



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/12562

Our File Reference Number: Farm 1646/11, Paarl

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 808 8682

Email address: Ulrich.Vonmolendorff@stellenbosch.gov.za

PER E-MAIL [REDACTED]

Sir/Madam

APPLICATION FOR PERMANENT DEPARTURE: PORTION 11 OF FARM NO. 1646, PAARL DIVISION

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:

2.1 That the application for Permanent Departure in terms of Section 15(2)(b) of the Stellenbosch Municipal Land Use Planning By-Law 2015, to increase the building footprint from 600m² to 827m² to develop a dwelling house with a swimming pool, on Farm 1646, Portion 11, Paarl.

BE APPROVED in terms of Section 60 of the said Bylaw and subject to the following conditions in terms of Section 66 of said Bylaw:

- (a) The approval shall lapse if not acted upon within a period of five years from the date of approval.
- (b) The approval shall not be construed as authority to depart from any other Council requirements or legal provisions.
- (c) Building plans must be submitted to this Municipality for approval prior to any building work commencing on site.
- (d) The development must be undertaken generally in accordance with the site plan, ref no. 20-004/001, 19-000/001, 19-000/101, 19-000/201, 19-000/202, 19-000/203 and 19-000/204, drawn Red Atlantic Architecture, dated 2021/03/25 and 2020/02/05 attached as **Annexure B**.

3. The reasons for the above decision are as follows:

- 3.1 The scale and nature of the departures will have no impact on the character of the surrounding rural area.
- 3.2 The proposed dwelling unit is a single storey residential structure which is the norm in the rural area.
4. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.
5. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:
- (a) The personal particulars of the Appellant, including:
 - (I) First names and surname;
 - (II) ID number;
 - (III) Company of Legal person's name (if applicable)
 - (IV) Physical Address;
 - (V) Contact details, including a Cell number and E-Mail address;
 - (b) Reference to this correspondence and the relevant property details on which the appeal is submitted.
 - (c) The grounds of the appeal which may include the following grounds:
 - (i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);
 - (ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.
 - (d) whether the appeal is lodged against the whole decision or a part of the decision;

- (e) if the appeal is lodged against a part of the decision, a description of the part;
- (f) if the appeal is lodged against a condition of approval, a description of the condition;
- (g) the factual or legal findings that the appellant relies on;
- (h) the relief sought by the appellant; and
- (i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;
- (j) That the appeal includes the following declaration by the Appellant:
 - (i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
 - (ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.

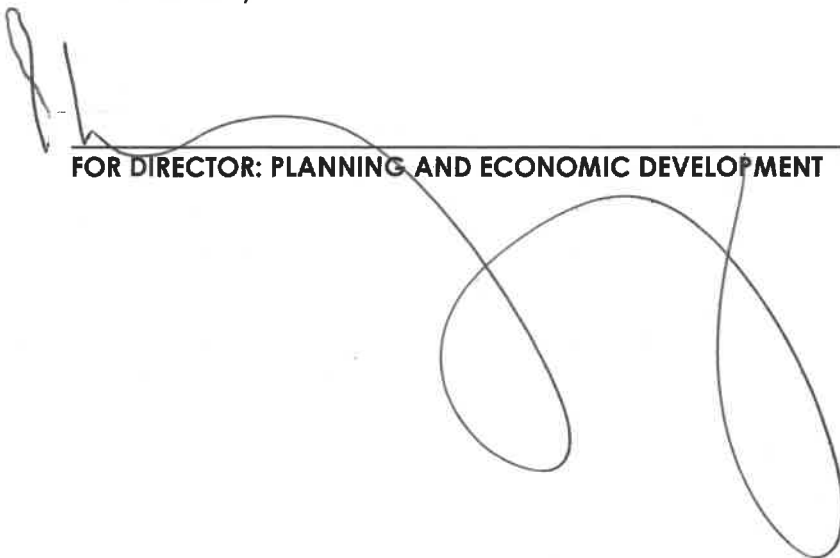
6. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address: landuse.appeals@stellenbosch.gov.za
7. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.
8. The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking details for the General Account can also be accessed on the municipal website (<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).
9. An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:

- (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
- (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
- (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
- (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.

10. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

11. Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully



A large, stylized handwritten signature in black ink, consisting of several loops and a long horizontal stroke, is written over a horizontal line.

FOR DIRECTOR: PLANNING AND ECONOMIC DEVELOPMENT

22/7/2022
DATE



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ANNEXURE B

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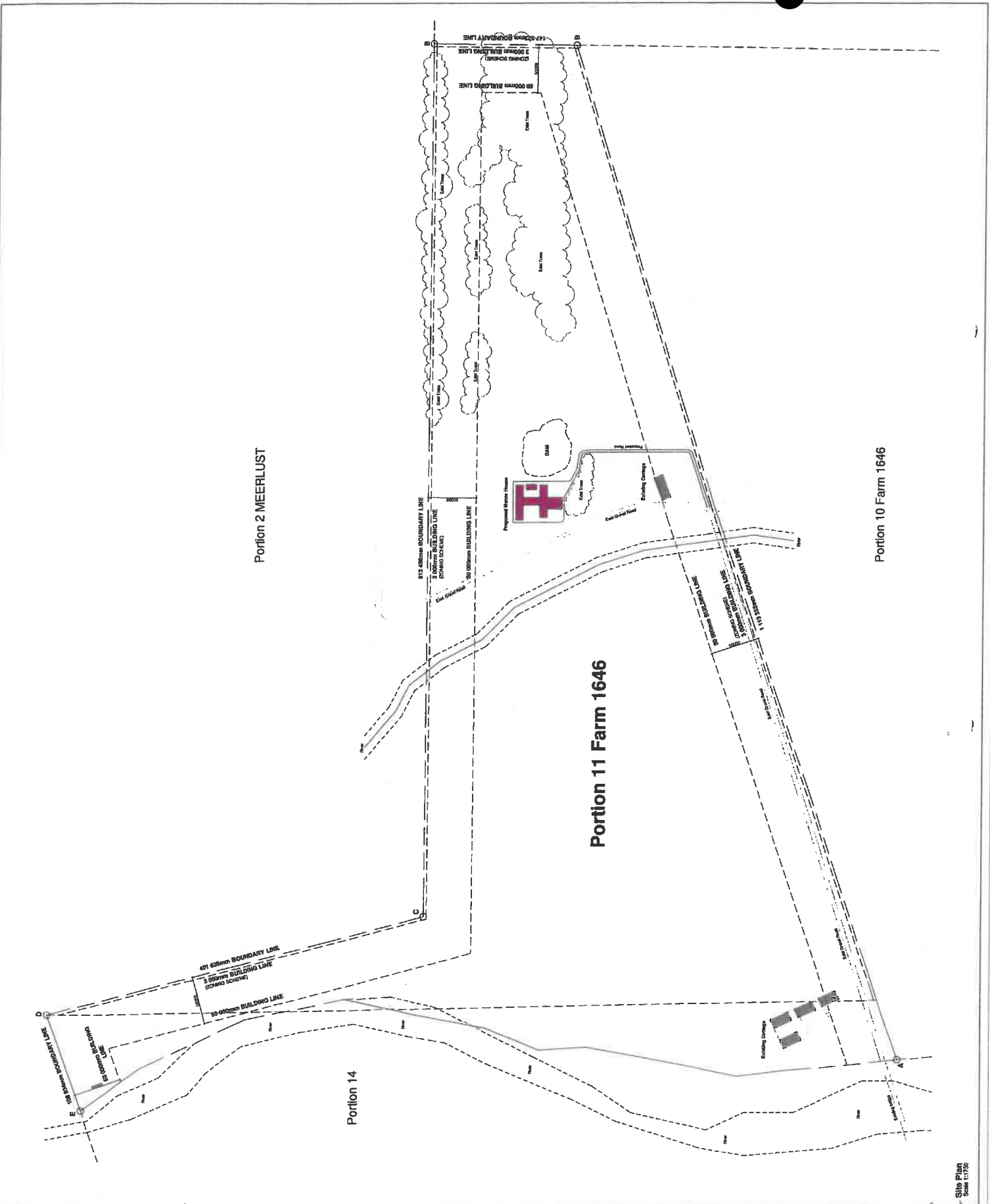
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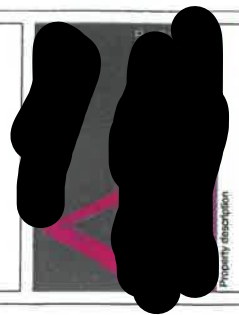


