



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/9759

Our File Reference Number: Farm 1460, Stellenbosch

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 – 808 8682

Email address: Ulrich.Vonmolendorff@stellenbosch.gov.za

PER E-MAIL: [REDACTED]

Sir / Madam

APPLICATION FOR A CONSENT USE AND TECHNICAL APPROVAL: FARM 1460, STELLENBOSCH DIVISION

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:
 - 2.1 That the following applications in terms of the Stellenbosch Municipal Land Use Planning By-Law, promulgated by notice number 354/2015, dated 20 October 2015, on Farm 1460, Stellenbosch Division namely:
 - 2.1.1 The consent use in terms of Section 15(2)(o) of the said Bylaw in order to utilise an existing building ($\pm 400\text{m}^2$) as a tourist accommodation establishment with 7 guestrooms;
 - 2.1.2 The consent use in terms of Section 15(2)(o) of the said Bylaw for a tourist facility for the purpose of utilising an existing building ($\pm 500\text{m}^2$) as a function venue with the capacity of 120 guests;
 - 2.1.3 Permission in terms of the zoning scheme for a Technical Approval in terms of Section 15(2)(g) of the said Bylaw for an agricultural industry ($< 2000\text{m}^2$) for the purpose of utilising an existing building ($\pm 500\text{m}^2$) as a 20 ton wine cellar;

BE APPROVED in terms of Section 60 of the said Bylaw and subject to conditions of approval.

3. The approval is subject to the following **conditions** imposed in terms of Section 66 of the said Bylaw:
 - 3.1 The approval only applies to the consent use and permission in terms of the zoning scheme application under consideration, as indicated on the referenced Site Development Plan (Tekening nr. 5) dated May 2019, attached as **Annexure A** and shall not be construed as authority to depart from any other legal prescriptions or requirements from Council or other legislation or Bylaws or Regulations that may be applicable.
 - 3.2 The development must be generally undertaken in accordance with the Floor Plan Guest Room Building (Drawn by E. S. Albertyn) dated 18 October 2019, the Floor Plan Wine Cellar (Vloerplan Wynkelder) (Drawn by E. S. Albertyn) dated November 2011, and the Floor Plan Function Hall (Drawn by E. S. Albertyn) dated September 2012, attached as **Annexure A**.
 - 3.3 The approval granted shall not exempt the applicant from complying with any other legal prescriptions or requirements that might have a bearing on the proposed use.
 - 3.4 Building plans must be generally in accordance with the with the Floor Plan Guest Room Building (Drawn by E. S. Albertyn) dated 18 October 2019, the Floor Plan Wine Cellar (Vloerplan Wynkelder) (Drawn by E. S. Albertyn) dated November 2011, and the Floor Plan Function Hall (Drawn by E. S. Albertyn) dated September 2012, attached as **Annexure A**.
 - 3.5 Building plans must be submitted for all changes of use in the existing buildings and which building plan(s) must be approved and related occupancy certificates be issued prior to the vesting of any of the related approvals.
 - 3.6 Sufficient on-site parking must be provided in accordance with the provisions of the Zoning Scheme Bylaw to the satisfaction of the Municipality.
 - 3.7 The tourist accommodation establishment be accommodated within an existing building with and be limited to a maximum of 7 guestrooms, accommodating a maximum of 14 guests.
 - 3.8 The agricultural industry (wine cellar) be accommodated within the existing building and that the area be limited to $\pm 500\text{m}^2$.
 - 3.9 The tourist facility (function venue) be accommodated within the existing building with a maximum total floor area of $\pm 500\text{m}^2$ and be limited to 120 guests.

- 3.10 At least 50% of the produce used for agricultural industry (wine cellar) shall be grown or produced on Farm 1460, Stellenbosch Division.
- 3.11 The agricultural industry should be subservient or related to the dominant agricultural use of the property and/or surrounding farms.
- 3.12 The conditions imposed by the Director: Infrastructure Services as contained in their memo dated 05 February 2021, attached as **Annexure E**, be complied with.
- 3.13 The conditions imposed by the Health Department (Cape Winelands District Municipality) as contained in their emails dated 30 June 2021 and 21 May 2021, attached as **Annexure F**, be complied with.
- 3.14 The conditions imposed by Transport and Public Works: Roads (Provincial) as contained in their letter dated 12 April 2021, attached as **Annexure F**, be complied with.
- 3.15 Development charges are payable in accordance with the prevailing and applicable Council Tariffs at the time of payment prior to the approval of any building plans or as may be agreed on in writing with the Director: Infrastructure Services.

