



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/14383(TP41/2022)

Our File Reference Number: Erf 814, Jamestown

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 808 8682

Email address: Ulrich.Vonmolendorff@stellenbosch.gov.za

PER E-MAIL: [REDACTED]

Sir/Madam

APPLICATION FOR DEPARTURE: ERF 814, WEBERSVALLEI ROAD, JAMESTOWN, STELLENBOSCH

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:
 - 2.1 That the application for a departure on Erf 814, Webersvallei Road, Jamestown – Stellenbosch in terms of Section 15(2)(b) of the Stellenbosch Municipal Land Use Planning Bylaw 2015 to:
 - 2.1.1 Relax both common building lines from 5m to 2.770m and 4.134m (adjacent to Farm 510/150 and Rem, Farm 510/24) respectively for the proposed new dwelling house on the property in the form of a double-story as indicated on Drawing No. 2022-05-BAS 001-05 Rev3, Drawn by Jacques Du Toit Architecture & Design, Dated 06 July 2022 attached as **Annexure B**.

BE APPROVED in terms of Section 60 of the said Bylaw and subject to conditions of approval.

- 2.2 The approval is subject to the following conditions imposed in terms of Section 66 of said Bylaw:
 - 2.2.1 The approval will lapse if not implemented/confirmed within five years from the date of final notification of approval of the application.
 - 2.2.2 The approval only applies to the proposed departure under consideration and shall not be construed as authority to depart from any other legal prescriptions or

requirements from Council or other legislation or Bylaws or Regulations that may be applicable.

2.2.3 The development must be undertaken generally per the site plan as referenced in Drawing No. 2022-05-BAS 001-05 Rev3, Drawn by Jacques Du Toit Architecture & Design, Dated 06 July 2022, attached as **Annexure B**.

2.2.4 The approval granted shall not exempt the applicant from complying with any other legal prescriptions or requirements that might have a bearing on the proposed use.

2.2.5 The approval granted shall not be contradictory to any other legislation which has a bearing on the use of the property and that should any other legislation be applicable and be more restrictive then the most restrictive conditions will apply.

2.2.6 Building plans must be generally per the site plan/floor layout plan as referenced in Drawing No. 2022-05-BAS 001-05 Rev3 and 2022-05-BAS 001-01 to 4 Rev 4, Drawn by Jacques Du Toit Architecture & Design, Dated 06 July 2022 and 13 July 2022, attached as **Annexure B**.

2.3 The reasons for the above decision are as follows:

2.3.1 The proposal will not adversely impact the surrounding environment, uses, property values or the character of the area. The property will still be for residential use.

3. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.

4. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:

(a) The personal particulars of the Appellant, including:


- (I) First names and surname;
- (II) ID number;
- (III) Company of Legal person's name (if applicable)
- (IV) Physical Address;
- (V) Contact details, including a Cell number and E-Mail address;

- (b) Reference to this correspondence and the relevant property details on which the appeal is submitted.
- (c) The grounds of the appeal which may include the following grounds:
 - (i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);
 - (ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.
- (d) whether the appeal is lodged against the whole decision or a part of the decision;
- (e) if the appeal is lodged against a part of the decision, a description of the part;
- (f) if the appeal is lodged against a condition of approval, a description of the condition;
- (g) the factual or legal findings that the appellant relies on;
- (h) the relief sought by the appellant; and
- (i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;
- (j) That the appeal includes the following declaration by the Appellant:
 - (i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
 - (ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.

5. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address: landuse.appeals@stellenbosch.gov.za

6. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.
7. The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking details for the General Account can also be accessed on the municipal website (<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).
8. An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
 - (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
 - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
 - (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
 - (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.
9. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.
10. Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully



FOR DIRECTOR: PLANNING AND ECONOMIC DEVELOPMENT

10/1/2023

DATE:

General Notes

1. This plan is for the design of the proposed dwelling on Erf 814, Stellenbosch. It is based on the information provided by the client and is subject to the approval of the relevant authorities. The client is responsible for ensuring that all necessary permits and approvals are obtained before construction commences.

