



# STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/16179 (TP453/2023)

Our File Reference Number: Erf 814, Jamestown

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 – 808 8682

Email address: [Ulrich.Vonmolendorff@stellenbosch.gov.za](mailto:Ulrich.Vonmolendorff@stellenbosch.gov.za)

PER E-MAIL: [REDACTED]

Sir / Madam

**APPLICATION IS MADE IN TERMS OF SECTION 15(2)(b) OF THE STELLENBOSCH MUNICIPAL LAND USE PLANNING BYLAW, 2023 FOR DEPARTURE ON ERF 814 JAMESTOWN, STELLENBOSCH**

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:
  - 2.1 That the application made in terms of Section 15(2)(b) of the Stellenbosch Municipal Land Use Planning Bylaw 2023, for a departure to relax the common building line from 5m to 2.770m\_(adjacent to Farm 510/150) to convert the under-roof stoep to a balcony on Erf 814, Webersvallei Road, Jamestown.
  - 2.2 That the application made in terms of Section 15(2)(b) of the Stellenbosch Municipal Land Use Planning Bylaw 2023, for a departure to increase the height of the approved structure from a two-storey height to accommodate the mezzanine floor within the existing approved roof space, on Erf 814, Webersvallei Road, Jamestown.

**BE APPROVED** in terms of Section 60 of the said Bylaw and subject to conditions of approval.

2.3 The approval is subject to the following conditions imposed in terms of Section 66 of said Bylaw:

- 2.3.1 The approval only applies to the proposed departure under consideration and shall not be construed as authority to depart from any other legal prescriptions or requirements from Council or other legislation or Bylaws or Regulations that may be applicable.

2.3.2 The development must be undertaken generally per the site plan as referenced in Drawing No. 2022-05-BAS001-01 to 05 Rev16, Drawn by Jacques Du Toit Architecture & Design, Dated 05 June 2023, attached as **Annexure B**.

2.3.3 The approval granted shall not be contradictory to any other legislation which has a bearing on the use of the property and should any other legislation be applicable and be more restrictive than the most restrictive conditions will apply.

2.3.4 Building plans must be generally per the site plan/floor layout plan as referenced in Drawing No. Drawing No. 2022-05-BAS001-01 to 05 Rev16, Drawn by Jacques Du Toit Architecture & Design, Dated 05 June 2023, attached as **Annexure B**.

2.4 The reasons for the above decision are as follows:

2.4.1 The mezzanine floor will be created within the approved roof area and will not be visible from the outside of the dwelling.

2.4.2 The proposal will not have any negative impact on the physical height of the structure.

3. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.

4. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:

4.1 The personal particulars of the Appellant, including:

- a) First names and surname
- b) ID number
- c) Company of Legal person's name (if applicable)
- d) Physical Address
- e) Contact details, including a Cell number and E-Mail address

5. Reference to this correspondence and the relevant property details on which the appeal is submitted.

5.1 The grounds of the appeal which may include the following grounds:

- a) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000)
- b) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.

5.2 Whether the appeal is lodged against the whole decision or a part of the decision.

5.3 If the appeal is lodged against a part of the decision, a description of the part.

5.4 If the appeal is lodged against a condition of approval, a description of the condition.

5.5 The factual or legal findings that the appellant relies on.

5.6 The relief sought by the appellant.

5.7 Any issue that the appellant wishes the Appeal Authority to consider in making its decision.

5.8 That the appeal includes the following declaration by the Appellant:

- a) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
- b) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.

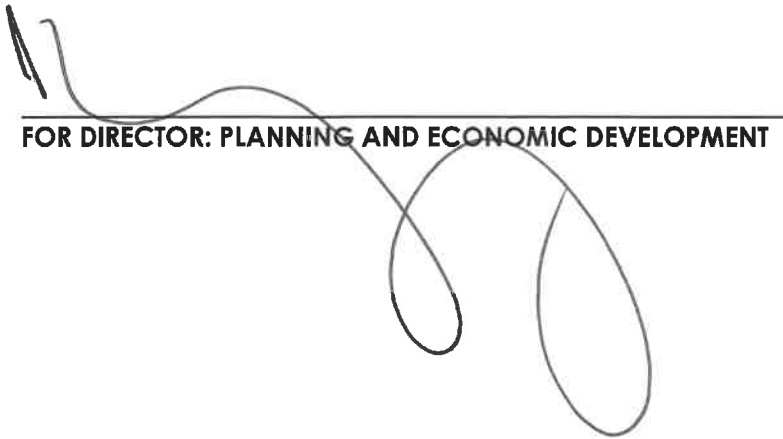
- 6. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of e-mail at the following address: [landuse.appeals@stellenbosch.gov.za](mailto:landuse.appeals@stellenbosch.gov.za)
- 7. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The LU Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.
- 8. The approved tariff structure and the banking details for the General Account can be accessed and viewed on the municipal website. For any enquiries the office can be contacted at [landuse.appeals@stellenbosch.gov.za](mailto:landuse.appeals@stellenbosch.gov.za)
- 9. An applicant who lodges an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
  - (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
  - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
  - (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.

