



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/13547

Our File Reference Number: Erf 88, La Motte

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 – 808 8682

Email address: Ulrich.Vonmolendorff@stellenbosch.gov.za

PER E-MAIL: [REDACTED]

Sir / Madam

APPLICATION FOR DEPARTURE IN TERMS OF SECTION 15(2)(b) OF THE STELLENBOSCH MUNICIPAL LAND USE PLANNING BYLAW, 2015: ERF 88, LA MOTTE, FRANSCHHOEK

1. The above application refers.

2. The duly authorised decision maker has decided on the above application as follows:

2.1 That the application for a departure on Erf 88, Franschhoek in terms of Section 15(2)(b) of the Stellenbosch Municipal Land Use Planning Bylaw 2015 in order to:

2.1.1 Relax the street building line from 3m to 1.5m in order to accommodate the proposed new bedroom and an open plan lounge on Erf 88 La Motte, Franschhoek as indicated on plan provided As DWG no. 21/02/01A by PGLP dated February 2021.

BE APPROVED in terms of Section 60 of the said Bylaw and subject to conditions of approval.

2.2 The approval is subject to the following conditions imposed in terms of Section 66 of said Bylaw:

2.2.1 The approval will lapse if not implemented / confirmed within five years from the date of final notification of approval of the application.

2.2.2 The approval only applies to the proposed departure under consideration and shall not be construed as authority to depart from any other legal prescriptions or requirements from Council or other legislation or Bylaws or Regulations that may be applicable.

2.2.3 The development must be undertaken generally in accordance with the site plan as referenced (DWG no. 21/02/01A by PGLP dated February 2021) and attached as Annexure C.

The approval granted shall not exempt the applicant from complying with any other legal prescriptions or requirements that might have a bearing on the proposed use.

2.2.4 The approval granted shall not be contradictory to any other legislation which has a bearing on the use of the property and that should any other legislation be applicable and be more restrictive then the most restrictive conditions will apply.

2.2.5 Building plans must be generally in accordance with the site plan / floor layout plan as referenced (DWG no. 21/02/01A by PGLP dated February 2021) and attached as Annexure C.

2.3 The reasons for the above decision are as follows:

2.3.1 The proposed departure would not negatively affect the aesthetic appearance of the structure, property, or surrounding environment.

3. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.

4. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:

- (a) The personal particulars of the Appellant, including:
 - (I) First names and surname;
 - (II) ID number;
 - (III) Company of Legal person's name (if applicable)

- (IV) Physical Address;
 - (V) Contact details, including a Cell number and E-Mail address;
- (b) Reference to this correspondence and the relevant property details on which the appeal is submitted.
- (c) The grounds of the appeal which may include the following grounds:
- (i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);
 - (ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.
- (d) whether the appeal is lodged against the whole decision or a part of the decision;
- (e) if the appeal is lodged against a part of the decision, a description of the part;
- (f) if the appeal is lodged against a condition of approval, a description of the condition;
- (g) the factual or legal findings that the appellant relies on;
- (h) the relief sought by the appellant; and
- (i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;
- (j) That the appeal includes the following declaration by the Appellant:
- (i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
 - (ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.

5. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address: landuse.appeals@ Stellenbosch.gov.za

6. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.
7. The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking details for the General Account can also be accessed on the municipal website (<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).
8. An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
 - (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
 - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
 - (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
 - (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.
9. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.
10. Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully


FOR DIRECTOR PLANNING AND ECONOMIC DEVELOPMENT

9/2/2022
DATE:

MASTERPLAN PROJECTS ARCHITECTURE

ORIENTATION

THE LOCATION OF THE PROPOSED BUILDING SHALL BE INDICATED ON THE SITE PLAN IN ACCORDANCE WITH PART 2 OF THE NATIONAL BUILDING REGULATIONS (NBR PART 2).

ELECTRICAL INFRASTRUCTURE MAY EXIST ON THE PROPERTY OR IN ITS VICINITY. A RISK ASSESSMENT SHALL BE OBTAINED FROM THE ELECTRICITY SERVICES DEPARTMENT BEFORE ANY EXCAVATION MAY COMMENCE. A MINIMUM OF 300mm TO ANY OVERHEAD MAINS CONDUCTORS SHALL BE MAINTAINED AT ALL TIMES.