Portion 2 MEERLUST

Portion 11 Farm 1646

Portion 10 Farm 1646

Portion 14



Property description	Portion 11 Farm 1646, Two Rivers Farm, Pransfontein		
Project description	New Dwelling & Swimming pool		
Sheet description	Site Plan		
Project number	20-004	Sheet number	001
Project Date		Designed by	
Issue Date		Scale	As indicated
2021/05/25 15:25:25		Page Size	A1
		Project status	Correct
		Drawn by	

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NCA Approved Stamp

Manual Approval Stamp

H3 - Dwelling House

Erf Stellenbosch
Main Street

Project description
New Dwelling
Boundary Wall, Swimming Pool,
Pergola, Timber Deck

Floor Plans	
Project number	19-000
Sheet number	101
Project Date	RU
Designed by	RU
Scale	1:100
Page Size	A1



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HCMA Approval Stamp

Municipal Approval Stamp

H4 - Dwelling House

Property description: [Redacted]

Project description: New Dwelling, Boundary Wall, Swimming Pool, Pergola, Timber Deck

Project status: 19-000

Project number: 201

Project Date: [Redacted]

Issue Date: [Redacted]

Scale: As indicated

Page Size: A4

Designed by: [Redacted]

Drawn by: [Redacted]

Project status: [Redacted]

Project description: [Redacted]