2. The proposed dwelling is shown in pink on the site plan. The boundaries of the erf are shown in black. The boundaries of the neighboring erf (Erf 814) are shown in red.

3. The proposed dwelling is shown in pink on the site plan. The boundaries of the erf are shown in black. The boundaries of the neighboring erf (Erf 814) are shown in red.

4. The proposed dwelling is shown in pink on the site plan. The boundaries of the erf are shown in black. The boundaries of the neighboring erf (Erf 814) are shown in red.

Occupational Health & Safety Act

1. This plan is for the design of the proposed dwelling on Erf 814, Stellenbosch. It is based on the information provided by the client and is subject to the approval of the relevant authorities. The client is responsible for ensuring that all necessary permits and approvals are obtained before construction commences.

2. The proposed dwelling is shown in pink on the site plan. The boundaries of the erf are shown in black. The boundaries of the neighboring erf (Erf 814) are shown in red.

3. The proposed dwelling is shown in pink on the site plan. The boundaries of the erf are shown in black. The boundaries of the neighboring erf (Erf 814) are shown in red.

4. The proposed dwelling is shown in pink on the site plan. The boundaries of the erf are shown in black. The boundaries of the neighboring erf (Erf 814) are shown in red.

Copyright Notice

1. This plan is for the design of the proposed dwelling on Erf 814, Stellenbosch. It is based on the information provided by the client and is subject to the approval of the relevant authorities. The client is responsible for ensuring that all necessary permits and approvals are obtained before construction commences.

2. The proposed dwelling is shown in pink on the site plan. The boundaries of the erf are shown in black. The boundaries of the neighboring erf (Erf 814) are shown in red.

3. The proposed dwelling is shown in pink on the site plan. The boundaries of the erf are shown in black. The boundaries of the neighboring erf (Erf 814) are shown in red.

4. The proposed dwelling is shown in pink on the site plan. The boundaries of the erf are shown in black. The boundaries of the neighboring erf (Erf 814) are shown in red.

Site Area

1. This plan is for the design of the proposed dwelling on Erf 814, Stellenbosch. It is based on the information provided by the client and is subject to the approval of the relevant authorities. The client is responsible for ensuring that all necessary permits and approvals are obtained before construction commences.

2. The proposed dwelling is shown in pink on the site plan. The boundaries of the erf are shown in black. The boundaries of the neighboring erf (Erf 814) are shown in red.

3. The proposed dwelling is shown in pink on the site plan. The boundaries of the erf are shown in black. The boundaries of the neighboring erf (Erf 814) are shown in red.

4. The proposed dwelling is shown in pink on the site plan. The boundaries of the erf are shown in black. The boundaries of the neighboring erf (Erf 814) are shown in red.

Building Information

1. This plan is for the design of the proposed dwelling on Erf 814, Stellenbosch. It is based on the information provided by the client and is subject to the approval of the relevant authorities. The client is responsible for ensuring that all necessary permits and approvals are obtained before construction commences.

2. The proposed dwelling is shown in pink on the site plan. The boundaries of the erf are shown in black. The boundaries of the neighboring erf (Erf 814) are shown in red.

3. The proposed dwelling is shown in pink on the site plan. The boundaries of the erf are shown in black. The boundaries of the neighboring erf (Erf 814) are shown in red.

4. The proposed dwelling is shown in pink on the site plan. The boundaries of the erf are shown in black. The boundaries of the neighboring erf (Erf 814) are shown in red.