4. **The reasons for the above decision are as follows:**

- 4.1 The land uses as applied for are accommodated within exiting previously underutilised buildings on the farm. None of the agricultural land on the farm will be converted to make provision for non-agricultural activities and the application will therefore not undermine the sustainability of agricultural activities on the farm.
- 4.2 The land uses as applied for are ancillary to the agricultural activities on the farm and serves as the diversification of farm income through appropriate means.
- 4.3 The land uses as applied for are compatible with the surrounding area. Similar tourism related and agricultural industry land uses are currently conducted from the surrounding farms.

5. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.

6. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:
 - (a) The personal particulars of the Appellant, including:
 - (I) First names and surname;
 - (II) ID number;
 - (III) Company of Legal person's name (if applicable)
 - (IV) Physical Address;
 - (V) Contact details, including a Cell number and E-Mail address;
 - (b) Reference to this correspondence and the relevant property details on which the appeal is submitted.
 - (c) The grounds of the appeal which may include the following grounds:
 - (i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);
 - (ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.
 - (d) whether the appeal is lodged against the whole decision or a part of the decision;
 - (e) if the appeal is lodged against a part of the decision, a description of the part;
 - (f) if the appeal is lodged against a condition of approval, a description of the condition;
 - (g) the factual or legal findings that the appellant relies on;
 - (h) the relief sought by the appellant; and
 - (i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;
 - (j) That the appeal includes the following declaration by the Appellant:
 - (i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct

- (ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.
7. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address: landuse.appeals@stellenbosch.gov.za
8. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.
9. The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking details for the General Account can also be accessed on the municipal website (<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).
10. An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
- (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
- (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
- (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
- (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.
11. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

12. Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully



FOR: DIRECTOR PLANNING AND ECONOMIC DEVELOPMENT

DATE:

1/12/2022



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ANNEXURE A

LOCALITY MAP, SITE DEVELOPMENT PLAN, AND
SITE PLANS

Locality of Farm 1460, Stellenbosch

SCALE

1:36 111,91

Legend

-  Airfields
-  High Way
-  Provincial
-  Arterial
-  Main

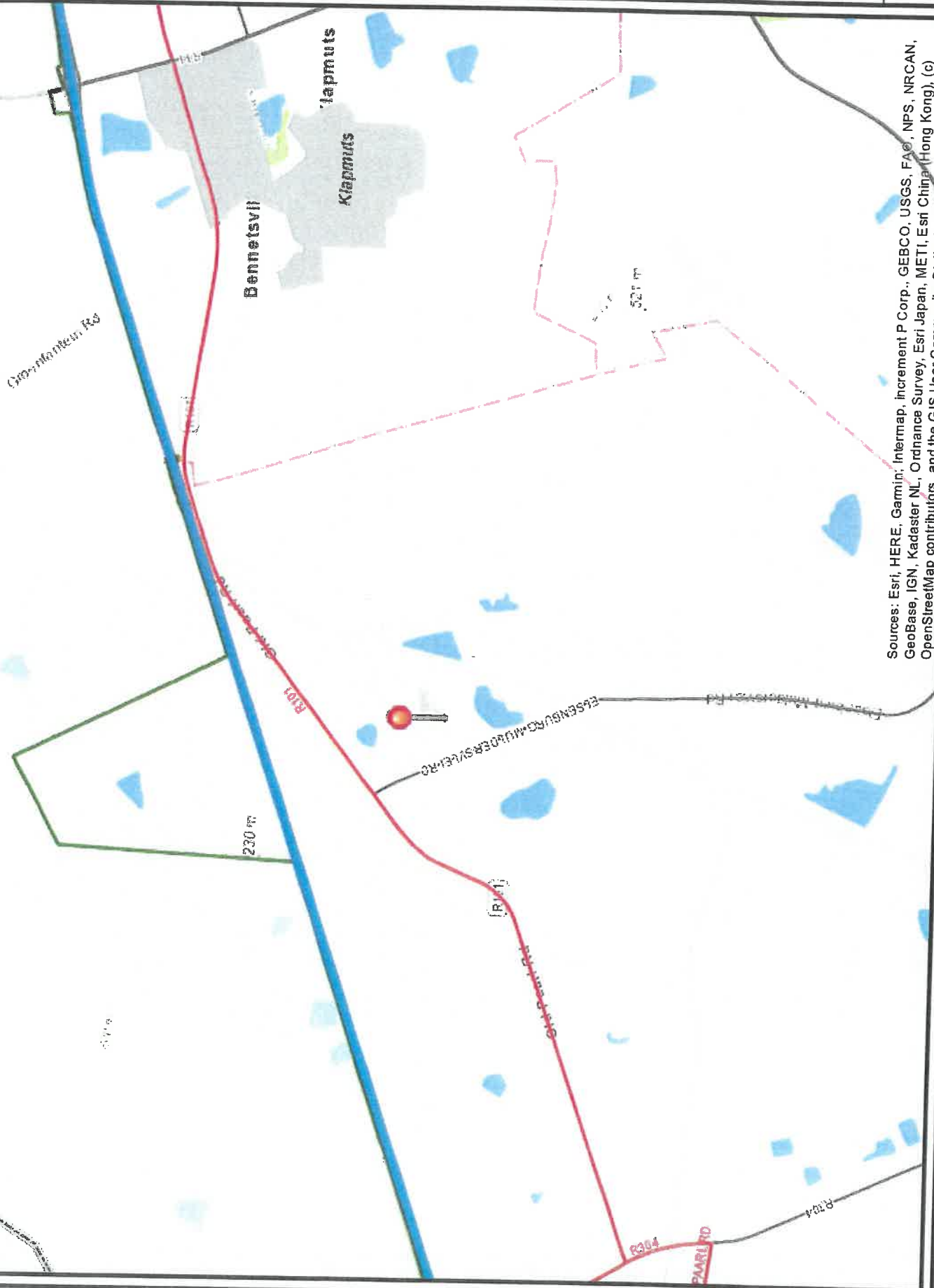


Stellenbosch Municipality
 Planning & Economic Development
 Created by: Corporate GIS
 Date: 2022/08/08



Stellenbosch Municipality
 Street Address:
 71 Plein Street, Stellenbosch, 7600
 Tel: 021 808 8658

This map was prepared for the information of the user and does not constitute a warranty or guarantee of accuracy. The user assumes full responsibility for any errors or omissions that may occur. The user acknowledges that the map is a representation of the current state of affairs and is not intended to be used as a basis for any legal or financial decisions.



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community, Stellenbosch Municipality

Proposed Guest Rooms ±400m²



Proposed Function Venue ±500m²



Proposed Wine Cellar ±500m² to



(P) Proposed Parking area



Project:

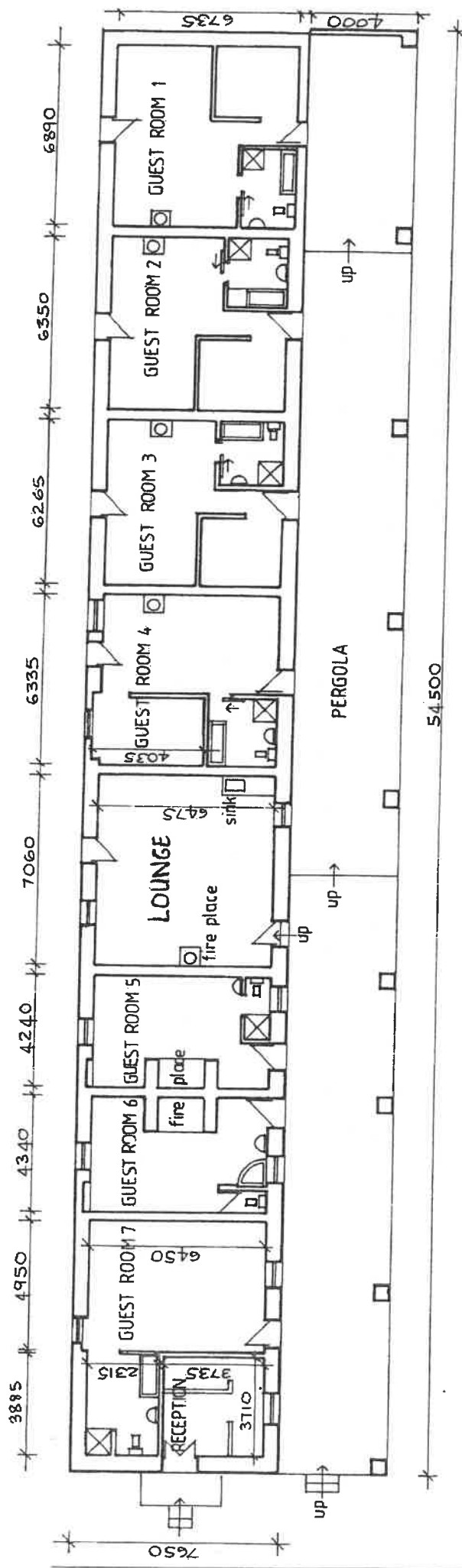
Description:

