



# STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/13597

Our File Reference Number: Farm 1674/10, Paarl

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 – 808 8682

Email address: [Ulrich.Vonmolendorff@stellenbosch.gov.za](mailto:Ulrich.Vonmolendorff@stellenbosch.gov.za)

**PER E-MAIL:** [REDACTED]

Sir / Madam

**APPLICATION FOR PERMISSION REQUIRED IN TERMS OF SECTION OF CONDITION OF APPROVAL IN TERMS OF SECTION 15(2)(I) OF THE STELLENBOSCH MUNICIPAL LAND USE PLANNING ON FARM 1674/10, PAARL DIVISION**

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:
  - 2.1 Application for the amendment of conditions (a) and (b) of the decision letter dated 03/11/2009, to extend the existing tourist facility for Wine Tasting and Sale of Wine, Farm Goods, Homeware and extend the floor area of the Old Wine Cellar / Werf Restaurant which comprises internal alterations and minor additions to the existing building on Farm 1674/10, in terms of Section 15(2)(h) of the Stellenbosch Municipal Land Use Planning By-Law (2023).

**BE APPROVED** in terms of Section 60 of the said Bylaw and subject to conditions of approval.
3. The approval is subject to the following conditions imposed in terms of Section 66 of said Bylaw:
  - 3.1 The approval only applies to the application under consideration and shall not be construed as authority to depart from any other legal prescriptions or requirements from Council or other legislation or Bylaws or Regulations that may be applicable.
  - 3.2 The extent of the Wine Tasting and Sale of Wine, Farm Goods, Crafts, Homeware and the floor area of the Old Wine Cellar / Werf Restaurant be limited to 1256.5m<sup>2</sup> as indicated on

the Site Development Plan attached as **Annexure B**, drawing no: 208-A\_1900, 208-A\_1001 to 208-A\_1003, 208-A\_2101, 208-A\_3001, drawn by JB.

3.3 The building plans for the alterations and additions to the wine tasting and sales and Die Werf Cellar – Restaurant must be generally in accordance with the Site Development Plan attached as **Annexure B**, drawing no: 208-A\_1900, 208-A\_1001 to 208-A\_1003, 208-A\_2101, 208-A\_3001, drawn by JB.

3.4 The conditions of approval as noted in the Memo, dated 13 December 2022 imposed by the Directorate: Infrastructure Services, attached as **Annexure C**, be complied with.

3.5 Buildings plans to be endorsed by Heritage Western Cape to be submitted and approved by the Municipality prior to the commencing of any building works onsite, including the preparation of land, which will only be approved when all relevant (or qualified) conditions of approval have been complied with.

3.6 The conditions of approval as noted in the letter dated 10 February 2021, imposed by the Western Cape Government Department Transport & Public Works: Roads, attached as **Annexure C**, be complied with.

4. The reasons for the above decision are as follows:

4.1 The proposal will ensure that the existing infrastructure is optimally used.

4.2 The proposal will have no impact on the existing agricultural activity taking place on the subject property as the proposal is located within the existing werf.

5. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.

6. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:

6.1 The personal particulars of the Appellant, including:

- i. First names and surname
- ii. ID number
- iii. Company of Legal person's name (if applicable)
- iv. Physical Address

v. Contact details, including a Cell number and E-Mail address

6.2 Reference to this correspondence and the relevant property details on which the appeal is submitted.

6.3 The grounds of the appeal which may include the following grounds:

- i. that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000)
- ii. grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.

6.4 Whether the appeal is lodged against the whole decision or a part of the decision.

6.5 If the appeal is lodged against a part of the decision, a description of the part.

6.6 If the appeal is lodged against a condition of approval, a description of the condition.

6.7 The factual or legal findings that the appellant relies on.

6.8 The relief sought by the appellant.

6.9 Any issue that the appellant wishes the Appeal Authority to consider in making its decision.

6.10 That the appeal includes the following declaration by the Appellant:

- i. The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
- ii. That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.

7. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of e-mail at the following address: [landuse.appeals@stellenbosch.gov.za](mailto:landuse.appeals@stellenbosch.gov.za)

8. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.

9. The approved tariff structure and the banking details for the General Account can be accessed and viewed on the municipal website. For any enquiries the office can be contacted at [landuse.appeals@stellenbosch.gov.za](mailto:landuse.appeals@stellenbosch.gov.za)

10. An applicant who lodges an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
- (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
  - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
  - (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
  - (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.
11. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.
12. Kindly note the above decision in the case of any approval, is suspended, and may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully



---

**FOR DIRECTOR: PLANNING AND ECONOMIC DEVELOPMENT**

7/11/2023  
DATE:



**STELLENBOSCH**  
STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNICIPALITY • UMASIPALA • MUNISIPALITEIT

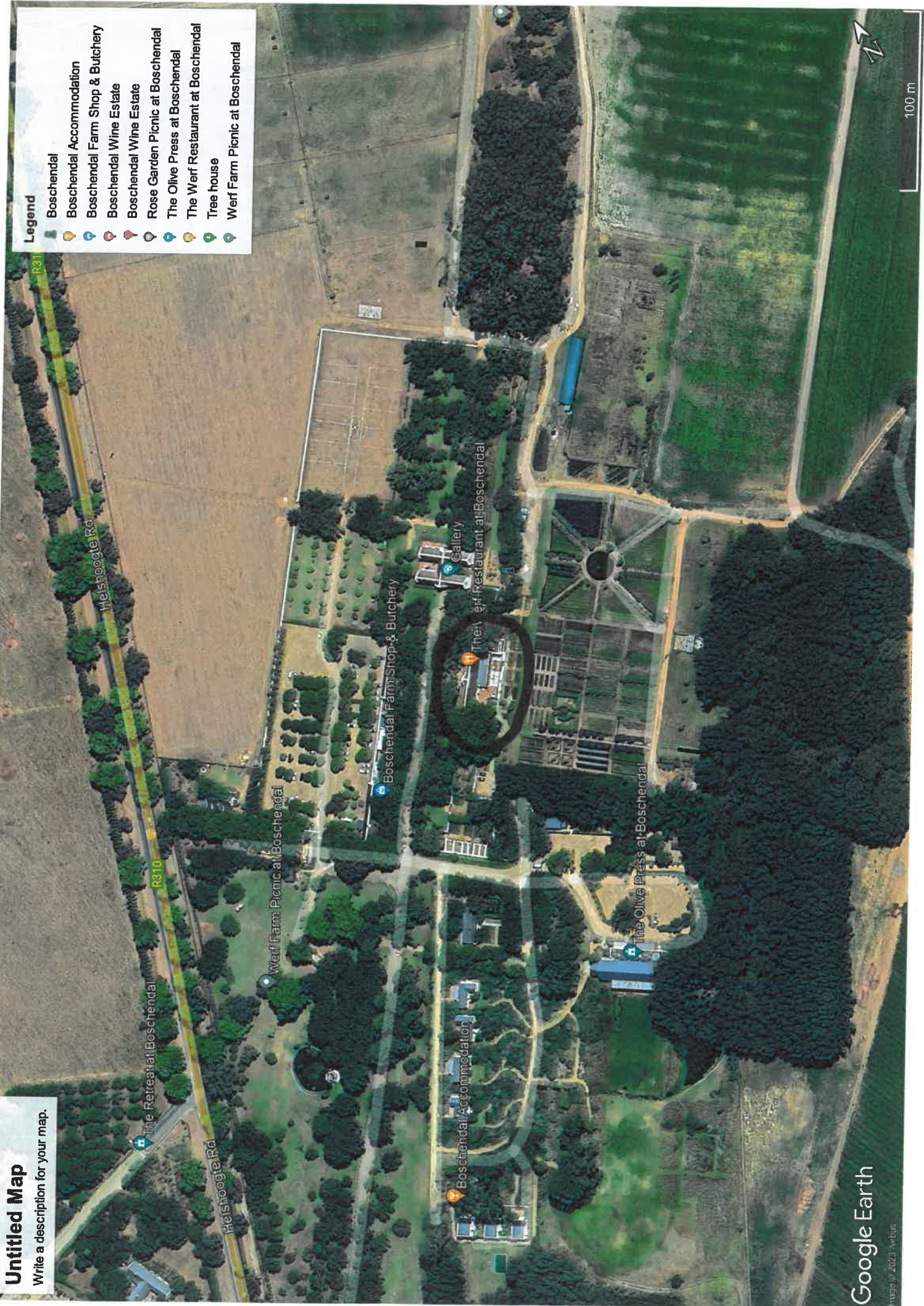
## **ANNEXURE B**

# Untitled Map

Write a description for your map.

