

# STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/13208

Our File Reference Number: Erf 875, Stellenbosch

Your Reference Number: None

Enquiries: Ulrich von Molendorff

Contact No: 021 – 808 8682

Email address: [Ulrich.Vonmolendorff@stellenbosch.gov.za](mailto:Ulrich.Vonmolendorff@stellenbosch.gov.za)

**PER E-MAIL:** [REDACTED]

Sir/Madam

## **APPLICATION FOR REMOVAL OF RESTRICTIONS AND PERMISSION REQUIRES I.T.O THE ZONING SCHEME ON ERF 875, STELLENBOSCH**

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:

2.1 That the following application(s) in terms of Section 15(2) of the Stellenbosch Municipal Land Use Planning Bylaw, promulgated by notice number 354/2015, dated 20 October 2015 on Erf 875, Stellenbosch, namely:

2.2 **Removal of restrictive title deed conditions** in terms of Section 15(2)(f) of the said Bylaw of Clauses B.I.(a); B.I.(b), B.I.(c); B.I.(d) and B.II.(l) as contained in Title Deed Nr 23999/2001 in order to allow for the proposed development. The restrictions to be removed read as follows:

- *Paragraph B.I.(a) "This erf shall be used for residential purposes only";*
- *Paragraph B.I.(b) "Only one dwelling, together with such outbuildings as are ordinarily required to be used therewith shall be erected on this erf";*
- *Paragraph B.I.(c) "Not more than one third of the area of this erf shall be built upon."*

- Paragraph B.I.(d) "No building or structure or any portion thereof except boundary walls and fences, shall be erected nearer than 6,30 meters to the street line which forms a boundary of this erf, nor within 3,15 meters of the lateral or rear boundary common to any adjoining erf, no building, however, to exceed two storeys in height".
- Paragraph B.II.(l): "The roofs of all buildings on this erf must be uniform in regard to material and style. Flat roofs for outbuildings, garages, etc will only be permitted if the main building also has a flat roof".

2.3 The **permission required in terms of the zoning scheme for an additional use** in terms of Section 15(2)(g) of the said Bylaw to allow for the construction of a second dwelling unit on top of the existing garage.

**BE APPROVED** in terms of Section 60 of the said Bylaw and subject to conditions of approval.

3. The approval is subject to the following conditions imposed in terms of Section 66 of the said Bylaw:

3.1 The approval only applies to the proposal under consideration, as indicated on the referenced (2021/14-001 rev 1; 2021/14-002; 2021/14-003; 2021/14-005; 2021/14-006, dated March 2021 and drawn by Andre Franzsen and Associates Consulting Engineering Services) Site Plan, attached as **ANNEXURE C** and shall not be construed as authority to depart from any other legal prescriptions or requirements from Council or other legislation or Bylaws or Regulations that may be applicable.

3.2 The development must be undertaken generally in accordance with the Site Plan as referenced 2021/14-001 rev 1; 2021/14-002; 2021/14-003; 2021/14-005; 2021/14-006, dated March 2021 and drawn by Andre Franzsen and Associates Consulting Engineering Services) and attached as **ANNEXURE C**.

3.3 The approval granted shall not exempt the applicant from complying with any other legal prescriptions or requirements that might have a bearing on the proposed use.

3.4 Building plans must be generally in accordance with the site plan as referenced (2021/14-001 rev 1; 2021/14-002; 2021/14-003; 2021/14-005; 2021/14-006, dated March 2021 and drawn by Andre Franzsen and Associates Consulting Engineering Services) and attached as **ANNEXURE C**.

- 3.5 The conditions imposed by the **Manager: Electrical Services** as contained in their memo dated 01 December 2021, be complied with (see **ANNEXURE G**);
- 3.6 The conditions imposed by the **Director: Engineering Services** as contained in their memo dated 01 December 2021, be complied with (see **ANNEXURE H**);
- 3.7 Development contributions are payable in accordance with the prevailing and applicable Council Tariffs at the time of payment prior to the transfer of the first property or submission of any building plans, whichever occurs first, or as may be agreed on in writing with the Director Infrastructure Services;
- 3.8 The applicant, after publication of a notice in the Provincial Gazette to apply to the Registrar of Deeds to make appropriate entries in, and endorsements on, any relevant register or title deed to reflect the removal, suspension or amendment of the restrictive conditions.

**4. The reasons for the above decision are as follows:**

- 4.1 The proposal will have no detrimental impact on the character of the existing area as it is in keeping with the current land use of the subject property and the area.
- 4.2 The proposal will result in a sensible increase in density and will not alter the character of the area.
- 4.3 The proposal will also be of an appropriate scale that would relate to the surrounding townscape and land use character of the area.
- 4.4 Sufficient on-site parking will be available on the property.
- 4.5 The proposed removal of this restriction will not lead to a loss in property value or the quality of life in terms of the right to privacy.

