



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/12307

Our File Reference Number: Farm 1213/11(Erf 101), Johannesburg

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 – 808 8682

Email address: Ulrich.Vonmolendorff@stellenbosch.gov.za

PER E-MAIL: [REDACTED]

Sir / Madam

APPLICATION FOR DEPARTURE: FARM 1213/11 (ERF 101), JOHANNESDAL

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:
 - 2.1 That the application for a Departure on **Erf 101(Farm: 1213/11 JD)** in terms of Section 15 (2) (b) of the Stellenbosch Municipal Land Use Planning Bylaw 2015; in order to relax the street building line from **4m to 1.75m** and the side building line from **2m to 0.84m**.

BE APPROVED in terms of Section 60 of the said bylaw and subject to the following conditions in terms of Section 66 of the said Bylaw:

2.2 Conditions of Approval:

1. The approval shall lapse if not acted upon within a period of five years from the date of approval;
2. The approval shall be taken to cover only the departure applied for and shall not be construed as authority to depart from any other Council requirements or legal provisions;
3. Building plans must be submitted to this municipality for approval prior to any building work commencing on site.

2.3 The reasons for the above decision are as follows:

- a. Little impact to the overall streetscape and character of local area
- b. Extension will be used for residential purpose
- c. Logical extension to existing property

d. On-site parking will be facilitated

3 You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.

4 Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:

(a) The personal particulars of the Appellant, including:

- (I) First names and surname;
- (II) ID number;
- (III) Company of Legal person's name (if applicable)
- (IV) Physical Address;
- (V) Contact details, including a Cell number and E-Mail address;

(b) Reference to this correspondence and the relevant property details on which the appeal is submitted.

(c) The grounds of the appeal which may include the following grounds:

- (i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);
- (ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.

(d) whether the appeal is lodged against the whole decision or a part of the decision;

(e) if the appeal is lodged against a part of the decision, a description of the part;

(f) if the appeal is lodged against a condition of approval, a description of the condition;

- (g) the factual or legal findings that the appellant relies on;
- (h) the relief sought by the appellant; and
- (i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;
- (j) That the appeal includes the following declaration by the Appellant:
 - (i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
 - (ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.

5 Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address: landuse.appeals@stellenbosch.gov.za

6 Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.

7 The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking details for the General Account can also be accessed on the municipal website (<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).

8 An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:

- (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.

- (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
 - (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
 - (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.
- 9 Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.
- 10 Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully

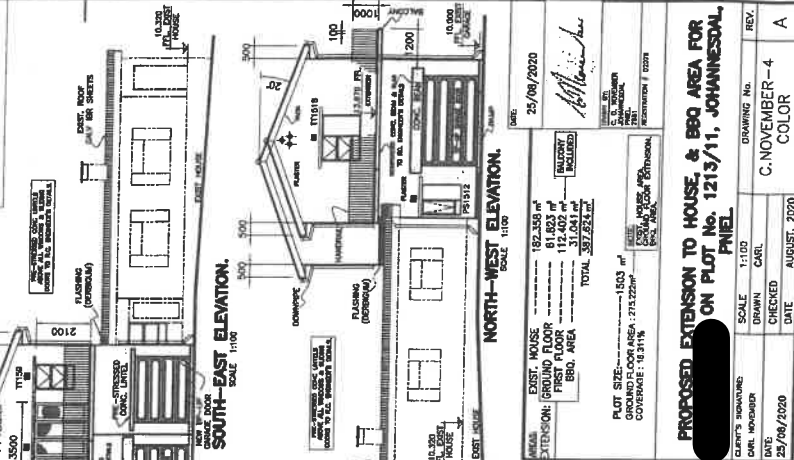


FOR DIRECTOR PLANNING AND ECONOMIC DEVELOPMENT

7/09/2021
DATE:

- GENERAL NOTES:**
1. ROOF CONSTRUCTION: GALV. PER ROOF SHEETS ON 75 x 95 TREMS @ 2700 C/C ON THUNDER TRUSSES @ 2700 C/C ON WALLPLATES FIXED TO WALLS WITH GALV. HOOP IRON.
 2. CEILING: (a) BEDROOMS & PASSAGES---WOOLY FINE FIBRE TO BATTERS (b) REMAINDER OF DWELLING---RIBBO BOARD ON 40 x 40 BRANDING SPACED @ 1200 C/C WITH COVED CORNICE
 3. WALLS: 200mm CONCRETE BLOCK WITH 10mm PLASTER & 10mm GYP. BOARD ROUGH PUT & MINIMUM OF ONE PER ROOM. PROTECT 2 HIGH & 2 LOW LEVEL ARCHITECTS IN GARAGE.
 4. WINDOWS: ALUMINUM---E.G. ALUMINUM WINDOWS CATALOGUE. TILERS: BAYBORN & TOLET---TO BE TILED 1500 HIGH WITH TILES TO OWNERS SPECIFICATION.
 5. FLOOR CONSTRUCTION: FINISH AS SHOWN ON PLAN ON 25mm SCREENED ON 100mm EXCAVATE FOR ALL FOOTINGS TO A DEPTH TO PROVIDE A SOLID & UNIFORM LAY. BRIDGE TO 200mm SUPPORTED IN THE MIDDLE FOR 9 TO 14 BAYS. CONCRETE LAY OVER ALL OPERAS GREATER THAN 150mm "STRESS" P.C. LINTELS WITH A MINIMUM BEARING OF 230mm SUPPORTED IN THE MIDDLE FOR 9 TO 14 BAYS. TILES OR ALUMINUM FLOOR.
 6. ALUMINUM MANUWATER GOODS.
 7. 75 x 75 RIS DOWNPIPES & SEAMLESS ALUMINUM CUTTERS.
 8. SILL WATER CHANNELS FOR RAINWATER DISPOSAL.
 9. INTERNAL 15mm THICK BUTEC WINDOW-SILLS.
 10. EXTERNAL SILL STITCHER INTERNAL SILLS TO BE GLAZED TILES.
 11. SUBSTRINGS TO BE FACEWORK ON EDGE.
 12. 75mm RIBS ROUNDED NEARBY THROUGHOUT.
 13. BY VOLUME 1 PART CEMENT & 2 PARTS SAND TO 5 PARTS OF COURSE AGGREGATE COMPRESSIVE STRENGTH OF 10MPa AT 28th DAY.
 14. MIXED INTERNAL WALLS---CLASS III---BY VOLUME 1 PART CEMENT TO 1.6 PARTS OF SAND TO 6 PARTS OF SAND.
 15. OTHER WALLS---CLASS II---BY VOLUME 1 PART CEMENT TO 0.8 PARTS OF SAND TO 6 PARTS OF SAND.
 16. STRUCTURAL TYPE---SINGLE STOREY INTERNAL & EXTERNAL WALLS---7MPa.
 17. DOUBLE STOREY INTERNAL WALLS---14MPa.
 18. NON STRUCTURAL EXTERNAL WALLS---10.5MPa.
 19. ALL OTHER WALLS---7MPa.
 20. ALL JOINTS LARGER THAN 1 SQUARE METRE MUST BE SAFETY GLASS.
 21. CONCRETE SLABS, BEAMS, PIPES & STAIRWAYS TO R.C. ENGINEER'S DETAILS.