## Legend

- Boschendal
- Boschendal Accommodation
- Boschendal Farm Shop & Butchery
- Boschendal Wine Estate
- Boschendal Wine Estate
- Rose Garden Picnic at Boschendal
- The Olive Press at Boschendal
- The Werf Restaurant at Boschendal
- Tree house
- Werf Farm Picnic at Boschendal

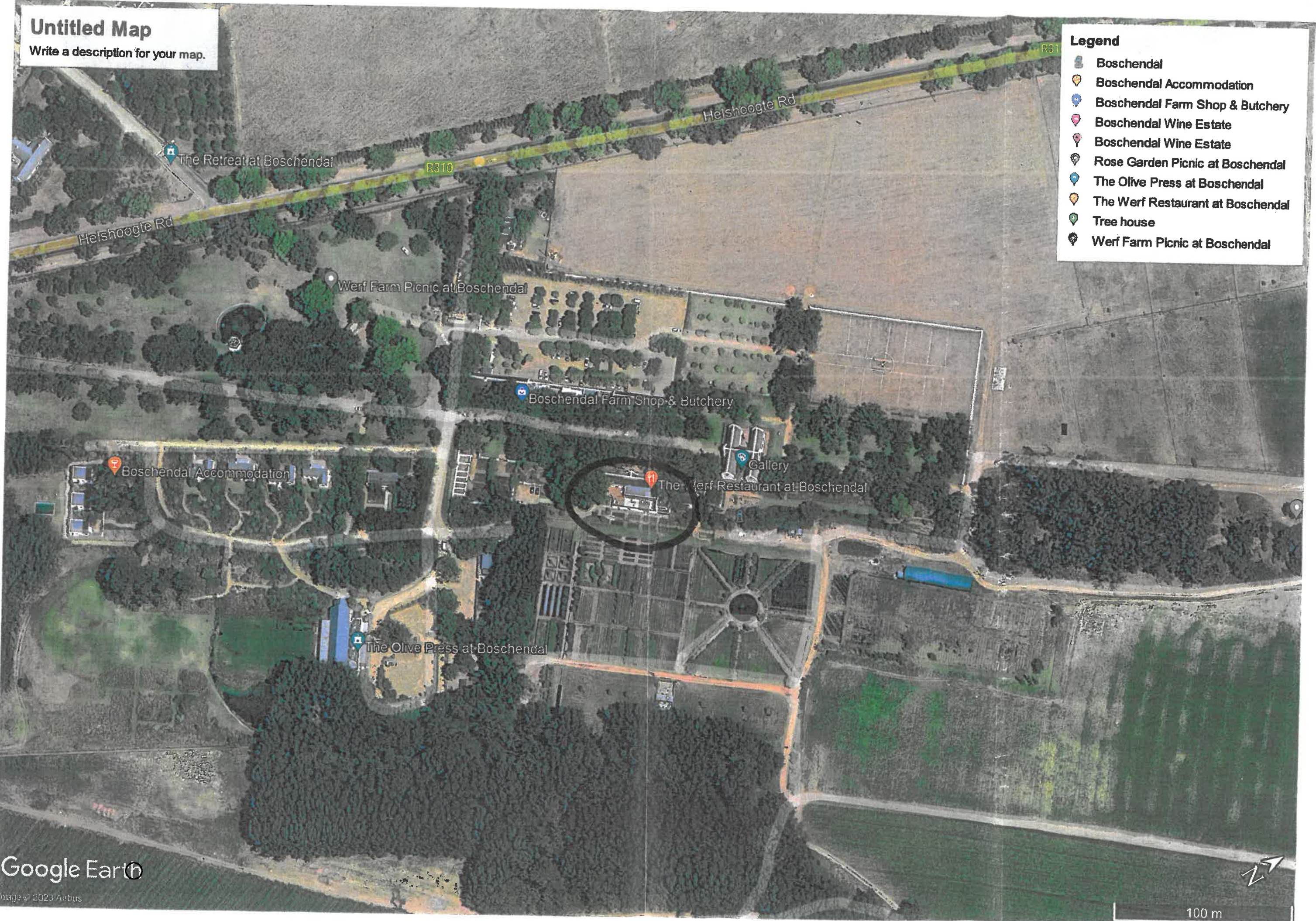


# Untitled Map

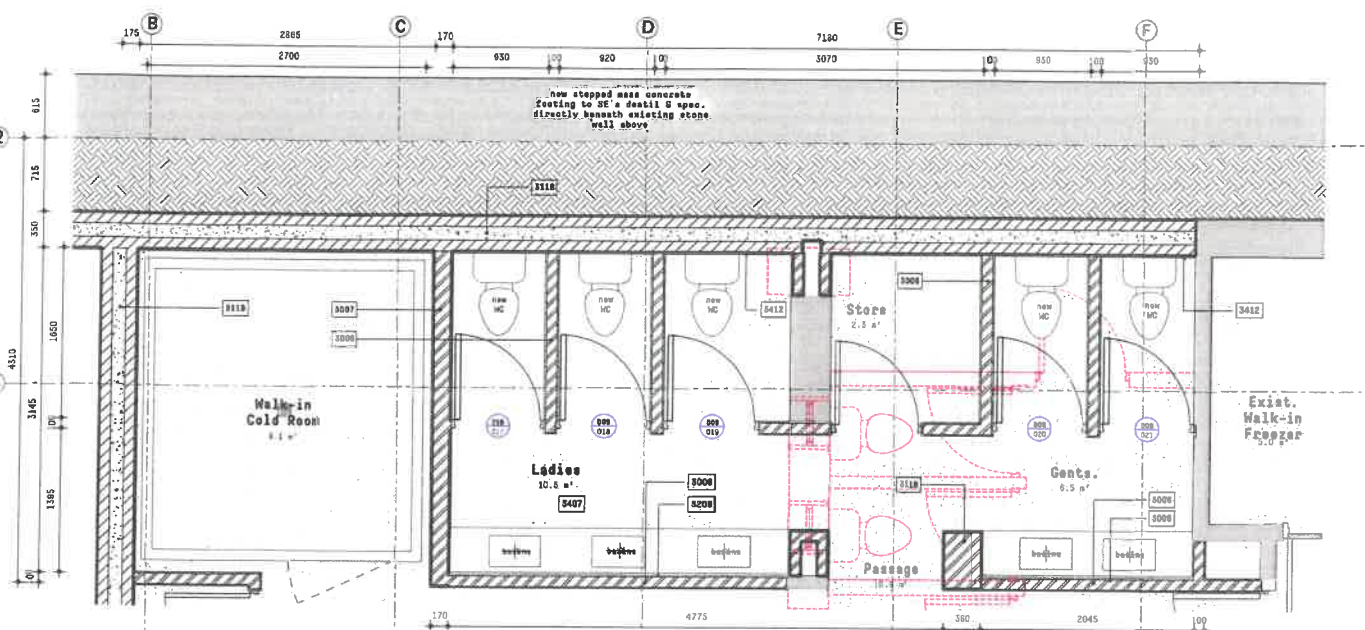
Write a description for your map.