**5. Matters to be noted:**

- 5.1 Building plans be approved by the Municipality prior to any building work commencing.
- 5.2 Consent from Heritage Western Cape is to be obtained.


6. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.
  
7. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:
  - (a) The personal particulars of the Appellant, including:
    - (I) First names and surname;
    - (II) ID number;
    - (III) Company of Legal person's name (if applicable)
    - (IV) Physical Address;
    - (V) Contact details, including a Cell number and E-Mail address;
  
  - (b) Reference to this correspondence and the relevant property details on which the appeal is submitted.
  
  - (c) The grounds of the appeal which may include the following grounds:
    - (i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);
  
    - (ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.
  
  - (d) whether the appeal is lodged against the whole decision or a part of the decision;
  
  - (e) if the appeal is lodged against a part of the decision, a description of the part;
  
  - (f) if the appeal is lodged against a condition of approval, a description of the condition;
  
  - (g) the factual or legal findings that the appellant relies on;
  
  - (h) the relief sought by the appellant; and

- (i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;
  - (j) That the appeal includes the following declaration by the Appellant:
    - (i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
    - (ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.
8. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address:  
[landuse.appeals@stellenbosch.gov.za](mailto:landuse.appeals@stellenbosch.gov.za)
9. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.
10. The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking details for the General Account can also be accessed on the municipal website (<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).
11. An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
- (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
  - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
  - (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.

(d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.

12. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.
13. Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully



A large, stylized handwritten signature in black ink, consisting of several loops and a long horizontal stroke, is written over a horizontal line.

**FOR: DIRECTOR PLANNING AND ECONOMIC DEVELOPMENT**

18/7/2022  
DATE

# **ANNEXURE C**

**APPLICATION FOR REMOVAL OF RESTRICTIONS  
AND PERMISSION REQUIRES I.T.O THE ZONING  
SCHEME: ERF 875, KRIGEVILLE, STELLENBOSCH**

**SITE PLAN**



**PIET RETIEF STREET**  
**SITE LAYOUT 1 : 200**

Areas	
Ground Floor	199m <sup>2</sup>
Ground Floor	43m <sup>2</sup>
Garage	18m <sup>2</sup>
Slope (covered)	260m <sup>2</sup>
<b>Total Ground Floor (covered)</b>	<b>503m<sup>2</sup></b>
<b>First Floor</b>	<b>151m<sup>2</sup></b>
First Floor (existing)	92m <sup>2</sup>
First Floor (new)	17m <sup>2</sup>
Slope (uncovered)	243m <sup>2</sup>
<b>Total First Floor (covered)</b>	<b>503m<sup>2</sup></b>
<b>House Total (covered)</b>	<b>1095m<sup>2</sup></b>
<b>Property Area</b>	<b>23.75%</b>

**André Franzsen and Associates**  
**Consulting Engineering Services**



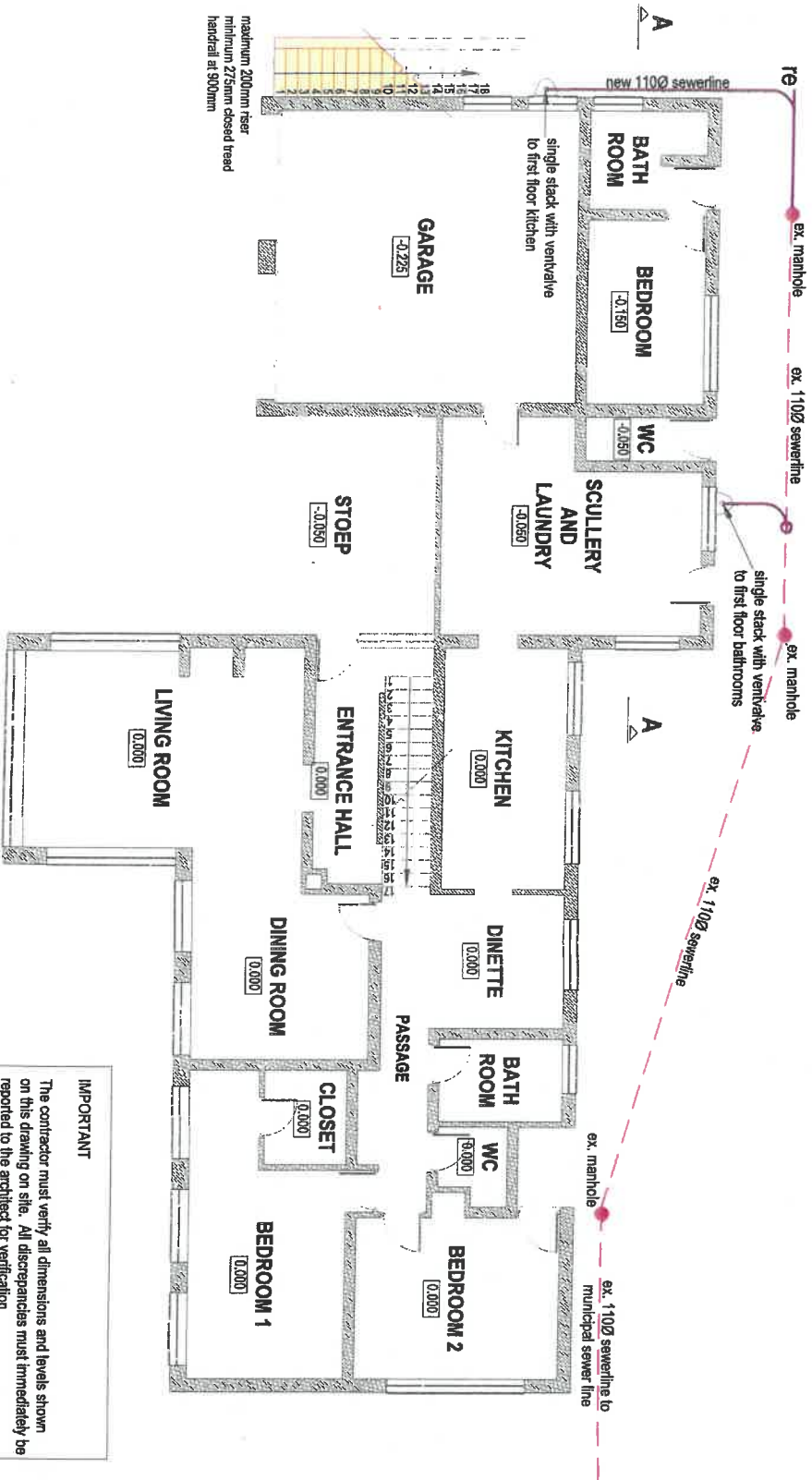
Project: **House van der Merwe**  
**Erf 875, Stellenbosch**