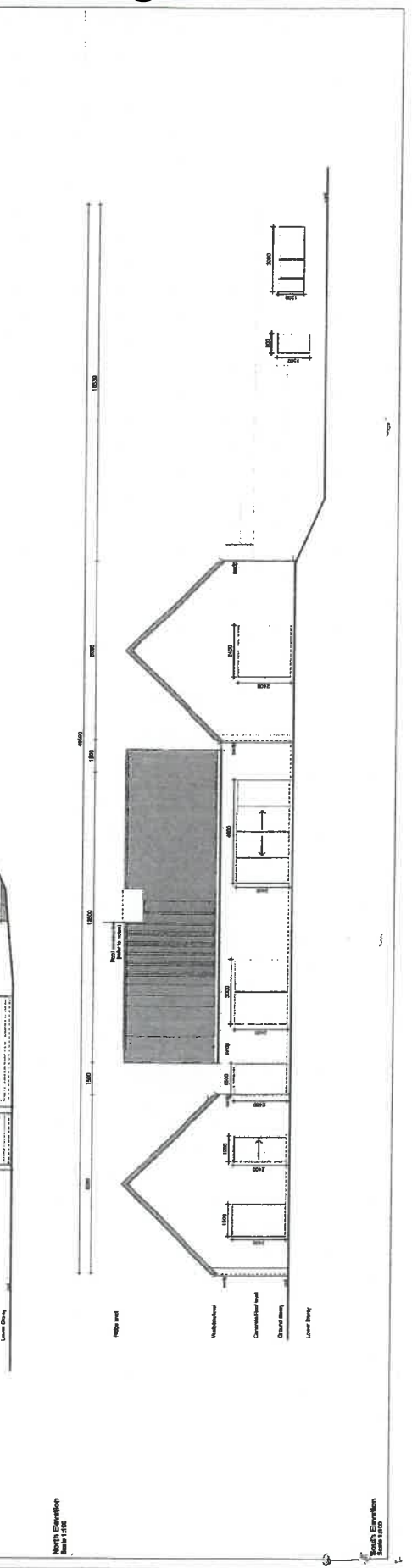
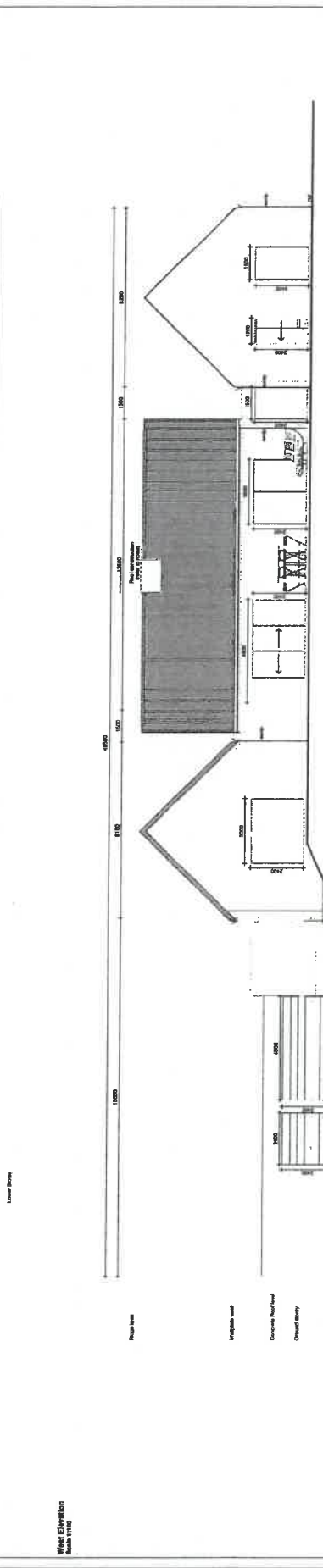
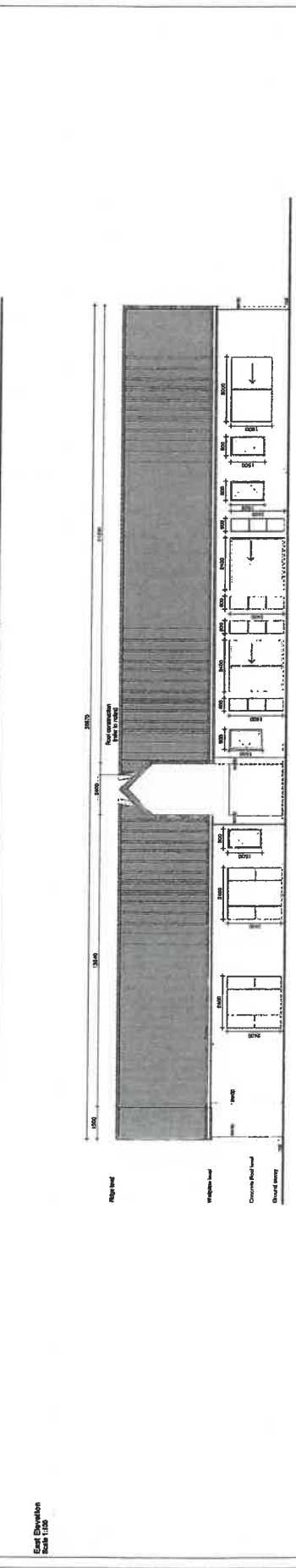
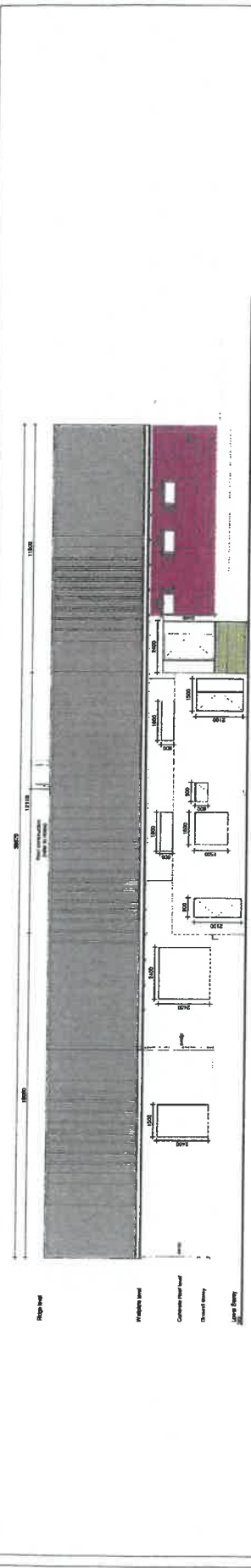
Project number: [Redacted]