## Legend

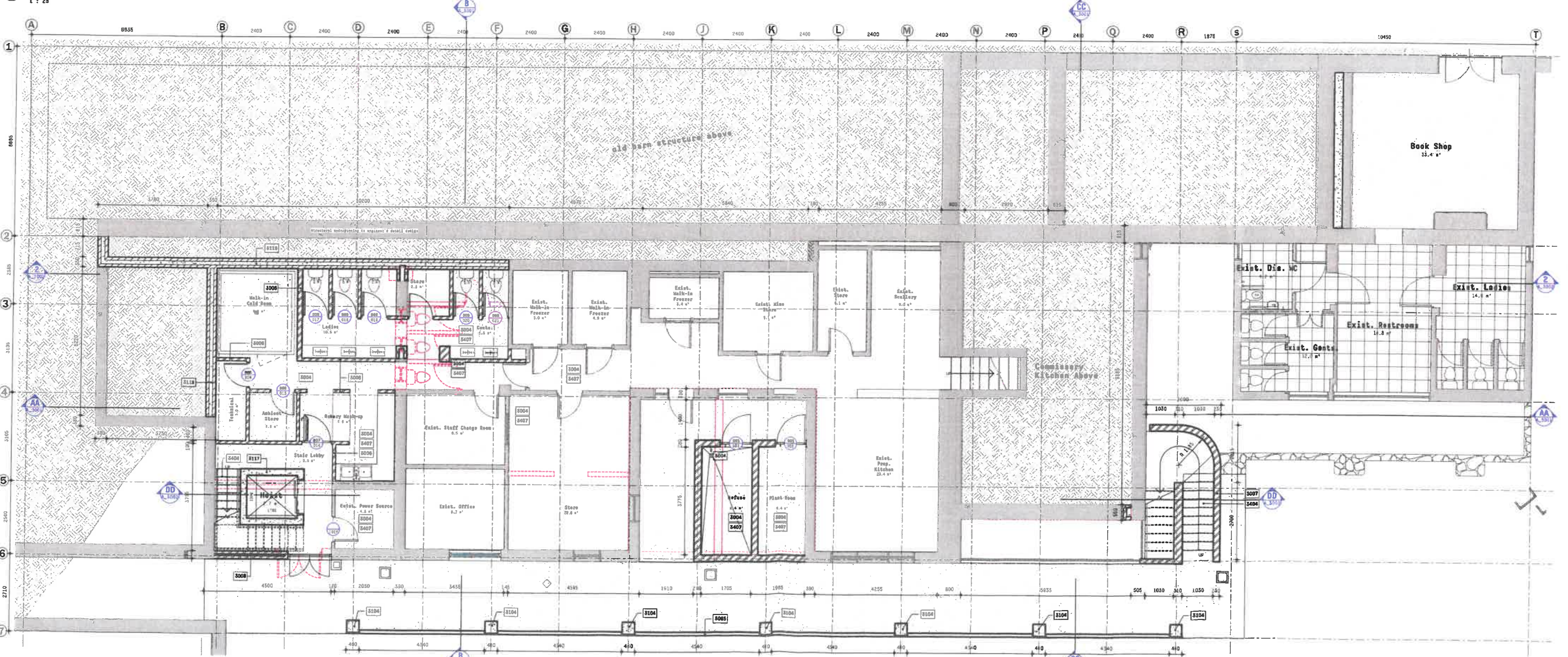
-  Boschendal
-  Boschendal Accommodation
-  Boschendal Farm Shop & Butchery
-  Boschendal Wine Estate
-  Boschendal Wine Estate
-  Rose Garden Picnic at Boschendal
-  The Olive Press at Boschendal
-  The Werf Restaurant at Boschendal
-  Tree house
-  Werf Farm Picnic at Boschendal



| Keynote Legend |   |
|----------------|---|
| Code           | Description   |
| 3004           | New 100mm concrete surface bed, mesh reinforced to engineer's detail and specification. Cast on damp proof membrane below surface bed to be 250 micron with minimum 100mm overlap and membrane to be turned up at the edge of the surface bed on 50mm clear sand.                 |
| 3005           | 230mm brick cavity wall - corobrick de hoop with brown smooth outer face / plaster quality clay brick inner face in finished bond, 10-15mm mortar joints. This wall is not load bearing and Zappa bricks would be acceptable as per engineer's specification.                     |
| 3006           | 110mm plaster quality clay brick wall to receive 15mm cement plaster on both faces. Brick-face min every 4 courses, 10-15mm mortar joints, Polyakia and paint finish. Paint specification to be confirmed.  |
| 3007           | 200mm plaster quality clay brick wall to receive 15mm cement plaster on both faces. Brick-face min every 4 courses, 10-15mm mortar joints, Polyakia and paint finish. Paint specification to be confirmed.  |
| 3008           | 180mm plaster quality clay brick cavity wall to receive 15mm cement plaster on both faces. Brick-face min every 4 courses, 10-15mm mortar joints, Polyakia and paint finish internally and exterior plaster externally to approved standard. Paint specification to be confirmed. |
| 3104           | 400x200mm rc column to engineer's detail and specification. 100mm dia. galvanized circular hollow section steel column fixed on top of concrete column.   |
| 3117           | 250mm cc concrete lift cover to structural engineer's detail and spec. External face of walls to receive 15mm cement plaster and paint.   |
| 3118           | 350mm composite concrete-filled brick retaining wall to structural engineer's spec. Internal face to receive 15mm cement plaster, Polyakia and paint finish. Paint specification to be confirmed.   |
| 3206           | Silver mirror wall - glazing by mirror specialist. Polished edges with no seal.   |
| 3404           | 80x140mm thermosealed nozzle plus packing as supplied by supplier or similar approved. Installed on cement screed as per manufacturer specification. 80x28 brass straight edge tile scab rising as supplied by kick or similar approved.  |
| 3407           | New screeded access to receive ornate colour hardener by approved applicator to supplier's specification.   |
| 3412           | Opal white glazed ceramic wall tile 150x150mm. As supplied by Johnson Tiles or similar approved.  |



**C2 GA Plan Callout 2 - Lower Ground Toilet Block**  
1 : 25

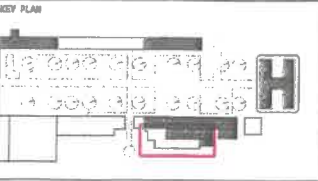


**1 GA Lower Ground Floor Plan**  
1 : 50



ALL RIGHTS RESERVED. THE SUPPLY OF THIS DRAWING IS LIMITED TO THE PROJECT AND THE CLIENT. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE COMPANY.

All work to be done in accordance with the 2019 National Building Regulations.  
All materials and workmanship are to comply with the National Building Regulations and the specifications indicated on the drawings and to be suitable for the conditions of use.  
This drawing must be read in conjunction with all the relevant specifications, schedules and specifications (S&S) and all other documents related to the project.  
All aspects of the work related to any services or equipment to be installed are to be done in accordance with the National Building Regulations.  
Any discrepancies to be reported to the Architect.  
All dimensions and levels must be checked on site by the contractor before starting work in situ.