Project Title: **Alterations and Additions**

Service Title: **Site Layout**

Tekeningtitel	Drawing Title
Site Layout	Site Layout
Tekeningnommer	Drawing Number
2021/14 - 001 rev 1	2021/14 - 001 rev 1
Skala	Scale
1 : 200	1 : 200
Opdragvoerder	Client
March 2021	March 2021
Tekening	Drawn
af	af
Check	Checked
af	af

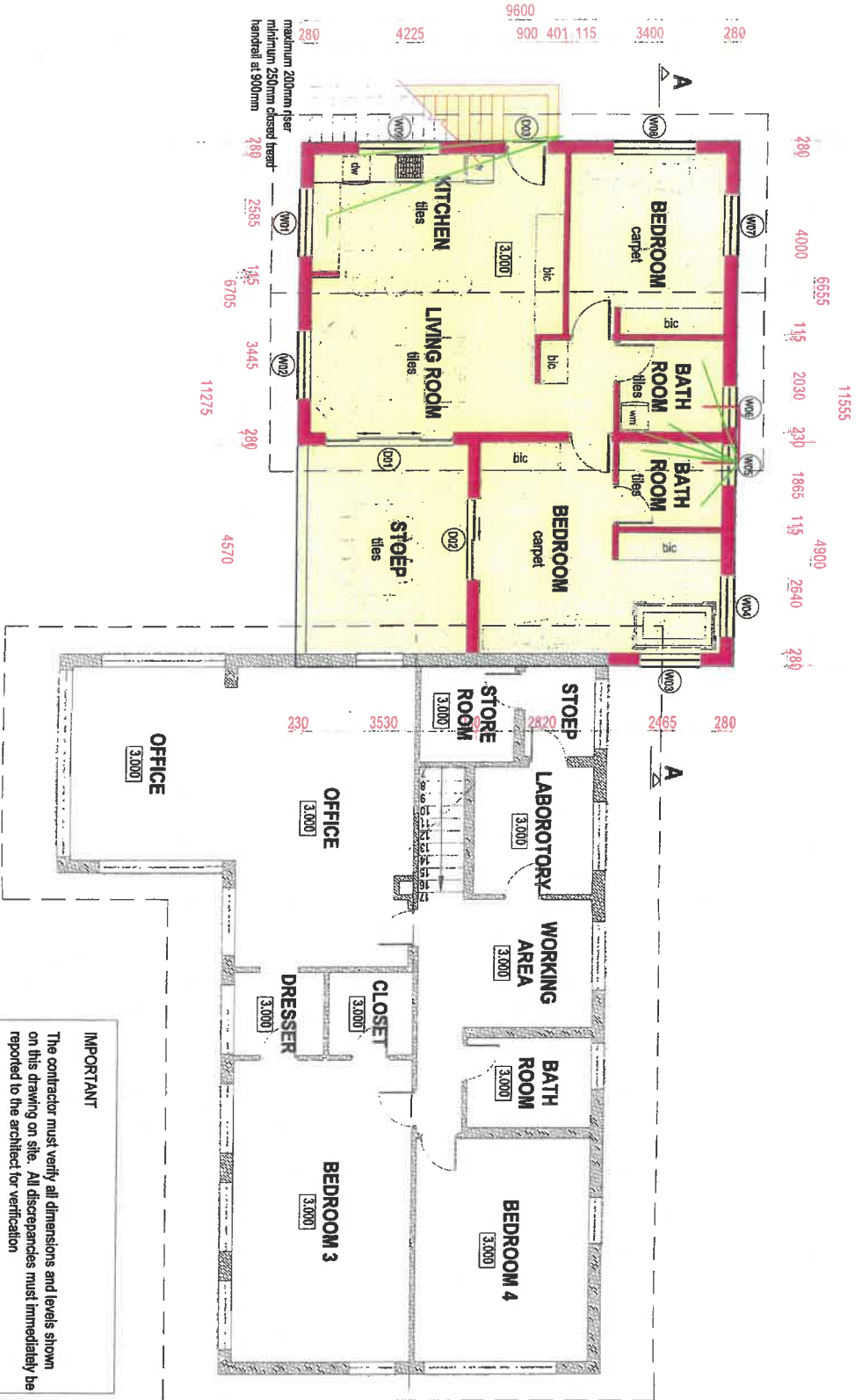




# GROUND FLOOR LAYOUT 1 : 100

**IMPORTANT**  
 The contractor must verify all dimensions and levels shown on this drawing on site. All discrepancies must immediately be reported to the architect for verification.  
 All demolitions must be done to ensure the structural integrity of the remaining brickwork. All damaged brickwork must be repaired to the satisfaction of the structural engineer.