Site Development Plan

STARKE

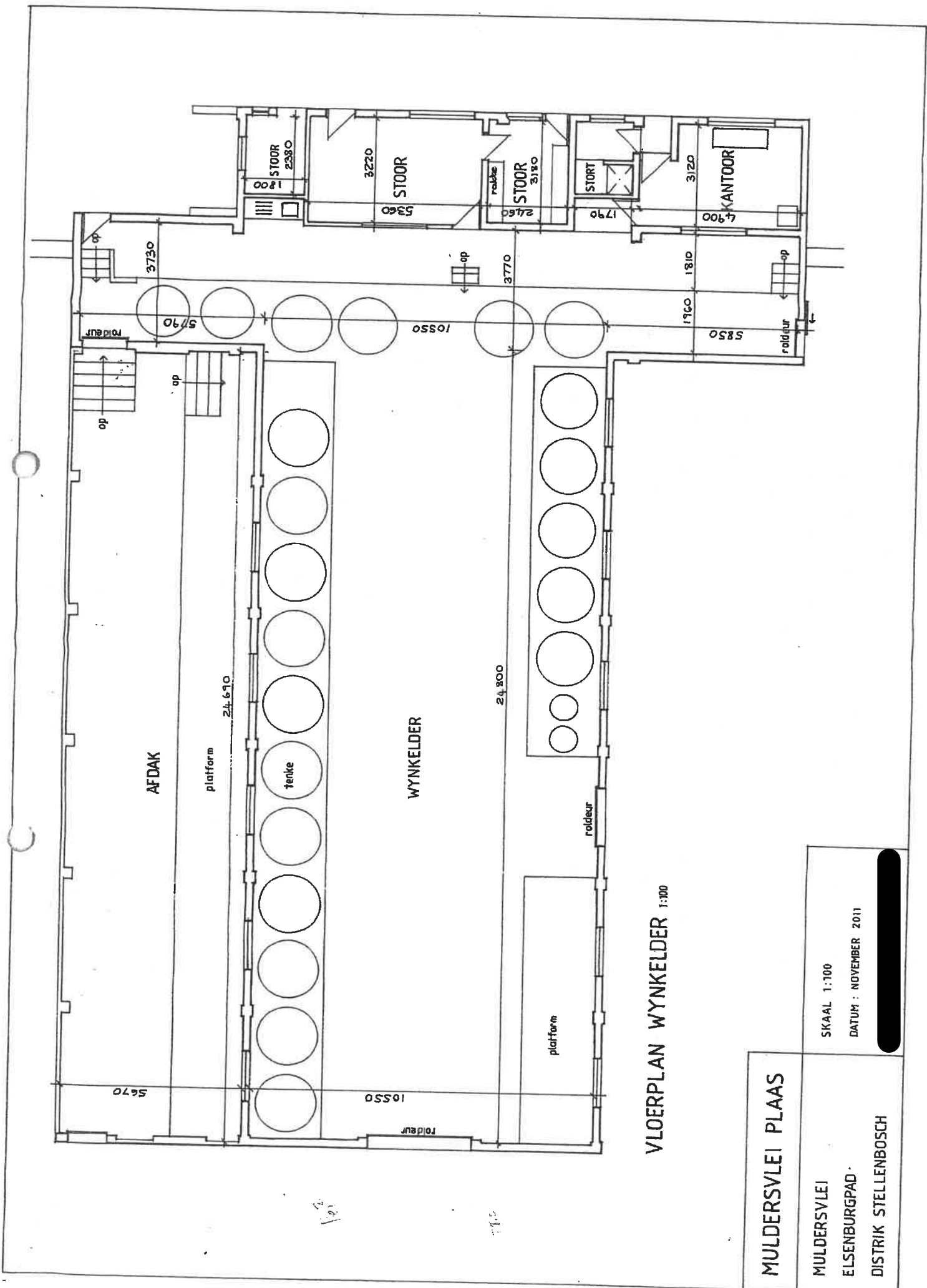
Client	M.T.S	License	# 10-139
Taken	P.J.R	Drawn	MAY 2018
Rev	P.J.R	Thumbing	5





FLOOR PLAN GUEST ROOM BUILDING MULDERSVLEI ESTATE SCALE 1:200

MULDERSVLEI ESTATE GUEST ROOM BUILDING	
EISENBURG ROAD STELLENBOSCH	
DRAWN: [REDACTED]	DATE: 18 OCTOBER 2019



VLOERPLAN WYNKELDER 1:100

<p>MULDERSVLEI PLAAS</p>	<p>SKAAL 1:100 DATUM : NOVEMBER 2011</p>
<p>MULDERSVLEI ELSENBURGPAD DISTRIK STELLENBOSCH</p>	<p>[Redacted]</p>