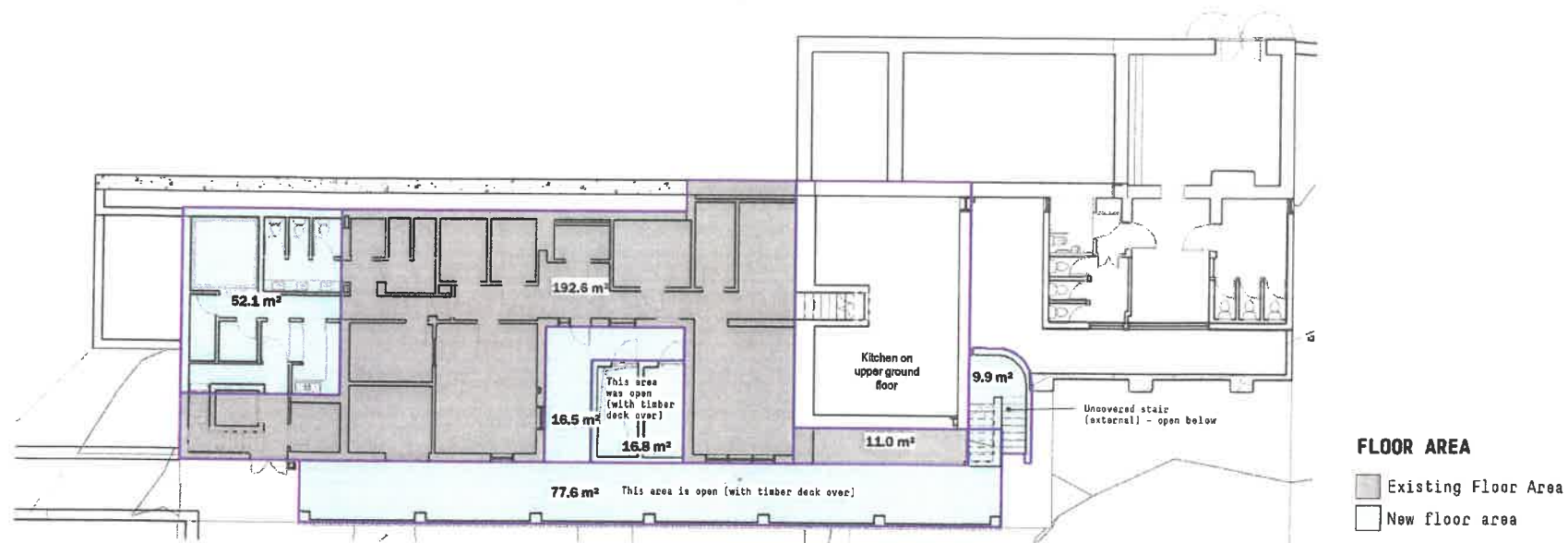
| No. | Revision Description | Date       |
|-----|----------------------|------------|
| 1   | Issued for working   | 2024.11.14 |

**GA LOWER GROUND FLOOR PLAN**  
**DIE WERF CELLAR PH.2 - RESTAURANT**  
Boschendal

SCALE: As Indicated  
DRAWN: Author  
ISSUE STATUS: FOR INFORMATION

DRAWING No. **208-A\_1001**  
REVISION: **A**





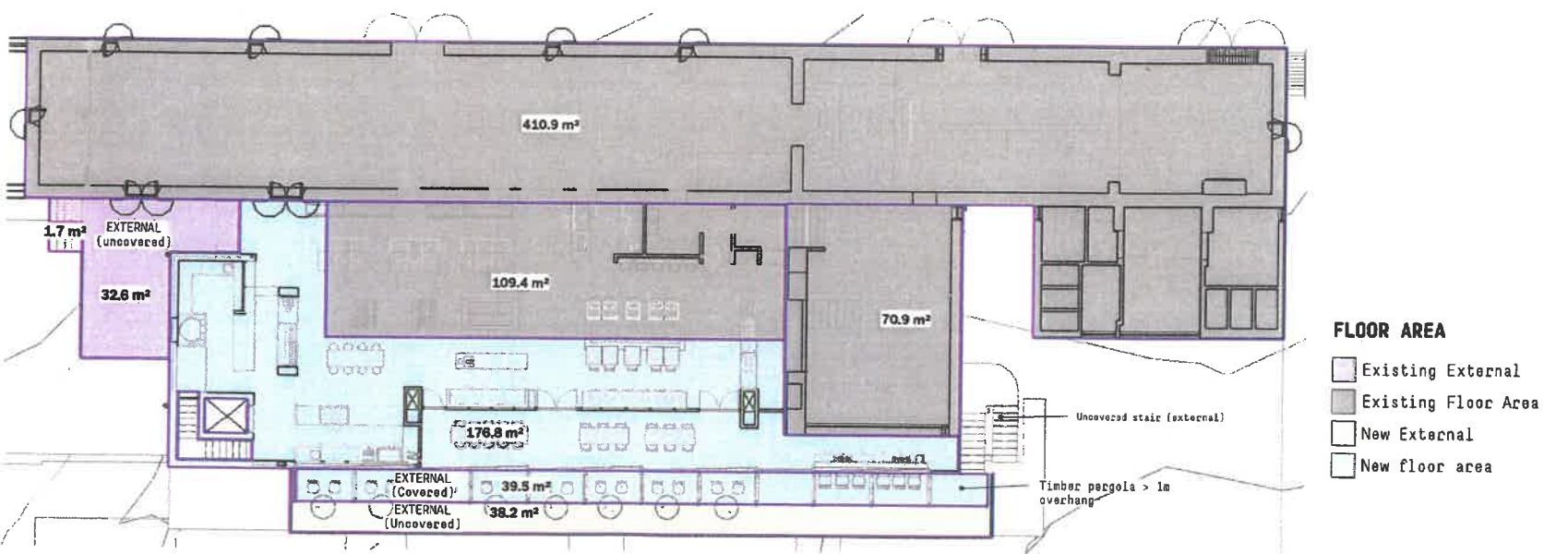
**FLOOR AREA**  
 Existing Floor Area  
 New floor area

| Area Schedule Per Floor (FLOOR AREA) |                     |                      |
|--------------------------------------|---------------------|----------------------|
| Level                                | Name                | Area                 |
| Lower Ground FFL                     | Existing Floor Area | 11.0 m <sup>2</sup>  |
| Lower Ground FFL                     | Existing Floor Area | 192.6 m <sup>2</sup> |
| Lower Ground FFL                     | New floor area      | 52.1 m <sup>2</sup>  |
| Lower Ground FFL                     | New floor area      | 16.8 m <sup>2</sup>  |
| Lower Ground FFL                     | New floor area      | 77.6 m <sup>2</sup>  |
| Lower Ground FFL                     | New floor area      | 16.5 m <sup>2</sup>  |
| Lower Ground FFL                     | New floor area      | 9.9 m <sup>2</sup>   |

|                  |                     |                      |
|------------------|---------------------|----------------------|
| Upper Ground FFL | Existing Floor Area | 410.9 m <sup>2</sup> |
| Upper Ground FFL | Existing Floor Area | 109.4 m <sup>2</sup> |
| Upper Ground FFL | New floor area      | 39.5 m <sup>2</sup>  |
| Upper Ground FFL | Existing External   | 32.6 m <sup>2</sup>  |
| Upper Ground FFL | New External        | 1.7 m <sup>2</sup>   |
| Upper Ground FFL | New External        | 38.2 m <sup>2</sup>  |
| Upper Ground FFL | New floor area      | 176.8 m <sup>2</sup> |
| Upper Ground FFL | Existing Floor Area | 70.9 m <sup>2</sup>  |

**1 A\_1900 (Area) Lower Ground**  
 1 : 200

| Area Schedule TOTALS (FLOOR AREA) |                      |
|-----------------------------------|----------------------|
| Name                              | Area                 |
| Existing External                 | 32.6 m <sup>2</sup>  |
| Existing Floor Area               | 794.8 m <sup>2</sup> |
| New External                      | 39.9 m <sup>2</sup>  |
| New floor area                    | 389.2 m <sup>2</sup> |



**FLOOR AREA**  
 Existing External  
 Existing Floor Area  
 New External  
 New floor area

| COVERAGE SCHEDULE |                      |
|-------------------|----------------------|
| Name              | Area                 |
| Existing Coverage | 806.5 m <sup>2</sup> |
| New Coverage      | 92.0 m <sup>2</sup>  |
| Grand total       | 898.5 m <sup>2</sup> |

**2 A\_1900 (Area) Upper Ground**  
 1 : 200

**ATC**

ALL RIGHTS RESERVED. THE COPYRIGHT OF THIS DRAWING (INCLUDING ALL ATTACHED AND INCORPORATED DOCUMENTS) IS THE PROPERTY OF THE COMPANY. NEITHER THE FORM OR ANY PART OF IT MAY BE USED OR REPRODUCED BY ANY METHOD WHATSOEVER OR INCORPORATED BY REFERENCE OR IN ANY MANNER WHATSOEVER IN ANY OTHER DOCUMENT WITHOUT THE PRIOR WRITTEN CONSENT OF THE COMPANY.