(d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.

10. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

11. Kindly note the above decision in the case of any approval, is suspended, and may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully

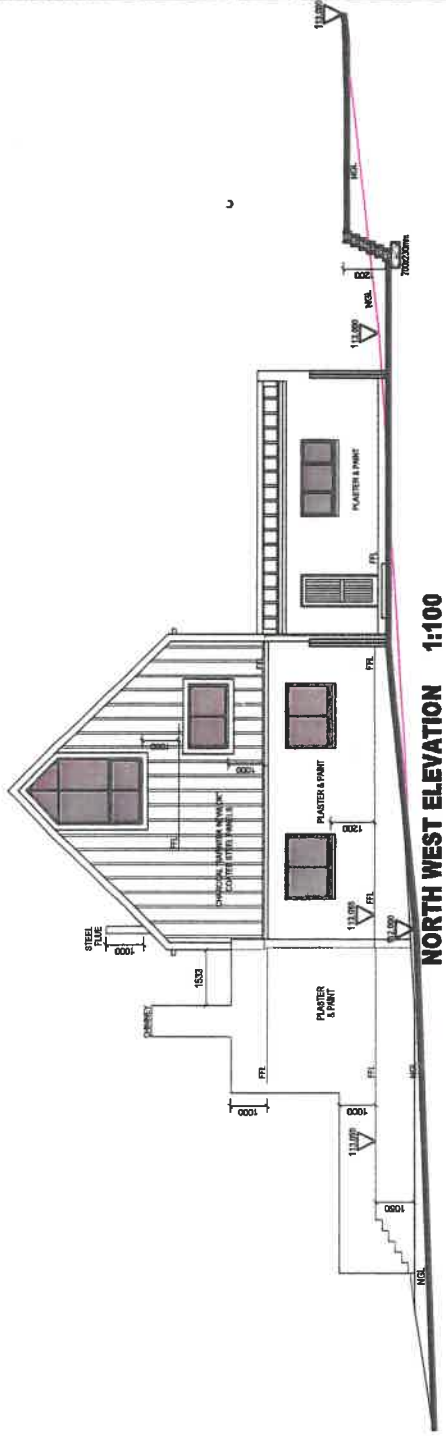
  
\_\_\_\_\_  
**FOR DIRECTOR: PLANNING AND ECONOMIC DEVELOPMENT**

15/3/2024.  
\_\_\_\_\_  
DATE

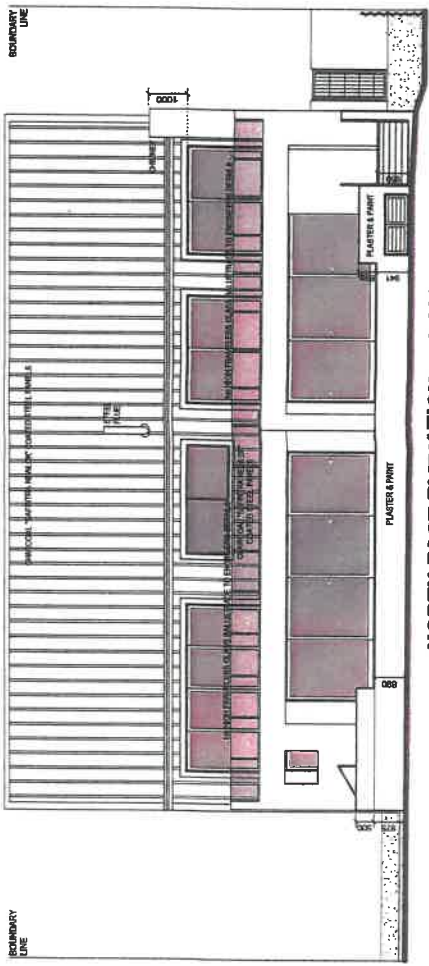
BLOCK FOR MUNICIPAL USE ONLY



**SOUTH WEST ELEVATION 1:100**



**NORTH WEST ELEVATION 1:100**



**NORTH EAST ELEVATION 1:100**

**General Notes**

1. The architect is not responsible for the construction of the building or for the safety of the building. The architect is responsible for the design and construction of the building as shown on the drawings.