HOUSE BASSON

PROPOSED DWELLING ON ERF 814
WEBERVALLEI ROAD, JAMESTOWN
STELLENBOSCH

VIEW: SITE PLAN



JACQUES DU TOIT
ARCHITECTURE & DESIGN



GROUND FLOOR FENESTRATION DETAILS

FENESTRATION NUMBER	DESCRIPTION	SHADING	PH VALUE	PERFORMANCE	SHGC	EXPOSURE	GLASS TYPE
W1	600x1200	SOUTH WEST	1.07m BLIND	0.45	5.00	0.17	0.6
W2	600x1200	SOUTH WEST	1.07m BLIND	0.45	5.00	0.17	0.6
W3	1200x2000	SOUTH EAST	100mm LATEL	0.19	5.00	0.17	0.74
W4	1200x2000	NORTH WEST	100mm LATEL	0.19	5.00	0.17	0.74
D1	1800x2400	SOUTH WEST	SOLID DOOR	2.00	3.00	0.52	0.28
D2	1800x2400	NORTH EAST	12m ROOF	6.00	6.00	0.17	0.51
D3	1800x2400	NORTH EAST	20m ROOF	1.19	1.00	0.83	0.28
D4	1800x2400	NORTH EAST	33m ROOF	1.43	1.00	0.83	0.27

FENESTRATION TOTAL SURFACE AREA: 45.43 m²

NET FLOOR AREA: 142.00 m²

FENESTRATION % OF FLOOR AREA: 31.96 %

MAXIMUM GLASS ALLOWED: 142.00 x 1.00 = 142.00

MAX GLASS CALCULATED: 145.79 x 0.13 = 18.90

CONFORMANCE CALCULATED: 18.90

SHGC CALCULATED: 10.22

FIRST FLOOR FENESTRATION DETAILS

FENESTRATION NUMBER	DESCRIPTION	SHADING	PH VALUE	PERFORMANCE	SHGC	EXPOSURE	GLASS TYPE
W5	600x1200	SOUTH WEST	100mm LATEL	0.11	5.00	0.17	0.6
W6	600x1200	SOUTH WEST	100mm LATEL	0.11	5.00	0.17	0.6
W7	600x1200	SOUTH WEST	100mm LATEL	0.20	5.00	0.17	0.6
W8	600x1200	SOUTH EAST	100mm LATEL	0.08	5.00	0.17	0.6
W9	600x1200	SOUTH EAST	100mm LATEL	0.08	5.00	0.17	0.6
W10	600x1200	NORTH WEST	100mm LATEL	0.08	5.00	0.17	0.6
W11	600x1200	NORTH WEST	100mm LATEL	0.08	5.00	0.17	0.6
W12	600x1200	NORTH EAST	100mm LATEL	0.08	5.00	0.17	0.6
W13	600x1200	NORTH EAST	100mm LATEL	0.08	5.00	0.17	0.6
W14	600x1200	NORTH WEST	100mm LATEL	0.08	5.00	0.17	0.6
W15	600x1200	NORTH WEST	100mm LATEL	0.08	5.00	0.17	0.6
W16	600x1200	NORTH EAST	100mm LATEL	0.08	5.00	0.17	0.6
W17	600x1200	SOUTH EAST	100mm LATEL	0.08	5.00	0.17	0.6

FENESTRATION TOTAL SURFACE AREA: 24.22 m²

NET FLOOR AREA: 142.00 m²

FENESTRATION % OF FLOOR AREA: 17.06 %

MAXIMUM GLASS ALLOWED: 142.00 x 1.00 = 142.00

MAX GLASS CALCULATED: 145.79 x 0.13 = 18.90

CONFORMANCE CALCULATED: 18.90

SHGC CALCULATED: 17.84

MEZZANINE FLOOR FENESTRATION DETAILS

FENESTRATION NUMBER	DESCRIPTION	SHADING	PH VALUE	PERFORMANCE	SHGC	EXPOSURE	GLASS TYPE
W18	600x1200	SOUTH WEST	100mm LATEL	0.11	5.00	0.17	0.6
W19	600x1200	SOUTH WEST	100mm LATEL	0.11	5.00	0.17	0.6
W20	600x1200	SOUTH EAST	100mm LATEL	0.08	5.00	0.17	0.6
W21	600x1200	SOUTH EAST	100mm LATEL	0.08	5.00	0.17	0.6

FENESTRATION TOTAL SURFACE AREA: 9.24 m²

NET FLOOR AREA: 142.00 m²

FENESTRATION % OF FLOOR AREA: 6.51 %

MAXIMUM GLASS ALLOWED: 142.00 x 1.00 = 142.00

MAX GLASS CALCULATED: 145.79 x 0.13 = 18.90

CONFORMANCE CALCULATED: 18.90

SHGC CALCULATED: 6.31

SITE PLAN SCALE 1:500

General Notes

1. The client has provided all necessary information for the preparation of this drawing. The architect is not responsible for the accuracy of the information provided by the client.