NO COMBUSTIBLE MATERIALS, SUCH AS TIMBER JOIST, TRIMMER ROOF TRUSSES SHALL BE BUILT WITHIN 200mm OF THE INSIDE OF CHIMNEY FLUE.

INSULATION

CEILING AND WALL INSULATION SHALL BE PROVIDED IN ACCORDANCE WITH PART 2 OF THE NATIONAL BUILDING REGULATIONS (NBR PART 2).

ENGINEERS SPECIFICATIONS

ALL FOUNDATIONS IN ACCORDANCE WITH NBR PART 2. CONCRETE SURFACE BEDS AND BENCHES IN ACCORDANCE WITH NBR PART 2. R.C. SLABS AND R.C. BEAMS TO BE NBR PART 2.

MASONRY COLUMNS AND FOOTINGS TO BE NBR PART 2. R.C. STAIRCASE TO END SPECIFICATIONS NBR PART 2 WITH 1000mm HANDRAIL.

ENERGY EFFICIENCY

A RISK ASSESSMENT SHALL BE OBTAINED FROM THE NATIONAL WATER HEATING REGULATIONS (NHR) AND THE NATIONAL ELECTRICAL REGULATIONS (NER) INCLUDING BURDEN LIMITS TO SLABS AND WALLS.

GLAZING

GLAZING TO BE 12mm INTERNAL LAMINATED SAFETY GLASS. ALL CEILING JOINTS SHALL BE AS PER NBR PART 2. ELECTRICAL POINTS SHALL BE PROVIDED IN ACCORDANCE WITH PART 2 OF THE NATIONAL BUILDING REGULATIONS (NBR PART 2).

HOT WATER SUPPLY

A RISK ASSESSMENT SHALL BE OBTAINED FROM THE NATIONAL WATER HEATING REGULATIONS (NHR) AND THE NATIONAL ELECTRICAL REGULATIONS (NER) INCLUDING BURDEN LIMITS TO SLABS AND WALLS.

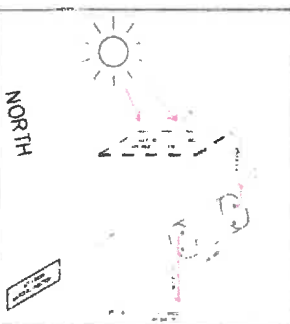
CEILING HEATING SYSTEM SHALL COMPLY WITH NBR PART 2 AND 10. ALL EXPOSED PIPES TO AND FROM THE HOT WATER CIRCULATOR AND CENTRAL HEATING SYSTEM SHALL BE INSULATED WITH 100mm INSULATION WITH AN R VALUE OF 1.0 FOR FLOOR WITH INTERNAL DIAMETERS UP TO 25mm AND 1.5 FOR PIPES EXCEEDING 25mm.

ALL WATER PIPES AND FITTINGS SHALL BE ISOLATED WITH A MATERIAL AS PER NBR PART 2.

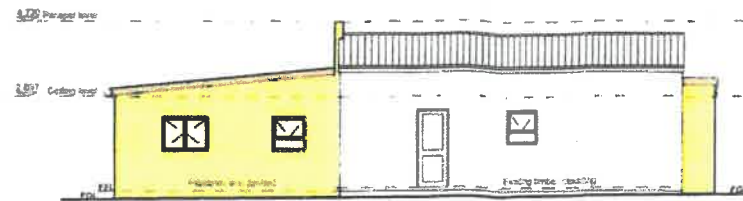
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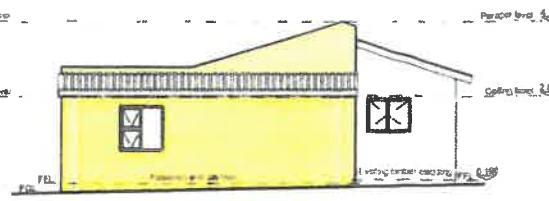
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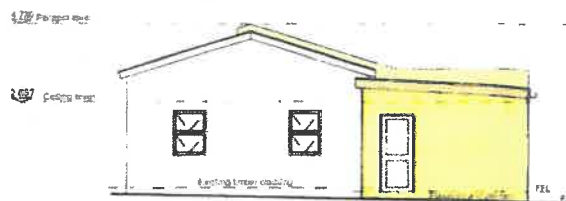
WATER RETICULATION DIAGRAM