2. The architect is not responsible for the construction of the building or for the safety of the building. The architect is responsible for the design and construction of the building as shown on the drawings.

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**Occupational Health & Safety Act**

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Area	Area
GROUND FLOOR AREA	214.00 SQ. M.
FIRST FLOOR AREA	108.00 SQ. M.
SECOND FLOOR AREA	452.00 SQ. M.
UNDER FLOOR AREA	4.00 SQ. M.
TOTAL FLOOR AREA	478.00 SQ. M.
COVERED DECK AREA	11.00 SQ. M.
DECKING FLOOR AREA	54.00 SQ. M.
POOL AREA	33.00 SQ. M.
TOTAL AREA	638.00 SQ. M.
% COVERED	20.00%
BLANK FLOOR	4.00
ZONING	SINGLE RESIDENTIAL LOT 1

**Drawing Information**

DATE: 05 JUNE 2013  
 SCALE: 1:100  
 DRAWING NO.: 101  
 DESIGNER: JACQUES DU TOIT  
 CHECKER: S. STREIBER  
 DRAWING NO.: 101-05-BASIN-01-REV12

**HOUSEPASSION**

101-05-BASIN-01-REV12

**JACQUES DU TOIT**  
 ARCHITECTURE & DESIGN

101-05-BASIN-01-REV12

67 BERG STREET GORDONS BAY 7140



**General Notes**

1. The drawings are prepared in accordance with the requirements of the National Building Act (Act 103 of 1977) and the National Building Regulations and Standards (SANS 10400).

2. The drawings are prepared on the basis of the information provided by the client and the contractor. The contractor is responsible for the accuracy of the information provided.

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**Occupational Health & Safety Act**

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2. The drawings are prepared on the basis of the information provided by the client and the contractor. The contractor is responsible for the accuracy of the information provided.

**Copyright Notice**

1. The drawings are the property of the architect and are not to be reproduced, copied, or distributed without the written consent of the architect.

2. The drawings are prepared on the basis of the information provided by the client and the contractor. The contractor is responsible for the accuracy of the information provided.

Item	Description	Quantity	Unit
1	GROUND FLOOR AREA	21.8	SQM
2	MEZZANINE FLOOR AREA	41.2	SQM
3	UPPER FLOOR AREA	41.2	SQM
4	OPEN STAIR DECK AREA	4.7	SQM
5	POOL AREA	3.8	SQM
6	TOTAL AREA	117.7	SQM
7	COVERED AREA	20.3	SQM
8	UNCOVERED AREA	97.4	SQM
9	TOTAL PERIMETER	208	M
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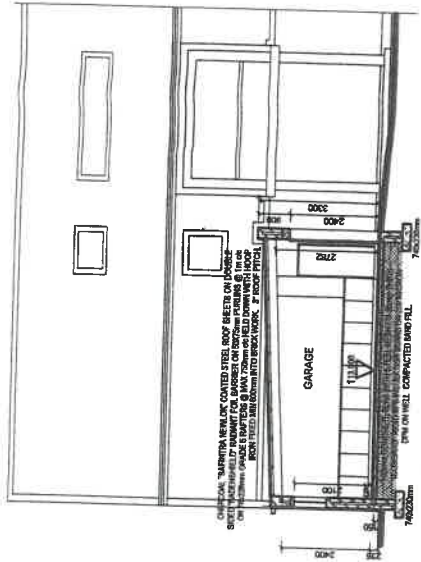
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**JACQUES DU TOIT**  
ARCHITECTURE & DESIGN

STELLENBOSCH



**NOTES:**

**GENERAL:**

CONSTRUCTION OF MATERIALS & SUBSTITUTES TO COMPLY WITH PART M OF SANS 10400. BALUSTRADE OPERABLE MAX 100mm GLASS IN FLOOR SHAWTWAY WARE TO BE FITTED WITH CLEAR REAL TYPED GLASS TO COMPLY WITH SANS 10400. THESE ARE 20mm BEARING MAX 20mm. BEDROOM MIN 2.1m.