All work is to be done in accordance with the SANS 10400 National building Regulations.

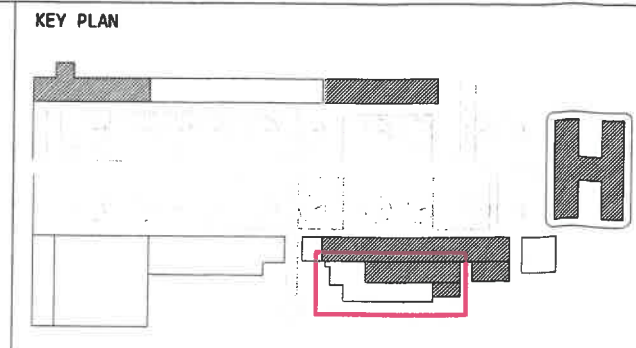
All materials and workmanship are to comply with the relevant SANS 10400 codes and of the specified international codes where applicable in the Architectural specifications.

This drawing must be read in conjunction with all the relevant drawings, schedules and specifications from ATC and all other consultants related to the project.

All portions of the works related to any service or consultant's information is to be done in accordance with the National Building Regulations.

Any discrepancies to be reported to the Architect

All dimensions and levels must be checked on site by the contractor before putting work in hand.

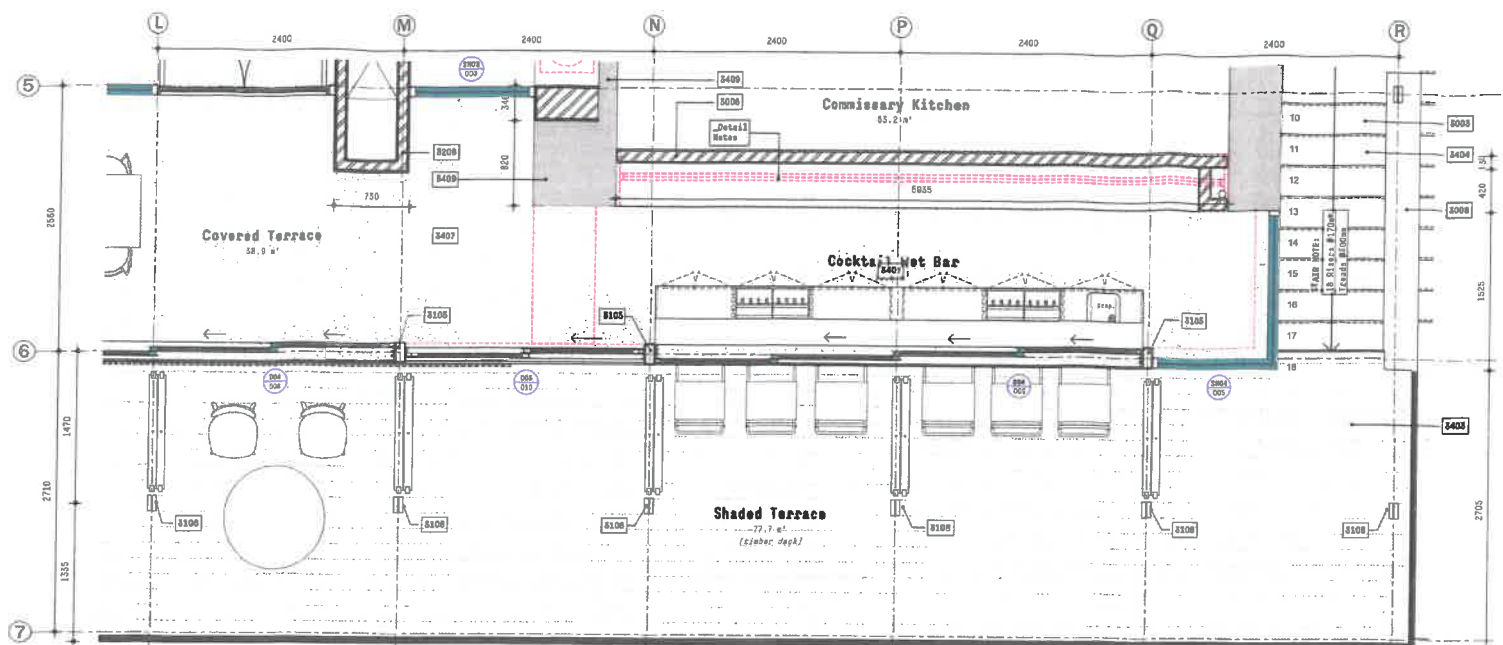


| No. | Revision Description | Date |
|-----|----------------------|------|
|     |                      |      |
|     |                      |      |
|     |                      |      |
|     |                      |      |
|     |                      |      |
|     |                      |      |
|     |                      |      |
|     |                      |      |
|     |                      |      |

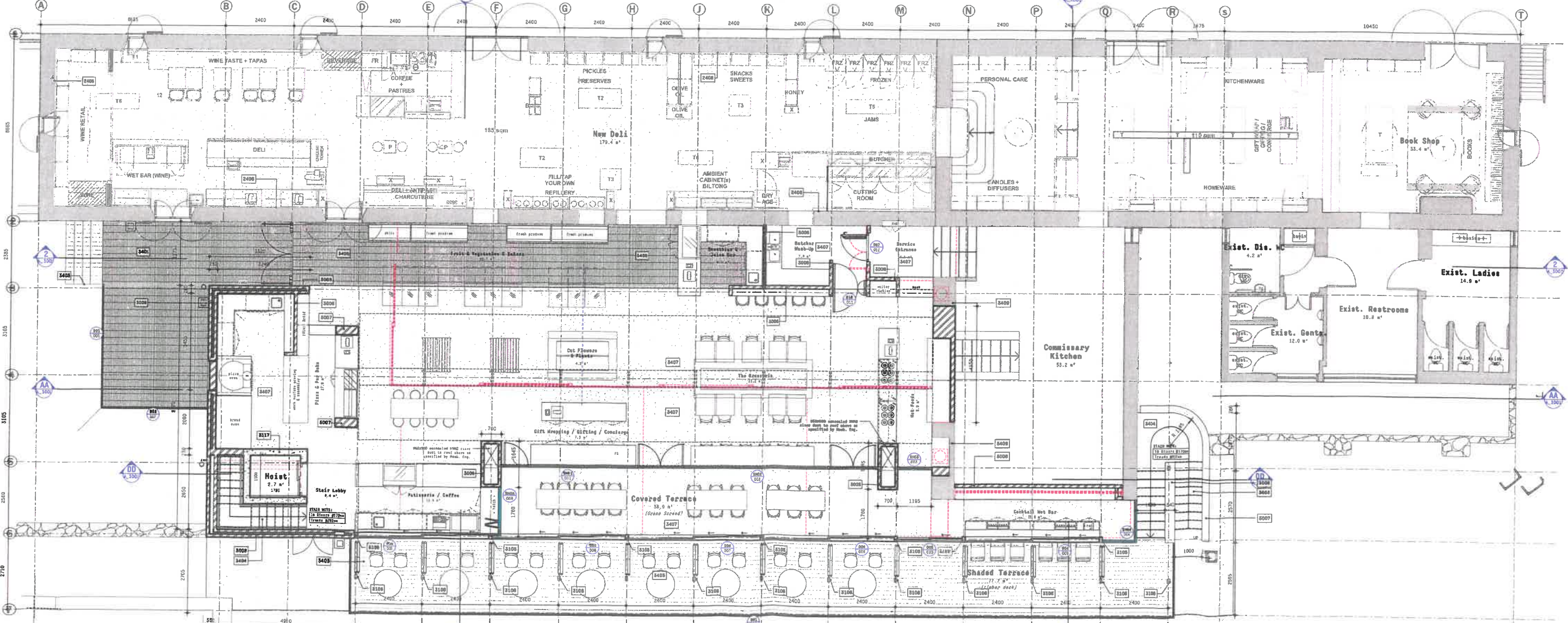
**EXISTING AND PROPOSED AREAS**

**DIE WERF CELLAR PH.2 - RESTAURANT**  
 Boschendal

|                              |                   |          |
|------------------------------|-------------------|----------|
| SCALE 1 : 200                | DRAWING No.       | REVISION |
| DRAWN JB APPROVED JM         | <b>208_A_1900</b> | ○        |
| ISSUE STATUS FOR INFORMATION | Project number    |          |