2. The architect is not responsible for the accuracy of the information provided by the client.

3. The architect is not responsible for the accuracy of the information provided by the client.

4. The architect is not responsible for the accuracy of the information provided by the client.

5. The architect is not responsible for the accuracy of the information provided by the client.

6. The architect is not responsible for the accuracy of the information provided by the client.

7. The architect is not responsible for the accuracy of the information provided by the client.

8. The architect is not responsible for the accuracy of the information provided by the client.

9. The architect is not responsible for the accuracy of the information provided by the client.

10. The architect is not responsible for the accuracy of the information provided by the client.

Occupational Health & Safety Act

This drawing was prepared in compliance with the Occupational Health and Safety Act (OHSA) of 2002. It is the responsibility of the client and/or contractor to ensure that all work is done in accordance with the OHSA and that all workers are properly trained and equipped for the work.

Copyright Notice

This drawing is the property of Jacques Du Toit Architecture & Design. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Jacques Du Toit Architecture & Design. This drawing is the property of Jacques Du Toit Architecture & Design. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Jacques Du Toit Architecture & Design.

Area Schedule

GENERAL COVER AREA	32.00m ²
FRONT COVER AREA	12.00m ²
REAR COVER AREA	12.00m ²
UNDER ROOF DECK AREA	40.00m ²
UNDER ROOF STEEP AREA	12.00m ²
OPEN ROOF DECK AREA	4.00m ²
TOILET AREA	4.00m ²
BATHROOM AREA	4.00m ²
LIVING ROOM AREA	12.00m ²
DINING ROOM AREA	12.00m ²
KITCHEN AREA	12.00m ²
SITTING AREA AREA	12.00m ²
T.V. ROOM AREA	12.00m ²
GUEST ROOM AREA	12.00m ²
BATHROOM AREA	4.00m ²
TOILET AREA	4.00m ²
COURTYARD AREA	12.00m ²
DRIVEWAY AREA	12.00m ²
TOTAL AREA	188.00m ²

