure balanced, sustainable communities;
7. Focus collective energy on a few catalytic lead projects.

With the enactment of the Spatial Planning and Land Use Management Act 16 of 2013 (SPLUMA), a new planning regime was introduced in South Africa. It replaced disparate apartheid era laws with a coherent legislative system as the foundation for all spatial planning and land use management activities in South Africa. It seeks to promote consistency and uniformity in procedures and decision-making. Other objectives include addressing historical spatial imbalances and the integration of the

principles of sustainable development into land use and planning regulatory tools and legislative instruments.

Chapter 2 of SPLUMA sets out the development principles that must guide the preparation, adoption and implementation of any SDF, policy or by-law concerning spatial planning and the development or use of land. These principles are the following:

- Spatial Justice
- Spatial Efficiency
- Spatial Sustainability
- Spatial Resilience
- Good Administration

The subject property is located outside the urban edge of the Stellenbosch node and within the rural area of Stellenbosch. The application is for the consideration of a tourist accommodation establishment on La Kavayan for the establishment of a tourist accommodation establishment with 7 bedrooms in 3 existing buildings. Each of the guest accommodation units will be self-catering and containing kitchens.

In terms of the approved MSDF the following guidelines are applicable to this specific application:


- Tourist accommodation should preferably make use of existing buildings or new buildings on disturbed footprints, and these should take the natural and heritage significance of the site into consideration.
- Rural place-bound businesses (including farm stalls and farm shops, restaurants and venue facilities) of appropriate location and scale to complement farming operations, and not compromise the environment, agricultural sustainability, and the scenic, heritage and cultural landscape.
- Rural place-bound agricultural industry related to the processing of locally sourced (i.e. from own and/or surrounding farms) products, and not compromise the environment, agricultural sustainability, and the scenic, heritage and cultural landscape.
- Support for various forms of leisure and tourism activities across the rural landscape, of appropriate location, scale, and form not to compromise the environment, agricultural sustainability, and the scenic, heritage and cultural landscape.
- Agricultural industry should be subservient or related to the dominant agricultural use of the property and/ or surrounding farms.
- All place-bound agricultural industry related to the processing of locally sourced (i.e. from own and/or surrounding farms) products, should be located within the farmstead precinct in the agricultural area.

- Industry in rural areas should not adversely affect the agricultural potential of the property.
- Activities and uses directly related to the primary agricultural enterprise are permitted, including farm buildings and associated structures (e.g. one homestead, barns, agri-worker housing, etc.), as well as additional dwelling units to support rural tourism opportunities and to diversify farm income, comprising 1 additional non-alienable dwelling unit per 10ha, up to a maximum of 5 per farm.
- Ancillary rural activities of appropriate scale that do not detract from farming production, that diversify farm income, and add value to locally produced products (e.g. restaurant and function venue facility, farmstall and farm store, home occupation, local product processing, and rural recreational facilities).
- Recognising the prospects of tourism to diversify and strengthen the rural economy, the provision of a variety of short-term tourism accommodation across the rural landscape that is in keeping with the local character is supported.
- Large scale tourist accommodation should preferably be provided in or adjacent to existing towns and rural settlements. Tourist accommodation in the rural landscape could be allowed if, of an appropriate scale and form, appropriate to the SPC.
- Tourist accommodation situated outside of the urban edge should be clustered in visually discreet nodes, preferably make use of existing buildings or new buildings on disturbed footprints, located within or peripheral to the farmstead, reinforce rural landscape qualities, and cater exclusively for the temporary accommodation for in transit visitors.

2) Supported / not supported:

This department supports the application subject to the following conditions:

- The primary use of the farm should still remain agricultural with the tourist accommodation functioning as a secondary use;
- All tourist accommodation should remain within the existing buildings.



B.J.G. de la Bat
MANAGER: SPATIAL PLANNING