**GA Upper Ground Floor Plan - Callout 2**  
1 : 25



**GA Upper Ground Floor**  
1 : 50

| Keynote Legend |   |
|----------------|---|
| Code           | Description   |
| 2408           | All holes, cracks, and stiff marks to existing plaster of the interior walls to be repaired as per heritage architect methodology (ref.)  |
| 3003           | Cast in-situ cc slab to engineers' detail and specification.  |
| 3008           | 110mm plaster quality clay brick wall to receive 15mm cement plaster on both faces. Brick-faces min every 4 courses. 10-15mm mortar joints. Polystyrene and plaster finish. Paint application to be confirmed.  |
| 3007           | 210mm plaster quality clay brick wall to receive 15mm cement plaster on both faces. Brick-faces min every 4 courses. 10-15mm mortar joints. Polystyrene and plaster finish. Paint application to be confirmed.  |
| 3008           | 210mm plaster quality clay brick cavity wall to receive 15mm cement plaster on both faces. Brick-faces min every 4 courses. 10-15mm mortar joints. Polystyrene and plaster finish internally and splatter plaster externally to approved sample. Paint application to be confirmed. |
| 3105           | 200x100mm galvanised steel column fixed to cc slab on base plate as per engineers' detail and specification. Base plate not visible and final finish to cover base plate as per architects' detail and specification.   |
| 3108           | 214/214(40)x270(14) treated wallis composite column fixed to 150(14)x300(14)x200(14) wallis floor beams with galvanised steel bracket to engineers' detail and specification.   |
| 3117           | 230mm cc concrete lift core to structural engineer's detail and spec. External face of walls to receive 15mm cement plaster and paint.  |
| 3200           | 100mm drywall with in-situ glasswool insulation. Plaster skim and paint to finishes schedule.   |
| 3403           | 20x10mm thick natural marble plate grouting as supplied by supplier or similar approved. Installed on timber substructure to engineer's specification.  |
| 3404           | 20x10mm thick natural marble plate grouting as supplied by supplier or similar approved. Installed on cement screed as per manufacturer's specification. 8x255 brass straight edge iron strip setting as supplied by client or similar approved.                                    |
| 3405           | 10 x 100 x 800mm brass plate tile as supplied by client or similar approved. Shall be specified as 10 x 100 x 800mm min. sandstone - natural tile as supplied by client or similar approved.  |
| 3407           | New succeeded areas to receive 2 coats colour bander by approved applicator to supplier's specification.  |
| 3408           | Cement plaster with a steel lintel finish. Painted with 1 coat plaster primer and 2 coats service wall paint by client. Colour to be confirmed.   |
| Detail Notes   |   |

**ATC**

ALL RIGHTS RESERVED. THE SUPPORT OF THIS DRAWING IS PROVIDED BY THE CLIENT AND THE DRAWING IS THE PROPERTY OF THE ARCHITECT. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

ALL work is to be done in accordance with the 2019 National Building Regulations.

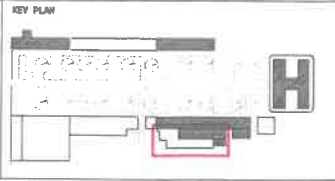
All materials and workmanship are to comply with the relevant AS/NZS standards and to the satisfaction of the relevant authority.

This drawing must be used in conjunction with all the relevant specifications, schedules and specifications. Rep. NTS and all other documents related to the project.

All locations of the work related to any service or installation are to be shown in accordance with the relevant specifications.

Any discrepancies to be reported to the Architect.

All dimensions and levels must be checked on site by the contractor before putting work to hand.



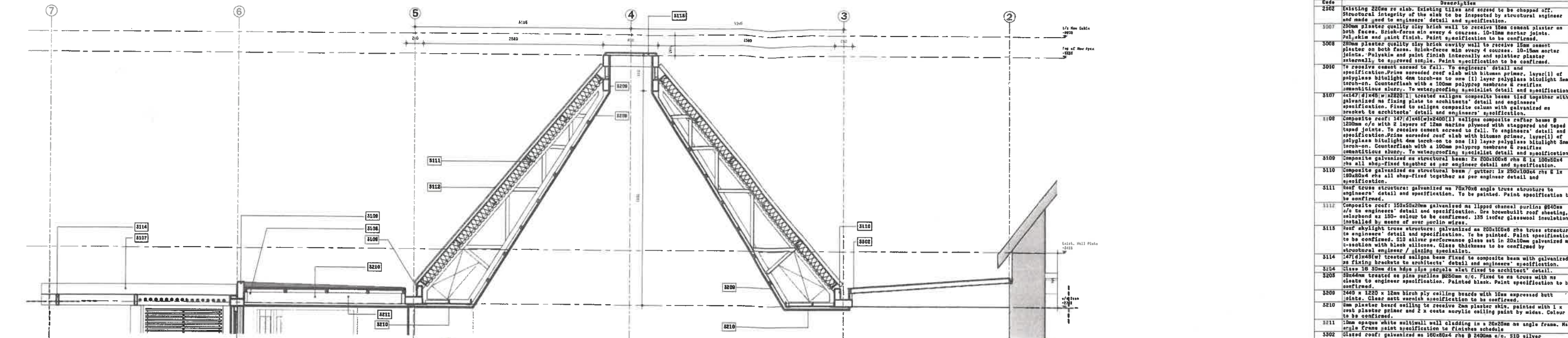
| No. | Revision Description | Date       |
|-----|----------------------|------------|
| 1   | Issue for tender     | 2024.11.14 |

**GA UPPER GROUND FLOOR PLAN**  
**DIE WERF CELLAR PH.2 - RESTAURANT**  
Boschenthal

SCALE: As indicated  
DRAWN: Author APPROVED: Approver  
ISSUE STATUS: FOR INFORMATION