Drawing Information

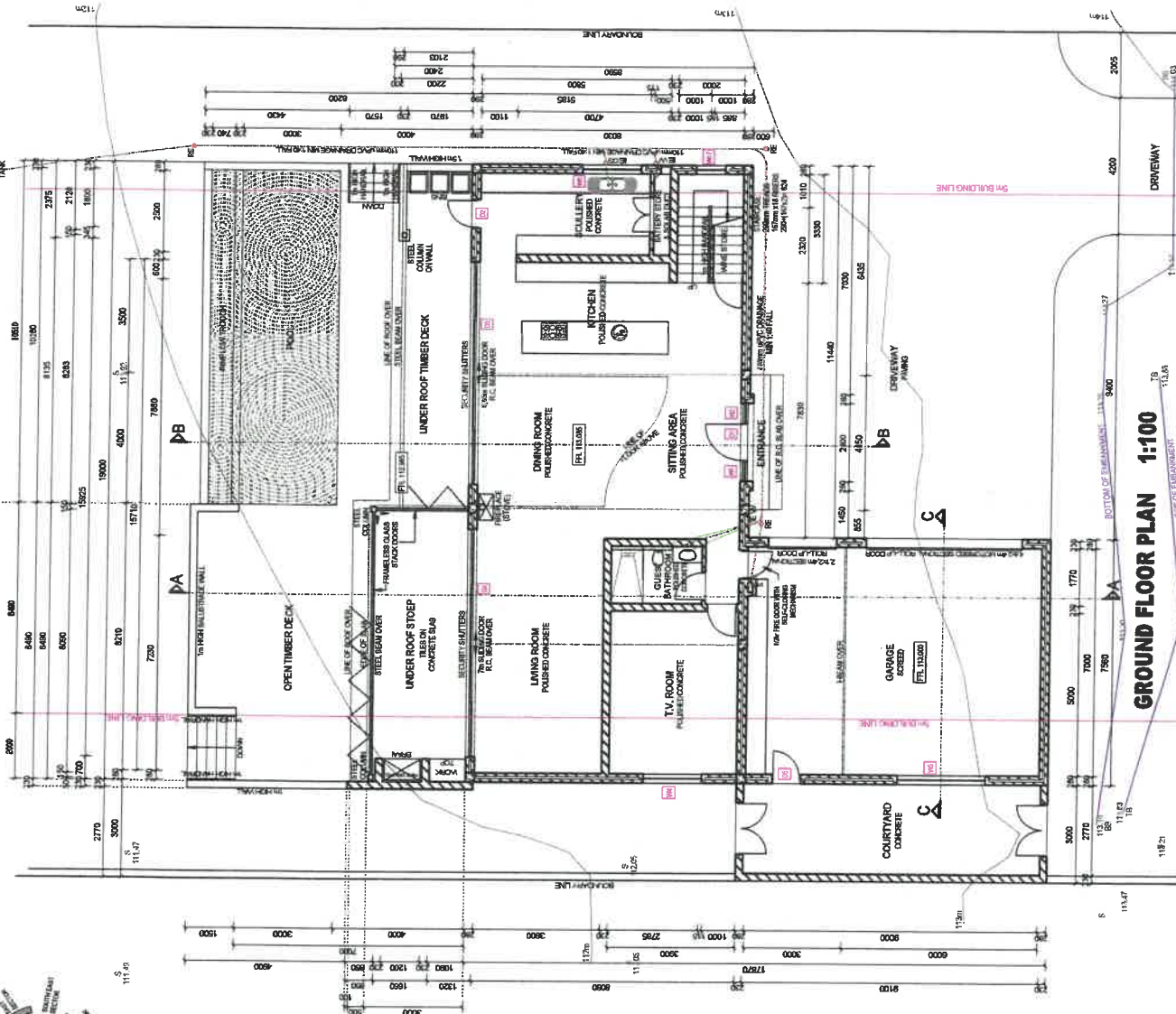
DATE: 13 JULY 2022
 SCALE: 1:100
 DRAWN BY: SVW
 CHECKED BY: JDT
 OWNER: JACQUES DU TOIT
 PROJECT NO: 21118

HOUSE BASSON
 PROPOSED DWELLING ON ERF 814
 WEBERSVILLE ROAD JAMESTOWN
 STELLENBOSCH

MEBIF FLOOR PLAN



JACQUES DU TOIT
 ARCHITECTURE & DESIGN



GROUND FLOOR PLAN 1:100

BLOCK FOR MUNICIPAL USE ONLY

General Notes

1. The client is responsible for obtaining all necessary permits and approvals from the relevant authorities. The architect is not responsible for obtaining these permits and approvals.

2. The client is responsible for providing all necessary information and documents to the architect in a timely manner. The architect is not responsible for delays caused by the client's failure to provide this information and documents.

3. The client is responsible for providing all necessary funds to the architect to cover the cost of the architectural services. The architect is not responsible for any financial issues related to the project.

4. The client is responsible for providing all necessary access to the site for the architect to conduct site visits and measurements. The architect is not responsible for any access issues related to the project.

5. The client is responsible for providing all necessary information and documents to the architect in a timely manner. The architect is not responsible for delays caused by the client's failure to provide this information and documents.

6. The client is responsible for providing all necessary funds to the architect to cover the cost of the architectural services. The architect is not responsible for any financial issues related to the project.