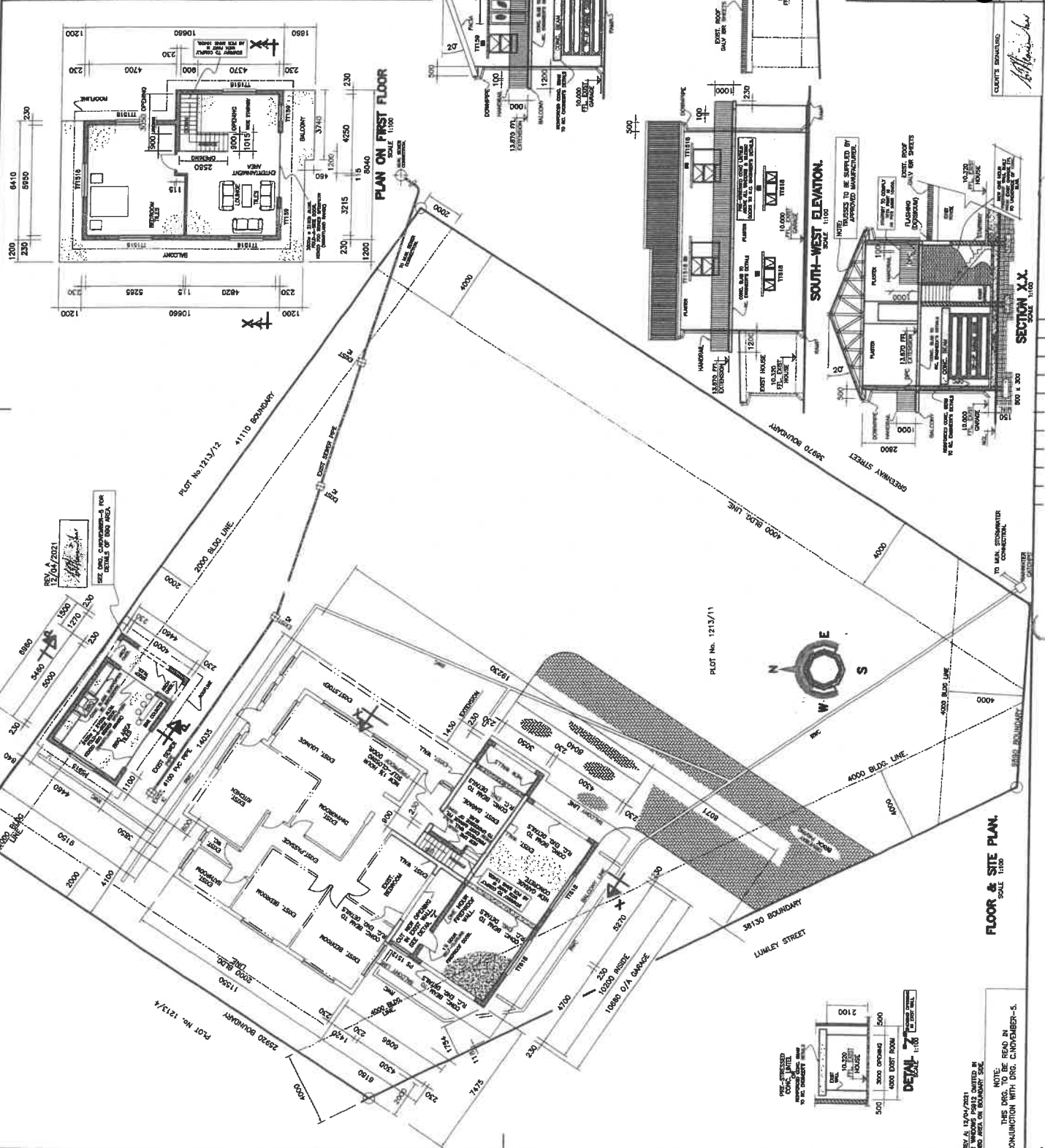
NOTE: THIS DRAWING TO BE READ IN CONJUNCTION WITH DRS. C/NOVEMBER-5



AREA	EXT. HOUSE	182,358 m ²
EXTENSION (REGUL. FLOOR)	FIRST FLOOR	117,463 m ²
	BDD. AREA	31,041 m ²
	TOTAL	330,862 m ²

NOTE: HOUSE AREA: 183 m²
 BDD. AREA: 31,041 m²
 TOTAL: 330,862 m²
 COVERED BY 1:8141

DATE: 25/08/2020
 DRAWING NO.: C. NOVEMBER-4
 CHECKED: AUGUST, 2020
 COLOR: A



FLOOR & SITE PLAN SCALE 1:100