MULDERSVLEI ESTATE

EISENBURG ROAD (off R44)
STELLENBOSCH

FLOOR PLAN FUNCTION HALL

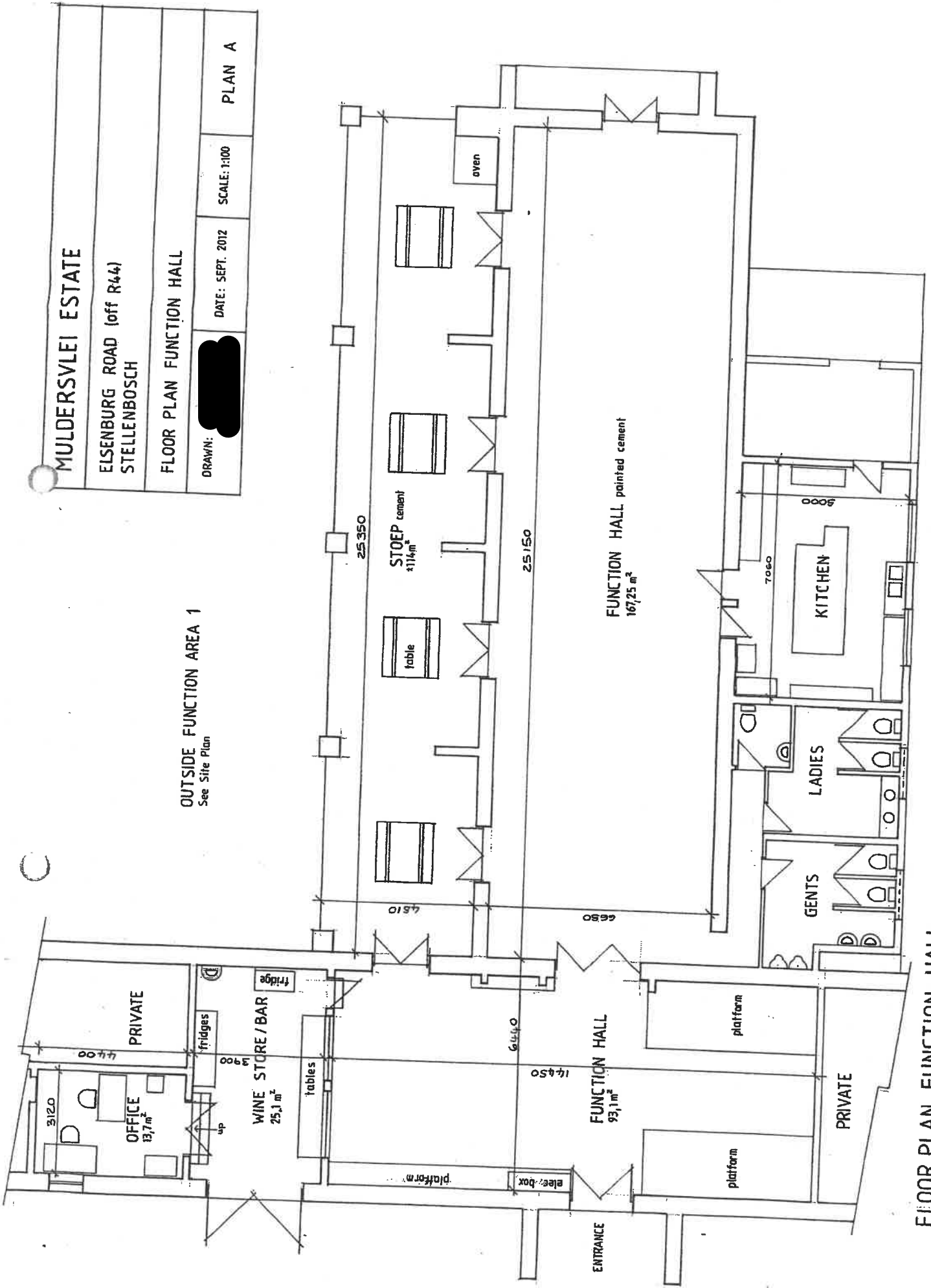
DRAWN: [REDACTED]

DATE: SEPT. 2012

SCALE: 1:100

PLAN A

OUTSIDE FUNCTION AREA 1
See Site Plan



FLOOR PLAN FUNCTION HALL 1:100



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ANNEXURE E

INTERNAL DEPARTMENTS' COMMENTS

2. Waste Water and Sewage: Sewer is treated by "septic tanks" – 8.5 of planning report

- 2.1 Use of existing septic tanks to collect and treat sewage generated by the proposed development is not allowed.
- 2.2 The existing septic-tank and soak-away has to be replaced by a more environmentally friendly process i.e. conservancy tanks.
- 2.3 Where a conservancy tank is considered, the following guidelines apply – please address this in your report:
- 2.3.1 The conservancy tank must be accessible to the removal truck and of a volume to necessitate not more than a fortnightly service, unless agreed otherwise by the Directorate: Infrastructure Services.
 - 2.3.2 The surface / layerworks of such access should be designed to accommodate at least a 15 ton / 10 000litre service vehicle.
 - 2.3.3 The required volume of the conservancy tank/s must be determined by a suitably qualified professional.
 - 2.3.4 The minimum volume of a conservancy tank shall be 5 kiloliter.
 - 2.3.5 Note that only Stellenbosch Municipality is allowed to empty conservancy tanks.
 - 2.3.6 A service contract has to be entered into with the municipality to service the conservancy tanks on a regular basis.
- 2.4 Details of the conservancy tank and the on-site sewer reticulation network has to be submitted to the Engineering Services Directorate for approval, prior to the approval of any building plans.
- 2.5 Waste water and sewage may not pollute any ground water, stormwater and surface water.