7. The client is responsible for providing all necessary access to the site for the architect to conduct site visits and measurements. The architect is not responsible for any access issues related to the project.

Occupational Health & Safety Act

This document is prepared in accordance with the Occupational Health & Safety Act of 2002. It is the responsibility of the client and the architect to ensure that the project complies with the requirements of this Act.

Copyright Notice

This document is the property of Jacques du Toit Architecture & Design. It is not to be reproduced, copied, or distributed without the written consent of the architect.

Architect's Information

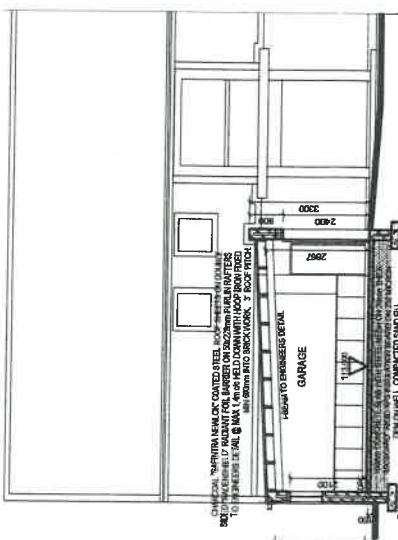
NAME: JACQUES DU TOIT ARCHITECTURE & DESIGN
ADDRESS: 1011 WILHELMINA STREET, WILHELMINA, JOHANNESBURG, SOUTH AFRICA
PHONE: 011 461 1111
EMAIL: info@jacquesdu toit.co.za
WEBSITE: www.jacquesdu toit.co.za

GROUND FLOOR AREA:	234.77 m ²
MEZZANINE FLOOR AREA:	101.11 m ²
ROOF AREA:	435.88 m ²
TOTAL FLOOR AREA:	335.88 m ²
CEILING HEIGHT:	2.40 m
ROOF PITCH:	1:10
WALLS:	200 mm RIBBON BRICK
FLOORS:	100 mm COMPACTED SAND FILL
WINDOWS:	ALUMINIUM FRAMED GLASS
DOORS:	ALUMINIUM FRAMED GLASS
STAIRS:	WOODEN
ROOFING:	DOUBLE GLAZED CORRUGATED METAL
PAINTS:	EMULSION
PLASTER:	1:3 CEMENT SAND
CONCRETE:	20 MPa
STEEL:	300 MPa
GLASS:	6 mm
INSULATION:	100 mm
MEZZANINE:	WOODEN
STAIRS:	WOODEN
ROOFING:	DOUBLE GLAZED CORRUGATED METAL
PAINTS:	EMULSION
CONCRETE:	20 MPa
STEEL:	300 MPa
GLASS:	6 mm
INSULATION:	100 mm

Drawing Information

DATE: 13 JULY 2022
SCALE: 1:100
PAGE NO.: 42
DRAWN BY: S.V.M.
DESIGNED BY: JACQUES DU TOIT
CHECKED BY: S.V.M.
DATE: 13 JULY 2022

HOUSE BASSON
 PROPOSED DWELLING ON ERF 674
 WEBERSVALLEI ROAD, JAMESTOWN
 STELLENBOSCH



SECTION C-C 1:100

NOTES:

GENERAL: FOUNDATIONS AS INDICATED ON SECTIONS. FOUNDATIONS TO PRIMARY WALL COLUMNS ARE 400x400x1000. FOUNDATIONS TO SECONDARY WALL COLUMNS ARE 300x300x1000. FOUNDATIONS TO EXTERNAL WALLS TO BE 200x200x1000. FOUNDATIONS TO INTERNAL WALLS TO BE 150x150x1000. FOUNDATIONS TO EXTERNAL WALLS TO BE 200x200x1000. FOUNDATIONS TO INTERNAL WALLS TO BE 150x150x1000.