<b>André Franzen and Associates</b> Consulting Engineering Services		<b>af</b>	
Project:	House van der Merwe	Project Title:	[REDACTED]
Client:	Erf 875, Stellenbosch	Services Title:	
<b>Alterations and Additions</b>			
<b>Ground Floor Layout</b>			
Tekeningnummer:	2021/14 - 002	Drawing Number:	af
Scale:	1 : 100	Scale:	af
Date:	March 2021	Date:	af
100mm			



FIRST FLOOR LAYOUT 1 : 100

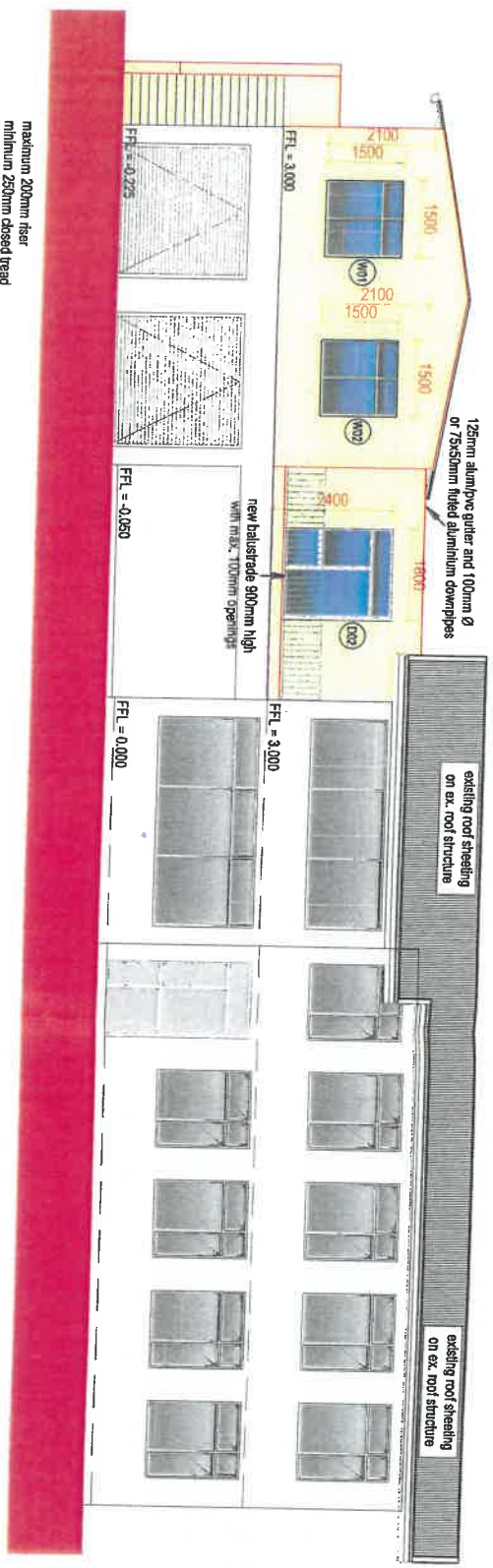
**IMPORTANT**

The contractor must verify all dimensions and levels shown on this drawing on site. All discrepancies must immediately be reported to the architect for verification

All demolitions must be done to ensure the structural integrity of the remaining brickwork. All damaged brickwork must be repaired to the satisfaction of the structural engineer