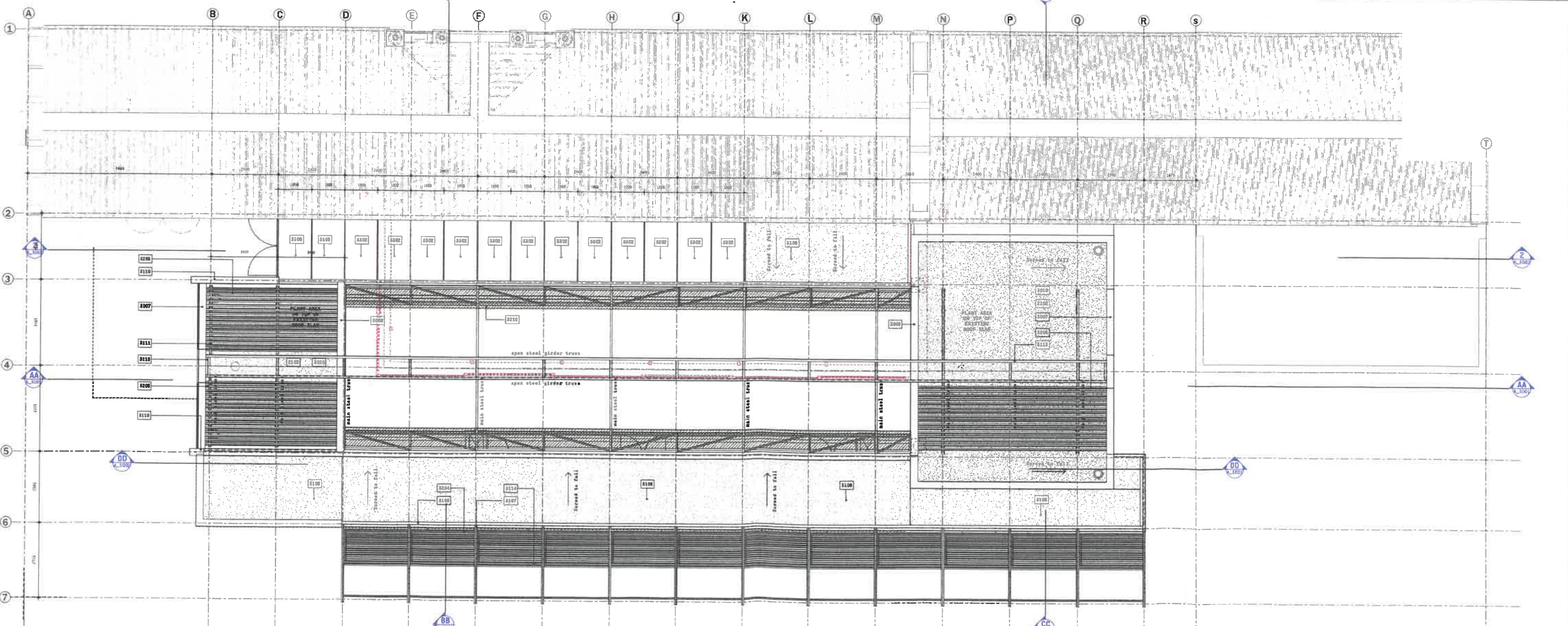
DRAWING No. **208-A\_1002**  
REVISION: **(A)**

AD 3847



| Code | Description   |
|------|---|
| 2102 | Existing 200mm to slab. Existing tiles and cement to be chopped off. Structural integrity of the slab to be inspected by structural engineer and made good to engineers' detail and specification.  |
| 3107 | 250mm plaster quality clay brick wall to receive 15mm cement plaster on both faces. Brick-ferns min every 4 courses. 10-15mm mortar joints. Polystyrene and joint finish. Point specification to be confirmed.  |
| 3008 | 250mm plaster quality clay brick cavity wall to receive 15mm cement plaster on both faces. Brick-ferns min every 4 courses. 10-15mm mortar joints. Polystyrene and joint finish internally and exterior plaster internally to approved spec. Point specification to be confirmed.   |
| 3016 | To receive cement screed to fall. To engineers' detail and specification. Prime sanded roof slab with bitumen primer. Layer(s) of polyglass bitolight 4mm torch-on to one (1) layer polyglass bitolight 5mm torch-on. Counterflash with a 100mm polyprep membrane & sealant. Cementitious slurry. To waterproofing specialist detail and specification.   |
| 3107 | 1147 (1146) (1228) (1) located ceiling composite beams tied together with galvanized steel plate to architects' detail and engineers' specification. Fixed to ceiling composite columns with galvanized steel brackets to architects' detail and engineers' specification.  |
| 3108 | Composite roof: 107 (1040) (1) ceiling composite rafters beams @ 1200mm c/c with 2 layers of 12mm marine plywood with staggered and taped lap joints. To receive cement screed to fall. To engineers' detail and specification. Prime sanded roof slab with bitumen primer. Layer(s) of polyglass bitolight 4mm torch-on to one (1) layer polyglass bitolight 5mm torch-on. Counterflash with a 100mm polyprep membrane & sealant. Cementitious slurry. To waterproofing specialist detail and specification. |
| 3109 | Composite galvanized structural beam: 2x 200x100x6 rha @ 1000x50x4 c/c all shop-fixed together as per engineer detail and specification.  |
| 3110 | Composite galvanized structural beam / gutter: 1x 250x100x4 rha @ 1000x50x4 c/c all shop-fixed together as per engineer detail and specification.   |
| 3111 | Steel truss structure: galvanized 70x70x6 angle truss structure to engineers' detail and specification. To be painted. Point specification to be confirmed.   |
| 3112 | Composite roof: 150x50x20mm galvanized lip channel purlins @400mm c/c to engineers' detail and specification. For bombproof roof sheeting, colorbond as 150 colour to be confirmed. 135 ltr/m² glasswool insulation installed by means of over panel wires.   |
| 3113 | Steel skylight truss structure: galvanized 200x100x6 rha truss structure to engineers' detail and specification. To be painted. Point specification to be confirmed. 110 silver performance glass set in 20x20mm galvanized steel section with black silicone. Glass thickness to be confirmed by structural engineer / glazing specialist.   |
| 3114 | 147 (1146) (1) located ceiling beam fixed to composite beam with galvanized steel brackets to architects' detail and engineers' specification.  |
| 3254 | Steel 16 30mm dia hds plus 16mm dia flat fixed to architect's detail.   |
| 3208 | 300mm treated pine purlins @200mm c/c. Fixed to steel truss with steel cleats to engineer specification. Painted black. Point specification to be confirmed.  |
| 3209 | 1200 x 1200 x 18mm birch ply ceiling boards with 15mm approved butt joints. Clear matt varnish specification to be confirmed.   |
| 3210 | 10mm plaster board ceiling to receive 2mm plaster skim, painted with 1 x coat plaster primer and 2 x coats acrylic ceiling paint by trades. Colour to be confirmed.   |
| 3211 | 10mm square white multiwall wall cladding in a 20x20mm angle frame. No acrylic frame paint specification to finishes schedule.  |
| 3302 | Glass roof: galvanized 160x80x4 rha @ 2400mm c/c. 110 silver performance glass set in 20x20mm galvanized steel section with black silicone. Glass thickness to be confirmed by structural engineer / glazing specialist. Rha beams to be fixed to existing historic wall as per architects' detail and engineers' specification.  |

2 GA Roof Section  
1 : 20



1 GA Roof Plan  
1 : 50

ATC

ALL RIGHTS RESERVED  
THIS DOCUMENT IS THE PROPERTY OF  
PART OF THE  
DRAWINGS OR  
PARTS THEREOF  
MAY NOT BE  
REPRODUCED OR  
TRANSMITTED IN  
ANY FORM OR  
BY ANY MEANS  
ELECTRONIC OR  
MECHANICAL,  
INCLUDING  
PHOTOCOPYING,  
RECORDING, OR  
BY ANY INFORMATION  
SYSTEMS  
WITHOUT THE  
PRIOR WRITTEN  
PERMISSION OF  
THE ARCHITECT

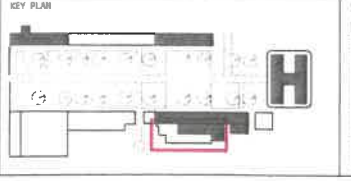
All work to be done in accordance with the 2003 NZBC Building Regulations.

All materials and workmanship are to comply with the relevant NZBC (2003) code and or the specific performance based requirements in the performance specifications.

The drawing must be read in conjunction with all the relevant drawings, schedules and specifications. The title block and all other annotations refer to the project.

All sections of the work related to any service or installation to be done in accordance with the National Building Regulations.