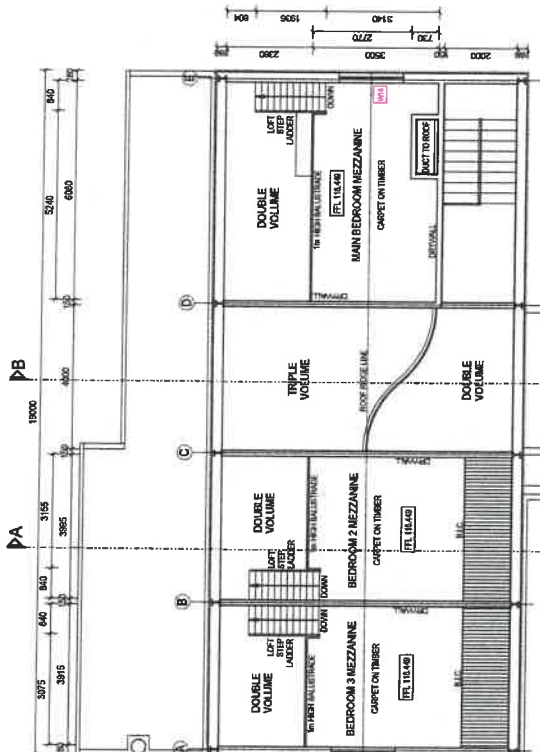
ROOF: ROOFING TO BE DOUBLE GLAZED CORRUGATED METAL WITH 1:10 PITCH. ROOFING TO BE DOUBLE GLAZED CORRUGATED METAL WITH 1:10 PITCH. ROOFING TO BE DOUBLE GLAZED CORRUGATED METAL WITH 1:10 PITCH. ROOFING TO BE DOUBLE GLAZED CORRUGATED METAL WITH 1:10 PITCH.

CEILING: CEILING TO BE 1:3 CEMENT SAND PLASTER. CEILING TO BE 1:3 CEMENT SAND PLASTER. CEILING TO BE 1:3 CEMENT SAND PLASTER. CEILING TO BE 1:3 CEMENT SAND PLASTER.

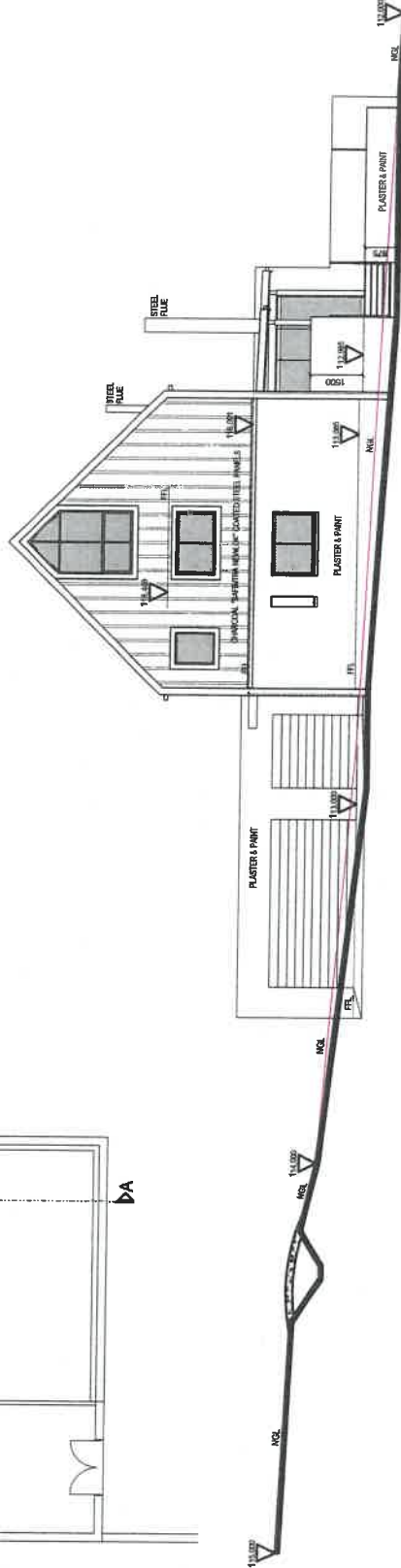
WALLS: WALLS TO BE 200 MM RIBBON BRICK. WALLS TO BE 200 MM RIBBON BRICK. WALLS TO BE 200 MM RIBBON BRICK. WALLS TO BE 200 MM RIBBON BRICK.