<p><b>André Franzen and Associates</b> Consulting Engineering Solutions</p>		<p>Project Title <b>House van der Merwe</b> <b>Erf 875, Stellenbosch</b></p>	
<p>Project No. <b>2021/14 - 003</b></p>		<p>Service Title <b>Alterations and Additions</b></p>	
<p>Scale <b>1 : 100</b></p>		<p>Date <b>March 2021</b></p>	
<p>Author <b>af</b></p>		<p>Checked <b>af</b></p>	
<p>Design <b>af</b></p>		<p>Approved <b>af</b></p>	
<p>Drawing Number <b>2021/14 - 003</b></p>		<p>Drawing Title <b>First Floor Layout</b></p>	
<p>100mm</p>			

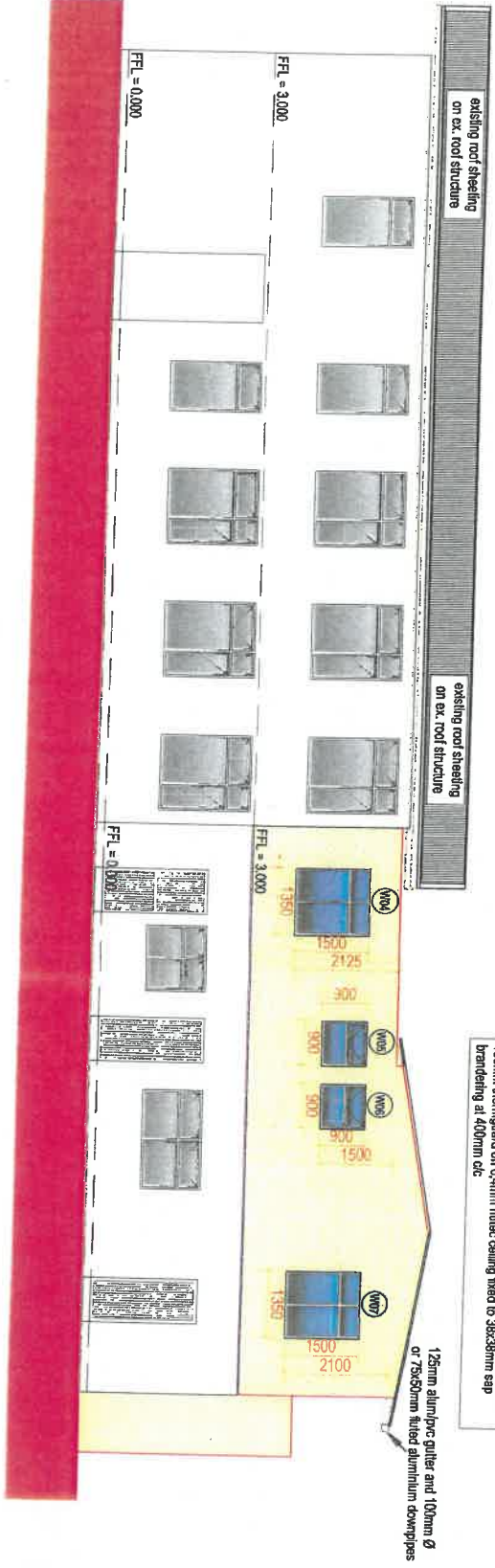
roof pitch 10° on fibre cement 'Big Six' roof sheeting on plastic slip sheet on aluminum on 38x38mm ssp purins at 325mm c/c on 38x114mm ssp trusses at 750mm c/c on 38x114mm ssp wallplates. Trusses tied into brickwork 6 courses with 32x15mm hoop-iron straps. 100mm thermaguard on 64mm rubber ceiling fixed to 38x38mm ssp bracing at 400mm c/c



East Elevation 1:100

maximum 200mm riser minimum 230mm crosst tread handrail at 900mm

roof pitch 10° on fibre cement 'Big Six' roof sheeting on plastic slip sheet on aluminum on 38x38mm ssp purins at 325mm c/c on 38x114mm ssp trusses at 750mm c/c on 38x114mm ssp wallplates. Trusses tied into brickwork 6 courses with 32x15mm hoop-iron straps. 100mm thermaguard on 64mm rubber ceiling fixed to 38x38mm ssp bracing at 400mm c/c