Any discrepancies to be reported to the Architect. All dimensions and levels must be checked on site by the contractor before setting work in hand.



| No. | Revision Description | Date     |
|-----|----------------------|----------|
| 1   | Issue for tender     | 10/11/21 |

**GA ROOF PLAN**

**DIE WERF CELLAR PH.2 - RESTAURANT**  
Boschendal

SCALE: As Indicated

DRAWN: Author

ISSUE STATUS: FOR INFORMATION

DRAWING No. **208-A\_1003**

REVISION: **(A)**

NO SHEET







**STELLENBOSCH**  
STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNICIPALITY • UMASIPALA • MUNISIPALITEIT

## **ANNEXURE C**





**STELLENBOSCH MUNICIPALITY**  
STELLENBOSCH·PNIEL·FRANSCHHOEK

# **MEMORANDUM**

**DIREKTEUR: INFRASTRUKTUURDIENSTE**  
**DIRECTORATE: INFRASTRUCTURE SERVICES**

---

**To ◦ Aan:** Director: Planning + Economic Development

**Att Aandag:** Nicole Katts

**From ◦ Van:** Principal Technician: Development (Infrastructure Services)

**Author ◦ Skrywer:** Abdullah Daniels

**Date ◦ Datum:** 13 December 2022

**Our Ref ◦ Ons Verw:** Civil LU 2405

**Your Ref:** LU/13597

**Re ◦ Insake:** Farm 1674/10, Paarl: Amendment of Conditions (In terms of Section 15(2)(h) of the Stellenbosch Municipal Land Use Planning By-Law (2015) to increase by on additional approximately 146.5m<sup>2</sup> (to be drawn from the approved 2500m<sup>2</sup> available for Tourist Facility: Wine tasting and sales) the extent of the approved Tourist Facility: Wine tasting and sales facility for sale of a broader selection of farm goods including wine and homeware; Application for the Amendment of the SDP in terms of Section 15(2)(l) of the Stellenbosch Municipal Land Use Planning By-Law (2015) to indicate the following: the additional approximately 146m<sup>2</sup> of the unexercised rights for "wine tasting and sales" to be taken up; the additional approximately 207.5m<sup>2</sup> of floor area for the old Wine Cellar / Werf Restaurant; the additional approximately 92.0m<sup>2</sup> of coverage for the old Wine Cellar / Werf Restaurant

---



The application is recommended for approval, subject to the following:

**1. Water**

- 1.1 The quality of the water stored and distributed by the owner has to comply with SANS 241 Drinking Water Quality Standards. Current proof of compliance must be available on request.

**2. Wastewater and Sewage**

- 2.1 Conservancy tanks or alternative solution must be provided, details and drainage layout plans must be provided at building plan stage.

**3. Solid Waste**

- 3.1 Please note: Solid waste must be removed from the site to a lawful solid waste disposal site in accordance with the requirements of section 26 of the National Environmental Management Waste Act 2008 (Act 59 of 2008).

**4. Roads**

- 4.1 Access is from a provincial road – please obtain approval from Provincial Roads Engineer.  
4.2 All conditions set by provincial authority must be adhere to.

**5. Electrical Engineering**

- 5.1 Refer to Annexure: Electrical



**Abdullah Daniels**  
**PRINCIPAL TECHNICIAN: DEVELOPMENT (INFRASTRUCTURE SERVICES)**

The application is recommended for approval, subject to the following:

**1. Water**

- 1.1 The quality of the water stored and distributed by the owner has to comply with SANS 241 Drinking Water Quality Standards. Current proof of compliance must be available on request.

**2. Wastewater and Sewage**

- 2.1 Conservancy tanks or alternative solution must be provided, details and drainage layout plans must be provided at building plan stage.

**3. Solid Waste**

- 3.1 Please note: Solid waste must be removed from the site to a lawful solid waste disposal site in accordance with the requirements of section 26 of the National Environmental Management Waste Act 2008 (Act 59 of 2008).

**4. Roads**

- 4.1 Access is from a provincial road – please obtain approval from Provincial Roads Engineer.  
4.2 All conditions set by provincial authority must be adhere to.

**5. Electrical Engineering**

- 5.1 Refer to **Annexure: Electrical**



**Abdullah Daniels**  
**PRINCIPAL TECHNICIAN: DEVELOPMENT (INFRASTRUCTURE SERVICES)**





**REFERENCE:** TPW/CFS/RP/LUD/REZ/SUB-25/47 (Job 22262)

**ENQUIRIES:** Ms G Swanepoel

**DATE:** 10 February 2021

Peter Mons, Professional Planning Consultant

PO Box 851

**ROBERTSON**

6705

Attention: Mr Peter Mons

Dear Sir

**PORTION 10 OF FARM BOSCHENDAL 1674, PAARL: MAIN ROAD 172 HELSHOOGTE ROAD:  
APPLICATION FOR ADDITIONAL USES**

1. The following refer:
  - 1.1 Your e-mail and attachments dated 5 January 2021 and the Notice of Land Development, Land Use Application ref. LU/11084 dated 14 December 2021;
  - 1.2 E-mail to you dated 9 February from Harry Thompson of this Branch and your e-mail response of the same date.
2. Portion 10 of Farm 1674 is part of the large Boschendal complex and is located a short distance north of Pniel, taking access from Main Road 172, the R310 Helshoogte Road.
3. The application is for Additional Use for Tourist Facilities, to permit outdoor areas to be used in conjunction with approved existing facilities in adjacent buildings, such as outdoor functions, restaurant seating and picnic areas, and including the Olive Press function facility for up to 500 guests and a weekend/evening country market catering for up to 1500 patrons. A further additional use is a 150m<sup>2</sup> reception area in a renovated existing building.
4. The existing access to Boschendal Estate from Main Road 172 Helshoogte Road has adequate shoulder sight distance. When a northbound right-turning vehicle is waiting to enter the property, there may at times be sufficient space to enable other northbound vehicles to pass on the left by using the shoulder and a section of the sloping concrete drainage channel, although if large numbers of vehicles are attempting to enter in a relatively short time frame, eg. for a large function, significant delays could occur to through traffic on Main Road 172.



5. It appears that the majority of the application relates to the regularising of uses which have been in place for some time. The times when most of these additional uses will be utilised will generally be off-peak and spread throughout the day and are therefore not likely to cause congestion. Larger functions may, however, impact traffic on Main Road 172.
6. Of concern is the internal road layout at the entrance. The access road has a T-intersection almost directly in front of the property boundary, with the road on the right-hand side taking traffic to Le Rhone and the road to the left taking traffic to Boschendal. This only provides space for 2 to 3 vehicles and the front vehicle would obstruct any following vehicle if the occupants are new to the property and have to read the notice boards on each side of the entry wall listing the many venues/facilities at Le Rhone and Boschendal respectively. The extent of the information on the signs and the relatively small size of the lettering means that they can only be read at close range. This could easily take 15 to 30 seconds and even if a staff member is on duty to direct visitors, that would take some time. This could result in queues spilling over into Main Road 172, possibly creating a safety hazard. This would be of particular concern when large events such as an evening market are scheduled.
7. In light of these concerns, it is recommended that the internal roads be changed so that the decision point at which visitors need to decide whether to proceed to Le Rhone or Boschendal be relocated further from the entrance gate, providing queuing space for following vehicles. As an interim measure, it is strongly recommended that in advance of any large function at the Olive Press or the weekend/evening market, a large temporary sign be erected at the entrance to direct attendees with minimal delay.
8. This Branch offers no objection to the application for Additional Uses on Portion 10 of Farm Boschendal 1674 Paarl as detailed above and in the land use application.
9. Should any future land use application for additional rights be received by this Branch, it is likely that a traffic study would be required to assess the functioning of the access, which may indicate the need for road upgrades at the Applicant's expense.

Yours Sincerely



**SW CARSTENS**  
**For DEPUTY DIRECTOR-GENERAL: ROADS**