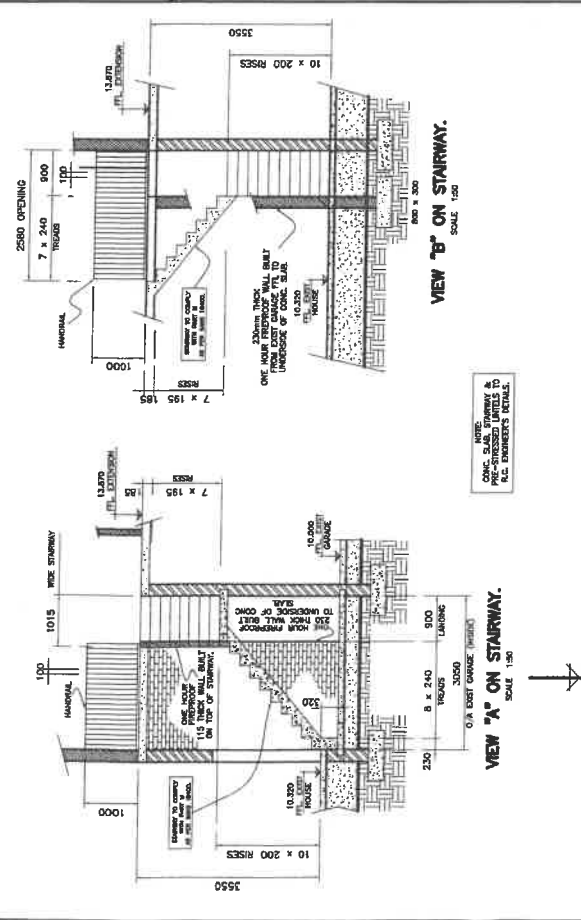
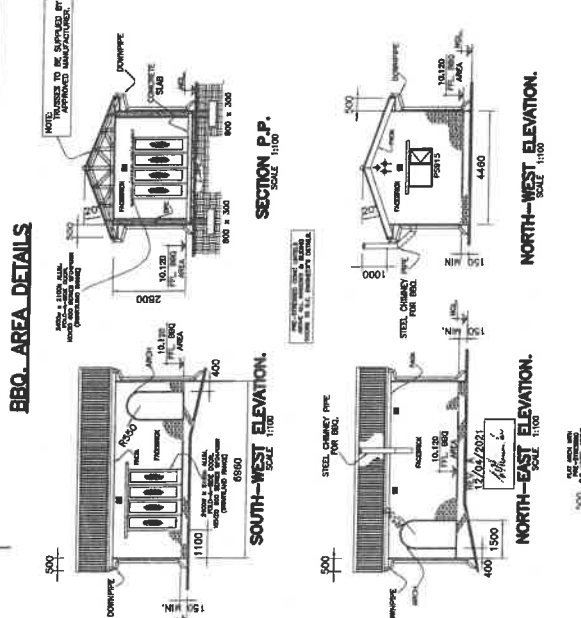
REV. A: 12/04/2021
 2. WINDOWS 100% LIMITED BY SUN. ZONE. 10. DECEMBER. 2021.
 NOTE: THIS DRAWING TO BE READ IN CONJUNCTION WITH DRS. C/NOVEMBER-5.



DETAIL SCALE 1:10

REV. A: 12/04/2021
 2. WINDOWS 100% LIMITED BY SUN. ZONE. 10. DECEMBER. 2021.
 NOTE: THIS DRAWING TO BE READ IN CONJUNCTION WITH DRS. C/NOVEMBER-5.