Project Date: [Redacted]

Issue Date: [Redacted]

Scale: [Redacted]

Page Size: [Redacted]

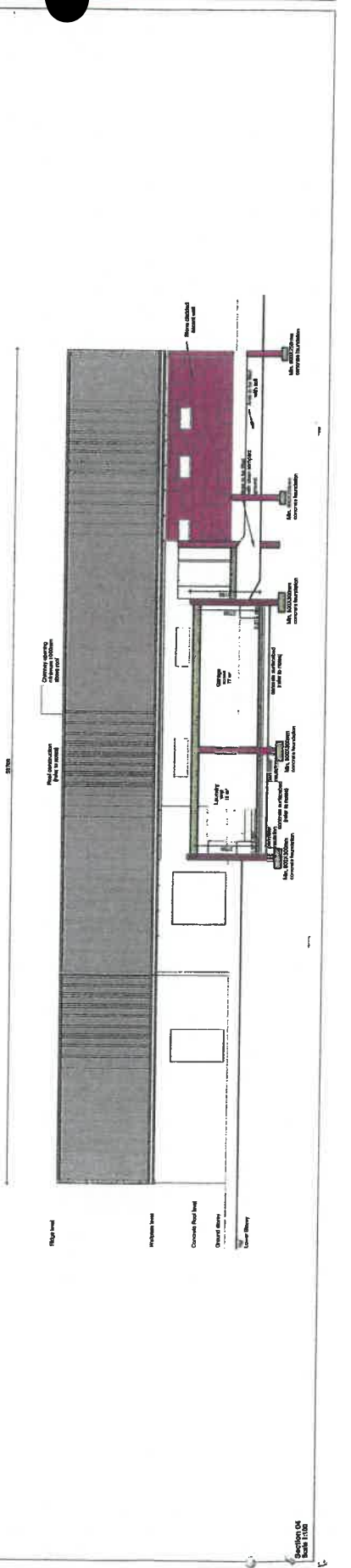