3. Solid Waste

- 3.1 The Developer will be responsible for the removal of solid waste from the Development. Solid waste must be removed from the site to a legal solid waste disposal site in accordance with the requirements of section 20 of the Environmental Conservation Act 1989 (Act 73 of 1989).

4. Roads

- 4.1 The application has to be referred to the District Roads Engineer for comments and conditions.
- 4.2 All the conditions set by the District Roads Engineer will be applicable.
- 4.3 Sufficient parking must be provided and indicated on the SDP at building plan submission stage.

5. Development Charges (DCs)

- 5.1 The following DC's are payable: See **Development Charge Calculation** attached.
- 5.2 The DC's were calculated by using the 2020/2021 tariff structure. If DC's are paid after 30 June 2021 it will have to be recalculated by using the tariff structure applicable at date of payment.
- 5.3 The appropriate DC's are payable before building plan approval.

6. Electrical Engineering

- 6.1 Refer to **Annexure: Electrical**



**TYRONE KING Pr Tech Eng
MANAGER: DEVELOPMENT (INFRASTRUCTURE SERVICES)**

W:\2.0 DEVELOPMENT\00 Developments\2130 (TK) Farm 1460 Stellenbosch (LU-9759)\2130 (TK) Farm 1460 Stellenbosch (LU-9759).doc

Stellenbosch Municipality - Development Charge Calculation



APPLICATION INFORMATION

Application Number DC 2130 (TK) Farm 1460 Stellenbosch (LU-9759)
Date Friday, 05/Feb/2021
Financial Year 2020/21
Erf Location
Erf No
Erf Size (m²)
Suburb
Applicant
Approved Building Plan No.
Planning motivation report - Section 5

SUMMARY OF DC CALCULATION

Unit(s)	Water l/day	Sewer l/day	Storm-water ha°C	Solid-Waste l/week	Roads trips/day	Community Facilities person	Totals
Total Increased Services Usage	0.060	0.350	0.000	0.065	22.95	23.0	
Total Development Charges before Deductions				R 4 279.34	R 174 406.63	R 9 779.00	R 188 464.98
Total Deductions							
Total Payable (excluding VAT)				R 4 279.34	R 174 406.63	R 9 779.00	R 188 464.98
VAT				R 641.90	R 26 160.99	R 1 466.85	R 28 269.75
Total Payable (including VAT)				R 4 921.25	R 200 567.62	R 11 245.85	R 216 734.72

APPLICANT INFORMATION

Application Processed by: Tyrone King
Signature
Date
Amount Paid:
Date Payment Received
Receipt Number

Guest house: Credit for ex mannaer house 417m2 footprint, DC for 7 guest rooms.
 Function Venue: Credit for ex cellar (Industrial - heavy (manufacture)); DC for 260 GLA Function venue.

As above

Farm 1460

GENERAL COMMENT:

1. Outside Stellenbosch area of supply.
2. All Electrical requirements should be directed to Eskom.

CONDITIONS

3. . All electrical work to comply with SANS142 and Municipal electrical by-laws

Bradley Williams

Date.....29/01/2021.....



Signature



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ANNEXURE F

EXTERNAL DEPARTMENTS' COMMENTS

22

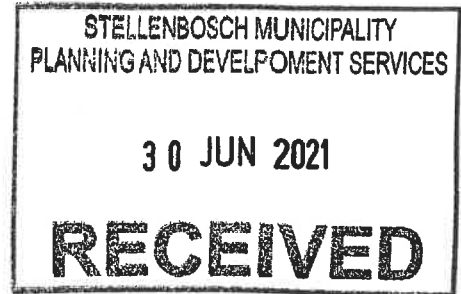
Charlene Williams

From: Nicole Katts
Sent: 30 June 2021 08:43 AM
To: Charlene Williams
Subject: FW: FARM 1460 STELLENBOSCH (LU/9759): APPLICATION FOR A CONSENT USE - DEPARTMENTAL COMMENTS - HEALTH (COMMENTS BY EMAIL)

Hi Charlene

Ek vertrou dat dit goed gaan.

Plaas asb op leer.