West Elevation 1:100

**André Franzen and Associates**  
**Consulting Engineering Services**  
**af**

Project Title: **House van der Merwe Erf 875, Stellenbosch**

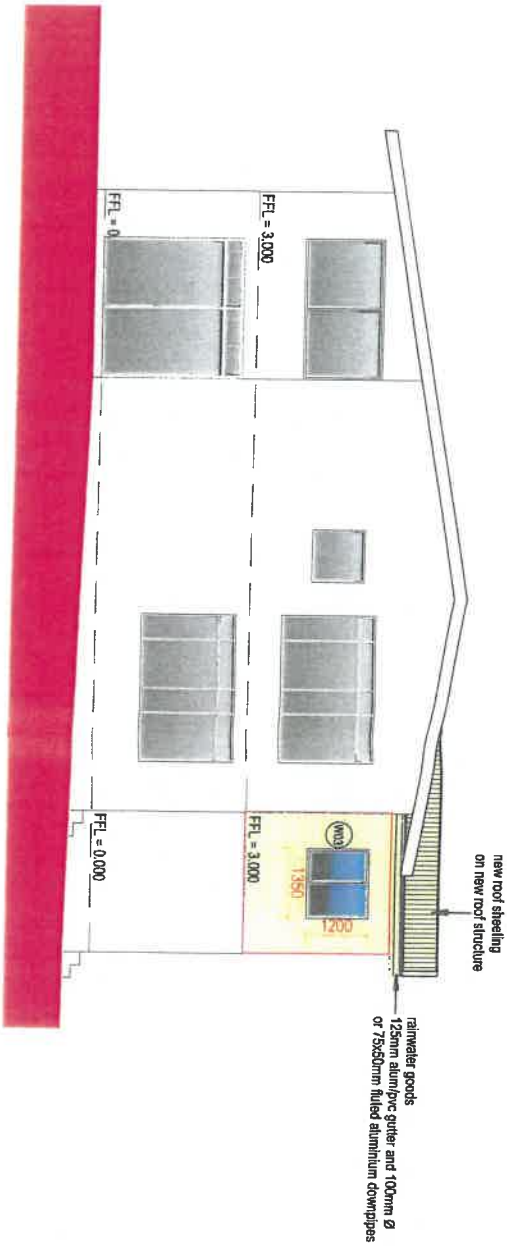
Service Title: **Alterations and Additions**

Drawing Title: **Elevations**

Take number	Drawing Number	Drawn	Designed	Checked
1	2021/14 - 005	af	af	af
Scale	Date	Drawn	Designed	Checked
1 : 100	March 2021	af	af	af

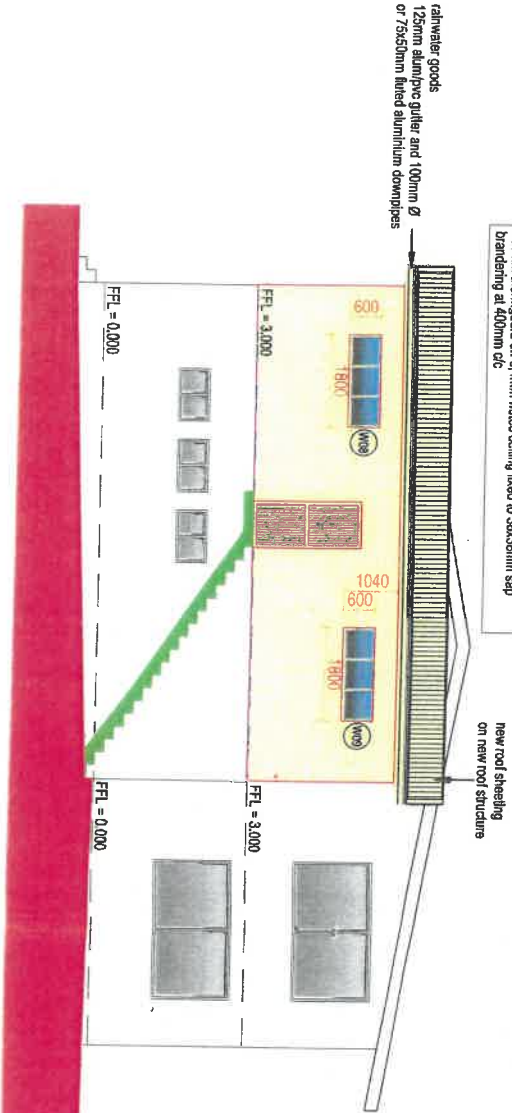
on official drawing 100mm





North Elevation 1:100

roof pitch 10° on fibre cement Big SIX roof sheathing on plastic slip sheet on aluminum on 38x50mm sap purlins at 325mm c/c on 38x114mm sap trusses at 750mm c/c on 38x114mm sap rafterbeams. Trusses tied into brickwork 5 courses with 32x15mm hoop-iron straps. 100mm hemboard on 64mm rafter ceiling fixed to 38x50mm sap bracing at 400mm c/c



South Elevation 1:100

André Franzen and Associates  
Consulting Engineering Services



Project:  
House van der Merwe  
Erf 875, Stellenbosch

Beneficial:  
Alterations and Additions

Technical:  
Elevations

Drawing Number:  
2021/14 - 006

Scale:  
1 : 100

Date:  
March 2021

Drawn:  
af

Checked:  
af

or official printing

# **ANNEXURE G**

**APPLICATION FOR REMOVAL OF RESTRICTIONS  
AND PERMISSION REQUIRES I.T.O THE ZONING  
SCHEME: ERF 875, KRIGEVILLE, STELLENBOSCH**

**COMMENT FROM THE  
MANAGER: ELECTRICAL  
SERVICES**

Annexure A

**GENERAL COMMENT:**

. No Comment

1.