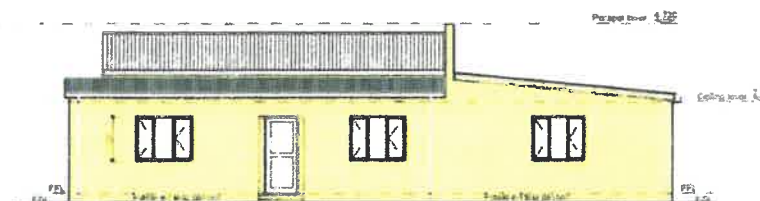
SOUTH WEST ELEVATION
SCALE 1:100



NORTH WEST ELEVATION
SCALE 1:100



SOUTH EAST ELEVATION
SCALE 1:100



NORTH EAST ELEVATION
SCALE 1:100

AREA SCHEDULE	AREA (m ²)
ERF	987
PROPOSED EFFLUENT	88
TOTAL COVERED AREA	1975
PERCENTAGE COVERAGE	20.0%

CONSTRUCTION NOTES

General Notes

The design of the building is subject to the approval of the local authority. The design is based on the assumptions stated in the drawings. The design is based on the assumptions stated in the drawings. The design is based on the assumptions stated in the drawings.

Foundations

230mm walls to bear on 700 x 230mm continuous concrete strip foundation. No foundation fastings to project beyond site boundary. All foundation to be cast to a depth of not less than 300mm below ground level and not more than 3 000mm. Foundation level to be fixed with concrete.

External Load Bearing Walls

External load bearing walls to be 230mm NFB with min 375mm concrete DPC to all walls, window and door surrounds. Weights to every 3rd brick course. 65mm min above DPC as well as over bricks. Foundation walls to be 230mm.

Concrete Surface Bed

Final floor on 230mm concrete screed on 120mm main concrete surface bed on 750mm concrete on 150mm sand bed on well compacted filling.

Precast Lintels

Precast R.C. lintels over all openings and built in 230mm walls on either side of openings, doors and windows.

Internal Walls

Internal walls to be 230mm NFB with min 375mm concrete DPC to all walls, window and door surrounds. Weights to every 3rd brick course. 65mm min above DPC as well as over bricks. Foundation walls to be 230mm.

ARCHITECT SIGNATURE

CLIENT SIGNATURE

ELECTRICAL LEGEND

LIGHTING

- Outdoor Decorative Waterproof Light
- Suspended Ceiling Light
- Surface Ceiling Mounted Downlighter
- External Wall Mounted - Only up Down lights
- Wall mounted bathroom light
- Single Fluorescent Light
- Double Fluorescent Light
- Fan Light
- Switch - 1105 above it