Kind regards / Vriendelike Groete

Nicole Katts

Administrative Officer
Land Use Management
Planning & Economic Development

T: +27 21 808 8318
43 Andringa Str, Eikestad Mall, 3rd
Floor
www.stellenbosch.gov.za



FILE NR:
SCAN NR:
F 1460 S
COLLABORATOR NR:
709108

Disclaimer and confidentiality note: The legal status of this communication is governed by the terms and conditions published at the following link:
http://www.stellenbosch.gov.za/main_pages/disclaimerpage.htm

From: Leandre Candice Davids [mailto:leandre@capewinelandsgov.za]
Sent: Wednesday, 30 June 2021 08:34
To: Nicole Katts <Nicole.Katts@stellenbosch.gov.za>
Cc: Ferencia September <ferencia@capewinelandsgov.za>
Subject: [EX] RE: FARM 1460 STELLENBOSCH (LU/9759): APPLICATION FOR A CONSENT USE - DEPARTMENTAL COMMENTS - HEALTH (COMMENTS BY EMAIL)

ERF / FARM NUMBER & APPLICATION NUMBER: Farm 1460, Stellenbosch Division

DESCRIPTION OF THE PROPOSAL:

Application is made in terms of Section 15(2)(o) of the Stellenbosch Municipal Land Use Planning By-Law dated 20 October 2015 for *consent use* in order to utilize an existing building (7 bedrooms) for tourist accommodation on Farm 1460, Stellenbosch Division.

From an environmental health perspective, this application may be recommended for approval; provided that the following conditions are complied with:

1. Environmental pollution

1.1 No pollution such as water, air, dust or noise pollution may occur on any part of the premises during the operational phase of the proposed development. Proper preventative measures must be put in place beforehand.

2. Potable water/Storm water

2.1 The quality of the potable water on the premises must at all times comply with the minimum bacteriological and chemical standards for potable water, as determined by SANS code 241.

3. Solid waste disposal

3.1 Refuse collection and storage must be done in a way that will not cause a health nuisance.

4. Sewerage/Sanitary facilities

4.1 The sewerage system from the proposed development must be connected to an approved sewerage system according to Stellenbosch Municipality's specifications, conditions and approval.

4.2 Sewage disposal on the premises must at all times take place in a nuisance-free manner and shall be the owner's responsibility.

5. Food Control

5.1 All planned food premises including the Wine Cellar/ Venue Kitchen and Restaurant for guesthouse must apply for a Certificate of Acceptability at this Department before any operation.

6. General conditions

6.1 This Department reserves the right to set further requirements during the operational phase.

Please contact me if you have any further questions or comments in this regard.

Yours faithfully



Leandre Davids
HEALTH OFFICER/INSPECTOR
for MUNICIPAL MANAGER

From: Nicole Katts <Nicole.Katts@stellenbosch.gov.za>

Sent: Friday, 29 January 2021 11:49

To: Fabian van Wyk <fabian@capewineland.gov.za>; Leandre Candice Davids <leandre@capewineland.gov.za>

R

Charlene Williams

From: Nicole Katts
Sent: 21 May 2021 01:29 PM
To: Charlene Williams
Subject: FW: FARM 1460 STELLENBOSCH (LU/9759): APPLICATION FOR A TECHNICAL APPROVAL - DEPARTMENTAL COMMENTS - HEALTH (COMMENTS BY EMAIL)

STELLENBOSCH MUNICIPALITY
PLANNING AND DEVELOPMENT SERVICES
21 MAY 2021
RECEIVED

From: Leandre Candice Davids [mailto:leandre@capewineland.gov.za]
Sent: Friday, 21 May 2021 13:24
To: Nicole Katts
Cc: Ferencia September; Fabian van Wyk
Subject: [EX] RE: FARM 1460 STELLENBOSCH (LU/9759): APPLICATION FOR A TECHNICAL APPROVAL - DEPARTMENTAL COMMENTS - HEALTH (COMMENTS BY EMAIL)

REF / FARM NUMBER & APPLICATION NUMBER: Farm 1460, Stellenbosch Division

DESCRIPTION OF THE PROPOSAL:

Application is made in terms of Section 15(2)(g) of the Stellenbosch Municipal Land Use Planning By-Law dated 20 October 2015 for *permission in terms of the zoning scheme* for the following additional uses: a. Agricultural Industry (<2000m²) for the purpose of a 20 ton wine cellar inside an existing building; b. Tourist facility to facilitate a functions venue and reception inside an existing building with a capacity of 120 guests.

APPLICANT: PJ Le Roux
PROPERTY ADDRESS: DR1090 (Muld/Hoop Rd)

SCAN NR:
F 1460 S
COLLABORATOR NR: 707313

From an environmental health perspective, this application may be recommended for approval; provided that the following conditions are complied with:

1. Environmental pollution
 - 1.1 No pollution such as water, air, dust or noise pollution may occur on any part of the premises during the operational phase of the proposed development. Proper preventative measures must be put in place beforehand.
2. Potable water/Storm water
 - 2.1 The quality of the potable water on the premises must at all times comply with the minimum bacteriological and chemical standards for potable water, as determined by SANS code 241.
3. Solid waste disposal
 - 3.1 Refuse collection and storage must be done in a way that will not cause a health nuisance.
4. Sewerage/Sanitary facilities

4.1 The sewerage system from the proposed development must be connected to an approved sewerage system according to Stellenbosch Municipality's specifications, conditions and approval.