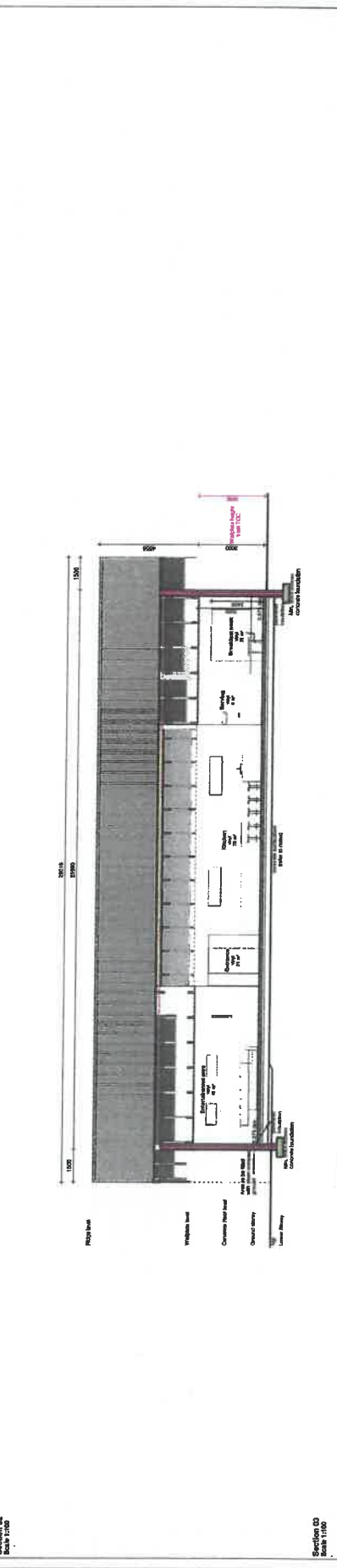
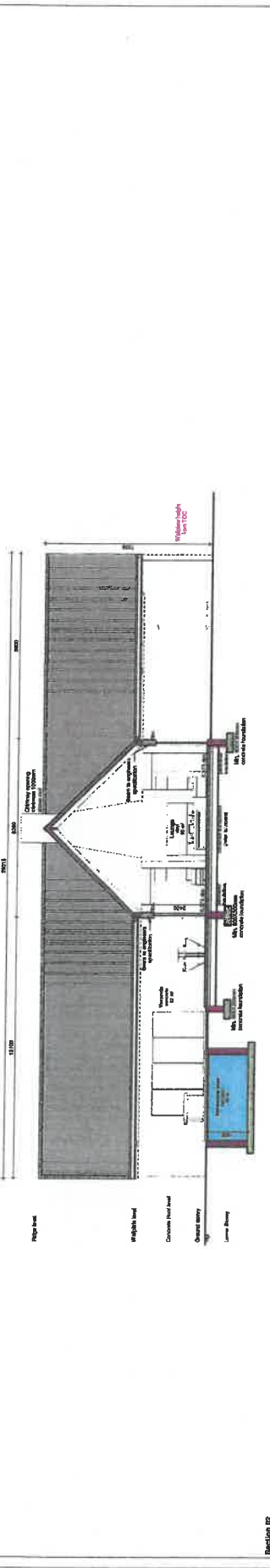
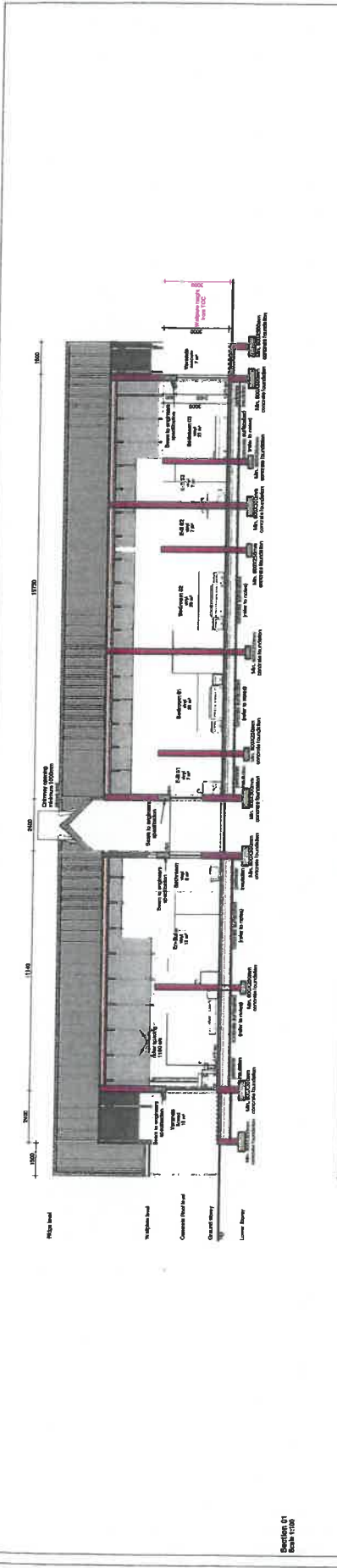