COMMUNICATION

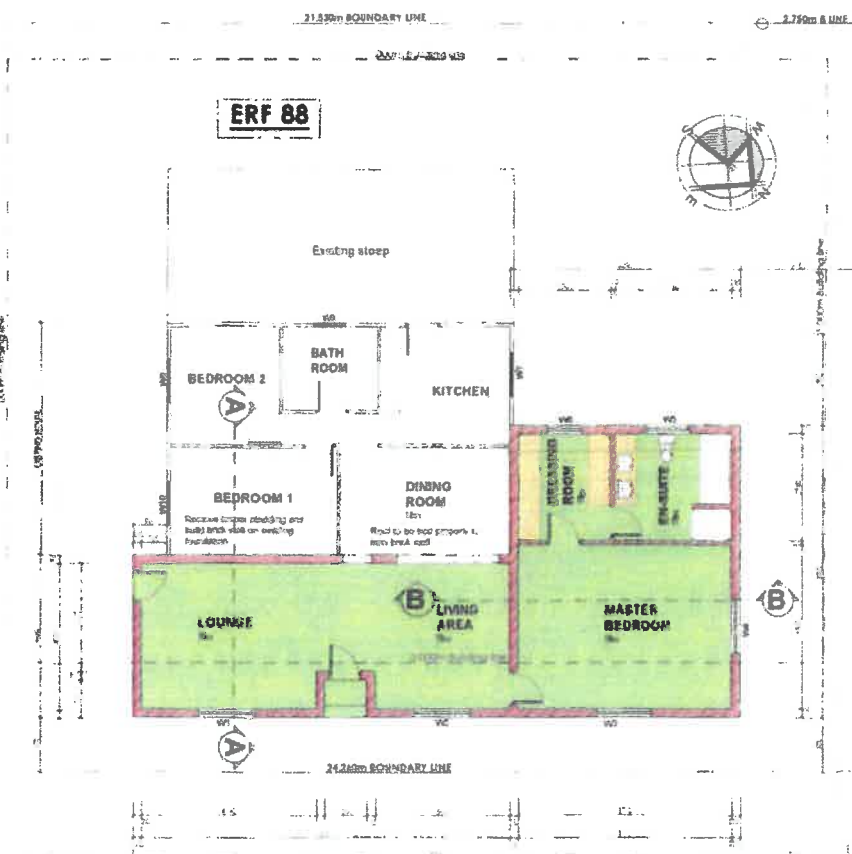
- Intercom System
- Telephone

Visuals

- Television Connection Point

ELECTRICAL POINTS

- Plugpoint Double 15 Amp
- Shower point
- Underfloor Heating
- DB Board
- Stove Connection
- Sound Points



8 GEELHOUT LINE

SITE AND FLOOR PLAN
SCALE 1:100

NUMBER	SIZE	AREA
W1	1.20m x 1.50m	1.80
W2	1.20m x 1.50m	1.80
W3	1.20m x 1.50m	1.80
W4	1.20m x 1.50m	1.80
W5	1.20m x 1.50m	1.80
W6	1.20m x 1.50m	1.80
W7	1.20m x 1.50m	1.80
W8	1.20m x 1.50m	1.80
W9	1.20m x 1.50m	1.80
W10	1.20m x 1.50m	1.80

ITEM	R. VALUE
12mm internal laminated safety glass	0.1
230mm thick precast concrete lintel	0.2
Drywall ceiling 8mm	0.05
TOTAL R-VALUE	0.35

RAINWATER (SANS 10400, PART R)

Approved aluminum gutters fixed to masonry face and 25mm diameter downpipes. All water to be taken from foundations.

LINTELS

Pre cast pre stressed concrete lintels over all openings with a minimum bearing of 230mm on both sides. All pre stressed lintels exceeding 3.0m to be installed to engineers specifications.

STORMWATER (SANS 10400, PART R)

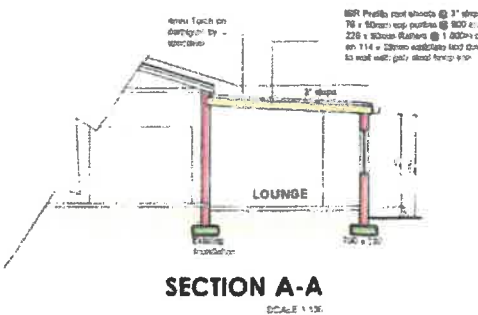
Stormwater downpipes to install with pre cast concrete water channels to meet stormwater system. Pipes under the building to be casted with concrete.

DRAMA (SANS 10400, PART F)

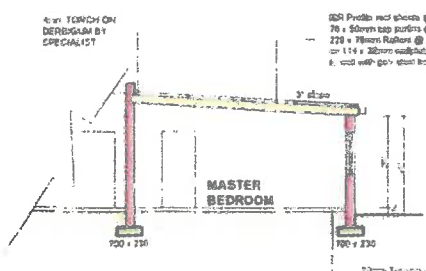
17mm steel drainage channels to be installed with a min bed of 100mm with a min level of 450mm.

WALLS

External walls to be 230mm NFB with min 375mm concrete DPC to all walls, window and door surrounds. Weights to every 3rd brick course. 65mm min above DPC as well as over bricks. Foundation walls to be 230mm.



SECTION A-A
SCALE 1:100



SECTION B-B
SCALE 1:100

FOOTING DETAILS

170mm concrete on 150mm sand bed on well compacted filling.

MASTERPLAN PROJECTS ARCHITECTURE

Stellenbosch, South Africa / PO Box 561 Stellenbosch 7599
Cell: 079 223 3770 / Tel: 021 885 1417 / mail: patrick@masterplan.co.za

Client:

Project: **PROPOSED ALTERATION AND ADDITIONS TO ERF No 88 LA MOTTE, FRANSCHHOEK**

Drawing No: 21/02 / 01 A

FOR SUBMISSION

Scale	Date	Drawn	Checked
1:100	FEB 2021	PGLP	PWL