4.2 Sewage disposal on the premises must at all times take place in a nuisance-free manner and shall be the owner's responsibility.

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5.1 All planned food premises including the Wine Cellar/ Venue Kitchen and Restaurant for guesthouse must apply for a Certificate of Acceptability at this Department before any operation.

6. General conditions

6.1 This Department reserves the right to set further requirements during the operational phase.

Please contact me if you have any further questions or comments in this regard.

Yours faithfully



Leandre Davids
HEALTH OFFICER/INSPECTOR
for MUNICIPAL MANAGER

From: Ferencia September <ferencia@capewinlands.gov.za>

Sent: Friday, 21 May 2021 09:19

To: Leandre Candice Davids <leandre@capewinlands.gov.za>

Subject: FW: FARM 1460 STELLENBOSCH (LU/9759): APPLICATION FOR A TECHNICAL APPROVAL - DEPARTMENTAL COMMENTS - HEALTH (COMMENTS BY EMAIL)

Follow-up

From: Nicole Katts <Nicole.Katts@stellenbosch.gov.za>

Sent: Friday, 29 January 2021 11:48

To: Fabian van Wyk <fabian@capewinlands.gov.za>; Leandre Candice Davids <leandre@capewinlands.gov.za>

Subject: FARM 1460 STELLENBOSCH (LU/9759): APPLICATION FOR A TECHNICAL APPROVAL - DEPARTMENTAL COMMENTS - HEALTH (COMMENTS BY EMAIL)

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You shared files with fabian@capewinlands.gov.za leandre@capewinlands.gov.za.

15



TRANSPORT & PUBLIC WORKS: ROADS
Chief Directorate: Road Planning
Email: grace.swanepoel@westerncape.gov.za
Tel: +27 21 483 4669
Room 335, 9 Dorp Street, Cape Town, 8001
P.O. Box 2603, Cape Town, 8000

REFERENCE: TPW (Job 28404)
ENQUIRIES: Ms G Swanepoel
DATE: 12 April 2021



Director: Planning & Economic Development
Stellenbosch Municipality
PO Box 17
STELLENBOSCH
7599



Attention: Mr Ulrich von Molendorff

FILE NR: []
SCAN NR: F 14603
COLLABORATION NR: 706077

Dear Sir

FARM 1460 STELLENBOSCH – MULDESVLEI: DIVISIONAL ROAD 1090 AND MINOR ROAD 5216: FARM 1460 STELLENBOSCH – MULDESVLEI: APPLICATION FOR CONSENT USE AND TECHNICAL APPROVAL

1. Letter to this Branch from P-J Le Roux Town & Regional Planners, ref. H 10-133, Land Use Application LU/9759, dated 4 March 2021 and attached land use application refer.
2. Farm 1460 Stellenbosch is located ±5km west of Klapmuts and south of the N1 Main Road 189, R101 Old Paarl Road and is accessed via Divisional Road 1090, the Muldersvlei Road and the 40m long Minor Road 5216, which forms part of a continuous tree-lined avenue from DR1090 to the farmhouse and yard of Farm 1460. The access from Minor Road 5216 onto DR1090 is located ±600m south of the intersection of DR1090 with MR 189 Old Paarl Road.
3. The application is for:
 - 3.1 Consent Use to permit an existing building with seven bedrooms to be used for guest accommodation and
 - 3.2 Technical Approvals for:
 - 3.2.1 Agricultural Industry, to permit a wine cellar in an existing building and
 - 3.2.2 Tourist Facility, to permit functions and receptions for up to 120 guests to be held in an existing building.

4. The traffic generation of the proposed land uses would be modest, with functions being the most significant generators of trips, but the volumes would not warrant a right turn lane on Divisional Road 1090.
5. The intersection of the access road (Minor Road 5216) is at a 120° angle relative to DR1090 for vehicles approaching from the north. The existing access is 5m to 6m wide at its entrance and needs to be widened to allow two-way traffic and easier turns.
6. This Branch offers no objection to the land use application for Rem. Farm 1460 as detailed above and in the land use application, subject to the following conditions:
 - 6.1 The access shall be widened at the Applicant's expense in accordance with this Branch's standard design for a main farm access, taking into account the angle of intersection and any drainage considerations;
 - 6.2 A concrete edge beam shall be installed to protect the edge of the surfaced carriageway on Divisional Road 1090 and
 - 6.3 The Applicant's Engineer shall obtain the approval of the District Roads Engineer, Paarl (e-mail: Eloy.Smith@westerncape.gov.za) for the design and for traffic management during construction prior to commencement of construction.

Yours Sincerely



SW CARSTENS

For DEPUTY DIRECTOR-GENERAL: ROADS