CONTRACTOR'S OBLIGATION: The contractor shall be responsible for the design of the structure. The contractor shall ensure that the design complies with the applicable building codes and regulations. The contractor shall ensure that the design is safe and sound and that it meets the requirements of the applicable building codes and regulations. The contractor shall ensure that the design is complete and that it includes all necessary details and specifications. The contractor shall ensure that the design is clear and concise and that it is easy to understand. The contractor shall ensure that the design is accurate and that it reflects the actual conditions of the site. The contractor shall ensure that the design is consistent with the project requirements and that it meets the needs of the client. The contractor shall ensure that the design is of high quality and that it is a credit to the profession. The contractor shall ensure that the design is innovative and that it provides a unique solution to the problem. The contractor shall ensure that the design is sustainable and that it takes into account the environmental impact of the project. The contractor shall ensure that the design is cost-effective and that it provides the best value for the money. The contractor shall ensure that the design is timely and that it is completed within the agreed-upon schedule. The contractor shall ensure that the design is flexible and that it can be adapted to changing circumstances. The contractor shall ensure that the design is collaborative and that it involves the client in the design process. The contractor shall ensure that the design is transparent and that it is easy to communicate. The contractor shall ensure that the design is professional and that it meets the standards of the profession. The contractor shall ensure that the design is ethical and that it is in the best interests of the client. The contractor shall ensure that the design is legal and that it complies with all applicable laws and regulations. The contractor shall ensure that the design is safe and that it does not pose any undue risk to the public. The contractor shall ensure that the design is sound and that it is based on sound engineering principles. The contractor shall ensure that the design is complete and that it includes all necessary details and specifications. The contractor shall ensure that the design is clear and concise and that it is easy to understand. The contractor shall ensure that the design is accurate and that it reflects the actual conditions of the site. The contractor shall ensure that the design is consistent with the project requirements and that it meets the needs of the client. The contractor shall ensure that the design is of high quality and that it is a credit to the profession. The contractor shall ensure that the design is innovative and that it provides a unique solution to the problem. The contractor shall ensure that the design is sustainable and that it takes into account the environmental impact of the project. The contractor shall ensure that the design is cost-effective and that it provides the best value for the money. The contractor shall ensure that the design is timely and that it is completed within the agreed-upon schedule. The contractor shall ensure that the design is flexible and that it can be adapted to changing circumstances. The contractor shall ensure that the design is collaborative and that it involves the client in the design process. The contractor shall ensure that the design is transparent and that it is easy to communicate. The contractor shall ensure that the design is professional and that it meets the standards of the profession. The contractor shall ensure that the design is ethical and that it is in the best interests of the client. The contractor shall ensure that the design is legal and that it complies with all applicable laws and regulations. The contractor shall ensure that the design is safe and that it does not pose any undue risk to the public. The contractor shall ensure that the design is sound and that it is based on sound engineering principles.

MMA Approved Stamp: [Redacted]

Matched Approval Stamp: [Redacted]

H4 - Dwelling House	
Property description:	Ef. Spilhabesch Main Street
Project description:	New Dwelling Boundary Wall, Swimming Pool, Pergola, Timber Deck
Sections	
Project number:	19-000
Sheet number:	202
Project Date:	2023/11/13
Issue Date:	2023/11/13
Project Status:	Consolidation
Designed by:	[Redacted]
Drawn by:	[Redacted]
Scale:	As Indicated
Page Size:	A3



Section E1
Scale 1:100

Section E2
Scale 1:100

Section E3
Scale 1:100

Section E4
Scale 1:100