FLOORS: FLOORS TO BE 100 MM COMPACTED SAND FILL. FLOORS TO BE 100 MM COMPACTED SAND FILL. FLOORS TO BE 100 MM COMPACTED SAND FILL. FLOORS TO BE 100 MM COMPACTED SAND FILL.

WINDOWS & DOORS: WINDOWS & DOORS TO BE ALUMINIUM FRAMED GLASS. WINDOWS & DOORS TO BE ALUMINIUM FRAMED GLASS. WINDOWS & DOORS TO BE ALUMINIUM FRAMED GLASS. WINDOWS & DOORS TO BE ALUMINIUM FRAMED GLASS.



MEZZANINE FLOOR PLAN 1:100



SOUTH EAST ELEVATION 1:100

BLOCK FOR MUNICIPAL USE ONLY



General Notes

The client is to provide all necessary information, documents and drawings to the architect in a timely manner. The architect is not responsible for the accuracy of the information provided by the client. The architect is not responsible for the accuracy of the information provided by the client. The architect is not responsible for the accuracy of the information provided by the client.

Occupational Health & Safety Act


The architect is responsible for the design of the building in accordance with the Occupational Health & Safety Act. The architect is not responsible for the accuracy of the information provided by the client. The architect is not responsible for the accuracy of the information provided by the client.

Copyright Notice

The architect is the copyright owner of the drawings and documents. No part of these drawings and documents may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect.

GROUND FLOOR AREA	24.11 M ²
1ST FLOOR AREA	24.11 M ²
2ND FLOOR AREA	24.11 M ²
3RD FLOOR AREA	24.11 M ²
4TH FLOOR AREA	24.11 M ²
5TH FLOOR AREA	24.11 M ²
6TH FLOOR AREA	24.11 M ²
7TH FLOOR AREA	24.11 M ²
8TH FLOOR AREA	24.11 M ²
9TH FLOOR AREA	24.11 M ²
10TH FLOOR AREA	24.11 M ²
11TH FLOOR AREA	24.11 M ²
12TH FLOOR AREA	24.11 M ²
13TH FLOOR AREA	24.11 M ²
14TH FLOOR AREA	24.11 M ²
15TH FLOOR AREA	24.11 M ²
16TH FLOOR AREA	24.11 M ²
17TH FLOOR AREA	24.11 M ²
18TH FLOOR AREA	24.11 M ²
19TH FLOOR AREA	24.11 M ²
20TH FLOOR AREA	24.11 M ²
21TH FLOOR AREA	24.11 M ²
22TH FLOOR AREA	24.11 M ²
23TH FLOOR AREA	24.11 M ²
24TH FLOOR AREA	24.11 M ²
25TH FLOOR AREA	24.11 M ²
26TH FLOOR AREA	24.11 M ²
27TH FLOOR AREA	24.11 M ²
28TH FLOOR AREA	24.11 M ²
29TH FLOOR AREA	24.11 M ²
30TH FLOOR AREA	24.11 M ²

Drawing Information	
DATE	13 JULY 2022
SCALE	1:100
PAGE SIZE	A2
DRAWN BY	S.V.M.
CHECKED BY	JACQUES DU TOIT
SCALE NO.	ST113
OWNER	HOUSE BASSON
ADDRESS	61 BERG STREET GORDONS BAY 7140
PROJECT NO.	2022-001
VIEW	ELEVATIONS



JACQUES DU TOIT
ARCHITECTURE & DESIGN

idtoit@jacquesduoit.com
021 943 5034
jacquesduoit@gmx.co.za
61 BERG STREET GORDONS BAY 7140