**CONDITIONS:**

2. Electricity Supply to new Additional Dwelling should be fed from the main Distribution Board, which is situated outside the main building.
3. If the current electricity supply is not adequate, an application for an increase in electricity supply must be submitted to Stellenbosch Municipality: Electrical Engineering Services.
4.  
. All new developments and upgrades of supplies to existing projects are subject to **SANS 10400-XA** energy savings and efficiency implementations such as:
  - Solar water Heating or Heat Pumps in Dwellings
  - Energy efficient lighting systems
  - Roof insulation with right R-value calculations .
  - In large building developments;
  - Control Air condition equipment tied to alternative efficiency systems
  - Preheat at least 50% of hotwater with alternative energy saving source
  - All hot water pipes to be clad with insulation with R-value of 1
5. -Provide a professional engineer's certificate to proof that energy saving measures is not feasible.
6. Appropriate caution shall be taken during construction, to prevent damage to existing electrical equipment in the vicinity. Should damage occur, the applicant will be liable for the cost involved repairing damages?

ERF 875 Date 22/2/201



# **ANNEXURE H**

**APPLICATION FOR REMOVAL OF RESTRICTIONS  
AND PERMISSION REQUIRES I.T.O THE ZONING  
SCHEME: ERF 875, KRIGEVILLE, STELLENBOSCH**

**COMMENT FROM THE  
DIRECTOR: ENGINEERING  
SERVICES**



**STELLENBOSCH MUNICIPALITY**  
**STELLENBOSCH·PNIEL·FRANSCHHOEK**

# **MEMORANDUM**

**DIREKTEUR: INGENIEURSDIENSTE**  
**DIRECTORATE: INFRASTRUCTURE SERVICES**

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**To ▫ Aan:** Director: Planning + Economic Development  
**Att Aandag** Salome Newman  
**From ▫ Van:** Colin Taylor (Development)  
**Date ▫ Datum:** 1/12/2021  
**Our Ref ▫ Ons Verw:** Civil Lu 2229  
**Your Ref:** Lu/13208  
**Re ▫ Insake:** Application is made in terms of section 15(2) (f) of the Stellenbosch Municipal Land Use Planning By-Law dated 20 October 2015 for a removal of restrictive conditions B.I.(a); B.I.(b); B.I.(c); B.I.(d) and B.II.(l) of Title Deed Nr. T23999/2001 in respect of Erf 875, Stellenbosch. Application is made in terms of Section 15(2)(g) of the Stellenbosch Municipality Land Use Planning By-Law, October 2015 for permission required in terms of the zoning scheme for an additional use to allow for a second dwelling unit on Erf 875, Stellenbosch.

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The application is recommended for approval, subject to the following conditions:

- 1. Water**
  - 1.1 The existing water connection must be utilized for the proposed development: no upgrade in the size of the connection will be allowed, unless agreed to by our Water Services Department.
- 2. Waste Water and Sewage**
  - 2.1 The existing sewer connection must be utilized for the proposed development: no upgrade in the size of the connection will be allowed, unless agreed to by our Water Services Department.
- 3. Solid Waste**
  - 3.1 Please note: Solid waste must be removed from the site to a lawful solid waste disposal site in accordance with the requirements of section 26 of the National Environmental Management Waste Act 2008 (Act 59 of 2008).



**4. Roads**

4.1 Sufficient parking must be provided and indicated on the SDP at building plan submission stage.

**5. Development Charges (DCs)**

5.1 The following DC's are payable: See Development Charge Calculation attached.

5.2 The DC's were calculated by using the 2021/2022 tariff structure. If DC's are paid after 30 June 2022 it will have to be recalculated by using the tariff structure applicable at date of payment.

5.3 The DC's are payable before building plan approval.

**6. Electrical**

6.1 See annexure A for electrical comments.



**COLIN TAYLOR Pr Tech Eng**

**PRINCIPAL TECHNICIAN: DEVELOPMENT (INFRASTRUCTURE SERVICES)**

V:\2.0 DEVELOPMENT\00 Developments\2229 (CT) Erf 875 Stellenbosch (LU-13208)\Application\2229 - Erf 875, Stellenbosch.doc

# Stellenbosch Municipality - Development Charge Calculation



## APPLICATION INFORMATION

Application Number	
Date	Wednesday, 01/Dec/2021
Financial Year	2021/22
ERF Location	Stellenbosch Town
ERF No	ERF 875
ERF Size (m <sup>2</sup> )	1 094
Suburb	Piet Retief Street
Applicant	Pieterhuizen Planning (PTY) LTD
Approved Building Plan No.	SITE LAYOUT Drawing Number: 2021/14-001 Rev 1