- SECTION 1. EDGE CONSTRUCTION:** GALV. BR. ROOF SHEETS ON 75 X 30 PURLINS @ 2760 C/C ON TYLER TRUSSES @ 2760 C/C ON WALLPLATES FIXED TO WALLS WITH GALV. HOOP IRON.
- SECTION 2. CEILING:** (a) BEDROOMS & PASSAGES---ENVITY PNE FIXED TO RAFTERS; 300 C/C WITH COVER CORNER---RINDO BOARD ON 40 X 40 BRANDING SPACED @ 300 C/C WITH COVER CORNER.
- SECTION 3. WALLS:** 230 THICK EXTERNALLY & PLASTERED INSIDE & OUTSIDE ANBRICKS TO BE ROBERT PROOF & MINIMUM OF ONE PER ROOM. PROVIDE 2 HIGH & 2 LOW LEVEL.
- SECTION 4. WINDOWS:** ALUMINIUM---R.P. ALUMINIUM WINDOWS CATALOGUE.
- SECTION 5. BATHROOM & TOILET:** TO BE TILED 1200 HIGH WITH TILES TO OWNERS' SATISFACTION. FINISH AS SHOWN ON PLAN ON 25mm SCREED ON 100mm CONCRETE. PROVIDE 2 HIGH & 2 LOW LEVEL.
- SECTION 6. FLOORING:** THICK CONCRETE FLOOR ON OPC ON WELL COMPACTED HARDWARE FREE OF CLAY & / OR ORGANIC MATTER.
- SECTION 7. FOUNDATION:** LAY OVER ALL OPENINGS GREATER THAN 2.0m TWD STRESSOR" R.C. LINTELS WITH A MINIMUM BEARING OF 230mm SUPPORTED IN THE MIDDLE FOR 5 TO 14 DWS.
- SECTION 8. GENERAL:** FLEET CLOSED GATES.
- SECTION 9. TIMBER OR ALUMINIUM FRAMING:** ALUMINIUM OUTTERS.
- SECTION 10. STAIRWAYS:** 150mm THICK METAL DECKING---SILLS BATHROOM & KITCHEN INTERNAL SILLS EXTERNAL SILLS TO BE FACEBRICK ON EDGE.
- SECTION 11. CONCRETE FOUNDATIONS & EXTERNAL WALLS:** BY VOLUME 1 PART CEMENT TO 4 PARTS OF SAND TO 5 PARTS OF COARSE AGGREGATE.
- SECTION 12. NON STRUCTURAL INTERNAL WALLS---CLASS III---** BY VOLUME 1 PART CEMENT TO 1.8 PARTS OF LINE TO 8 PARTS OF SAND.
- SECTION 13. STRENGTH FOR SOLID MASONRY LINTLS:** STRUCTURAL TYPE---SINGLE STOREY INTERNAL & EXTERNAL WALLS---7MP.
- SECTION 14. OTHER WALLS---** 7MP.
- SECTION 15. ALL GLASS LARGER THAN 1 SQUARE METRE MUST BE SAFETY GLASS.**



GENERAL NOTES:

- All building work shall comply with the requirements of the Local Authority and the Building Regulations (as amended) and shall conform with the National Building Regulations (as amended) and shall conform with the National Building Regulations (as amended) and shall conform with the National Building Regulations (as amended).
- All dimensions are in millimeters unless otherwise stated.
- All measurements shall be taken to the face of the work unless otherwise stated.
- Work shall be carried out in accordance with the Building Regulations (as amended) and shall conform with the National Building Regulations (as amended) and shall conform with the National Building Regulations (as amended).
- All structural work shall be carried out in accordance with the Building Regulations (as amended) and shall conform with the National Building Regulations (as amended) and shall conform with the National Building Regulations (as amended).
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AREA CALCULATION:

EXIST. HOUSE	182,358 m ²
EXTENSION	61,823 m ²
FIRST FLOOR	112,402 m ² (BALCONY INCLUDED)
BBO AREA	31,041 m ²
TOTAL	307,624 m²

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WINDOW SCHEDULE

WINDOW	HEIGHT	WIDTH	UNIT AREA	NO. OF
T 618	600 x 1800	1000 x 1200	2- 618	1- 618
PS 612	1500 x 900	900 x 1500	2- 612	1- 612
T 615	900 x 1500	1500 x 900	1- 615	1- 615
T 618	1500 x 1800	1800 x 1500	2- 618	1- 618

ALUMINIUM---R.P. ALUMINIUM WINDOWS CATALOGUE

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PROPOSED EXTENSION TO HOUSE & BBO AREA FOR PLOT No. 1213/11, JOHANNESBURG

CLIENT'S DRAWING: [Signature]

DATE: 25/08/2020

SCALE: 1:100

CHECKED: CARL

DRAWING NO.: C. NOVEMBER-5

REVISION: A

DATE: AUGUST 2020

COLOR

THIS DRG. TO BE READ IN CONJUNCTION WITH DRG. C.NOVEMBER-4.