## SUMMARY OF DC CALCULATION

Unit(s)	Water k/day	Sewer k/day	Storm-water ha°C	Solid-Waste t/week	Roads trips/day	Community Facilities person	Totals
Total Increased Services Usage	0,360	0,300	0,008	0,030	2,50	2,5	
Total Development Charges before Deductions	R 9 771,77	R 7 810,02	R 817,72	R 1 593,74	R 16 351,85	R 6 709,08	R 43 054,18
Total Deductions							
Total Payable (excluding VAT)	R 9 771,77	R 7 810,02	R 817,72	R 1 593,74	R 16 351,85	R 6 709,08	R 43 054,18
VAT	R 1 465,77	R 1 171,50	R 122,66	R 239,06	R 2 452,78	R 1 006,36	R 6 458,13
Total Payable (including VAT)	R 11 237,53	R 8 981,53	R 940,38	R 1 832,80	R 18 804,62	R 7 715,44	R 49 512,30

## APPLICANT INFORMATION

Application Processed by:	Colin Taylor
Signature	
Date	As above
Amount Paid:	
Date Payment Received	
Receipt Number	

Stellenbosch Town

Land Use Category	Unit Type	Existing Usage		Proposed New Usage		Increased Usage		Development Charges Invoiced (excl VAT)				Total										
		area (m2)	du/ha % GLA	area (m2)	du/ha % GLA	du/ha % GLA	du/ha % GLA	Water	Sewer	Storm-water	Solid-Waste		Roads	Community Facilities								
Infrastructure Type applicable? (yes/no)																						
	du	m2 GLA	du/ha	% GLA	du	m2 GLA	du/ha	% GLA	du	m2 GLA	du/ha	% GLA	Water	Sewer	Storm-water	Solid-Waste	Roads	Community Facilities				
	m2	m2			m2				m2				Yes	Yes	Yes	Yes	Yes	Yes	Yes			
Residential	Single Residential >100m2	du	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
	Single Residential >500m2	du	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
	Single Residential >250m2	du	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
	Single Residential <250m2	du	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
	Less Formal Residential >250m2	du	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
	Less Formal Residential <250m2	du	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
	Group Residential >250m2	du	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
	Group Residential <250m2	du	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
	Medium Density Residential >250m2	du	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
	Medium Density Residential <250m2	du	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
Commercial	High Density Residential - flats	du	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
	High Density Residential - student rooms	du	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
	Local Business - office	m2 GLA	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
	Local Business - retail	m2 GLA	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
	General Business - office	m2 GLA	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
	General Business - retail	m2 GLA	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
	Community	m2 GLA	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
	Education	m2 GLA	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
	Light Industrial	m2 GLA	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
	General Industrial - light	m2 GLA	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
Industrial	Warehousing	m2 GLA	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
	General Industrial - heavy	m2 GLA	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
	Noxious Industrial - heavy	m2 GLA	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
	Resort	m2 GLA	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
	Public Open Space	m2	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
	Private Open Space	m2	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
	Natural Environment	m2	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
	Utility Services	m2 GLA	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
	Public Roads and Parking	m2	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
	Transport Facility	m2	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
Special	Limited Use	m2	0	0%	0	0	0%	0	R	0	R	0%	-	-	R	-	-	-	R	-		
	To be calculated based on equivalent demands																					
* Complete yellow/green cells.																						
** du = dwelling unit, GLA=Gross lettable area.																						
*** displays red if not equal to existing area																						
Total Development Charges before Deductions													R9 771.77	R7 810.02	R817.72	R1 593.74	R16 351.85	R43 054.18				
% Deductions per service (%)													0.00%	0.00%	0.00%	0.00%	0.00%	0.00%				
% Deductions per service (amount)													R 0.00	R 0.00	R 0.00	R 0.00	R 0.00	R 0.00				
Additional Deduction per service - from Service Agreement (sum)																						
Sub Total after Deductions (excluding VAT)													R9 771.77	R7 810.02	R817.72	R1 593.74	R16 351.85	R43 054.18				
VAT													R1 465.77	R1 171.50	R122.66	R239.06	R2 452.78	R6 458.13				
Total													R11 237.53	R8 981.53	R940.38	R1 832.80	R18 804.62	R49 512.30				

Water	Sewer	Storm-water	Solid-Waste	Roads	Community Facilities
Yes	Yes	Yes	Yes	Yes	Yes
R 9 771.77	R 7 810.02	R 817.72	R 1 593.74	R 16 351.85	R 43 054.18
0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
R 0.00	R 0.00	R 0.00	R 0.00	R 0.00	R 0.00
R 9 771.77	R 7 810.02	R 817.72	R 1 593.74	R 16 351.85	R 43 054.18
R 1 465.77	R 1 171.50	R 122.66	R 239.06	R 2 452.78	R 6 458.13
R 11 237.53	R 8 981.53	R 940.38	R 1 832.80	R 18 804.62	R 49 512.30