**ROOF:**

CHARCOAL "SMARTER NEWLY" COATED STEEL ROOF SHEETS ON DOUBLE BEAD ZINCALUMINUM GALVAZINUM. 12mm MIN THICK. 2" ROOF PITCH. CARBON "SMARTER NEWLY" COATED STEEL ROOF SHEETS ON DOUBLE BEAD ZINCALUMINUM GALVAZINUM. 12mm MIN THICK. 2" ROOF PITCH. STEEL PILING TO BE ENGINEER SPECIFICATION @ MAX 1.6m ON STEEL PORTAL FRAME TO ENGINEER DETAILS. 2" ROOF PITCH. GROUND FLOOR - FINISHED 12mm MINIMUM PLASTER BOARD WITH TAPERED EDGES. TAPERED EDGES TO BE TAPER & SPINDLED.

**CELLINGS:**

GROUND FLOOR - GYPSUM BOARD ON CONCRETE FIBRE.

**WALLS:**

WALL TO FLOOR - GYPSUM BOARD THROUGHOUT. EXTERNAL WALLS TO BE 200mm CAVITY WALLS AS INDICATED ON PLAN. WALL TO ACCORDANCE WITH SANS 10400. BULK IN BRICK WORK SUPPLIED PVC IN WALL NOT TO BE LESS THAN 150mm ABOVE FIRST FLOOR - CHARCOAL "SMARTER NEWLY" COATED STEEL ROOF SHEETS ON DOUBLE BEAD ZINCALUMINUM GALVAZINUM. 12mm MIN THICK. 2" ROOF PITCH. WAPOR BARRIER FROD TO STEEL PILING TO ENGINEER USE. GROUND SHEETS ON DOUBLE BEAD ZINCALUMINUM GALVAZINUM WITH TAPERED EDGES. TAPERED EDGES TO BE TAPER & SPINDLED.

**FLOORS:**

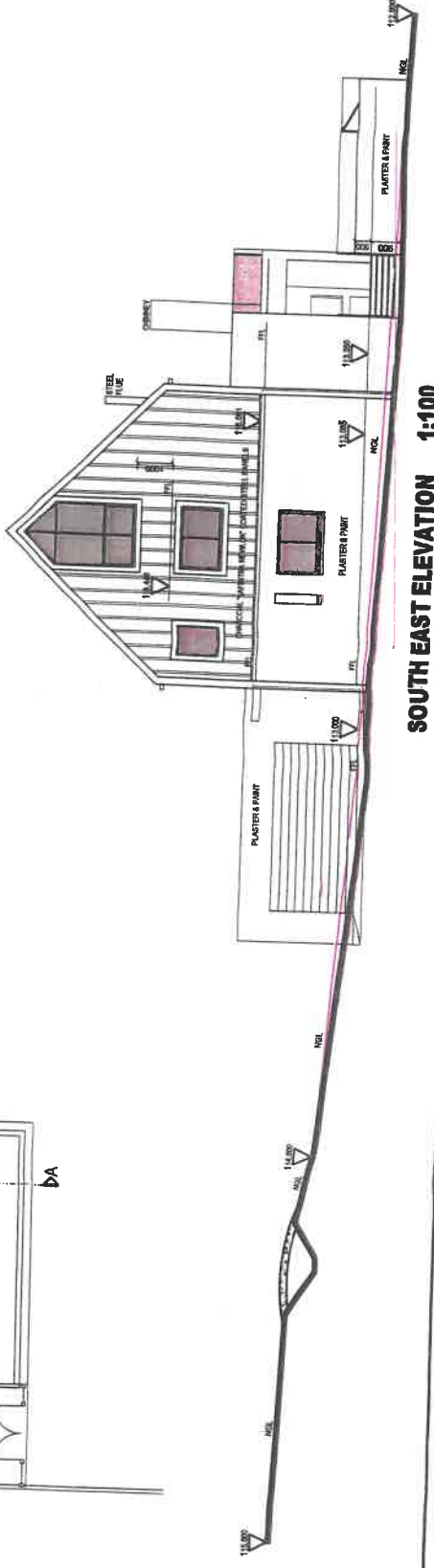
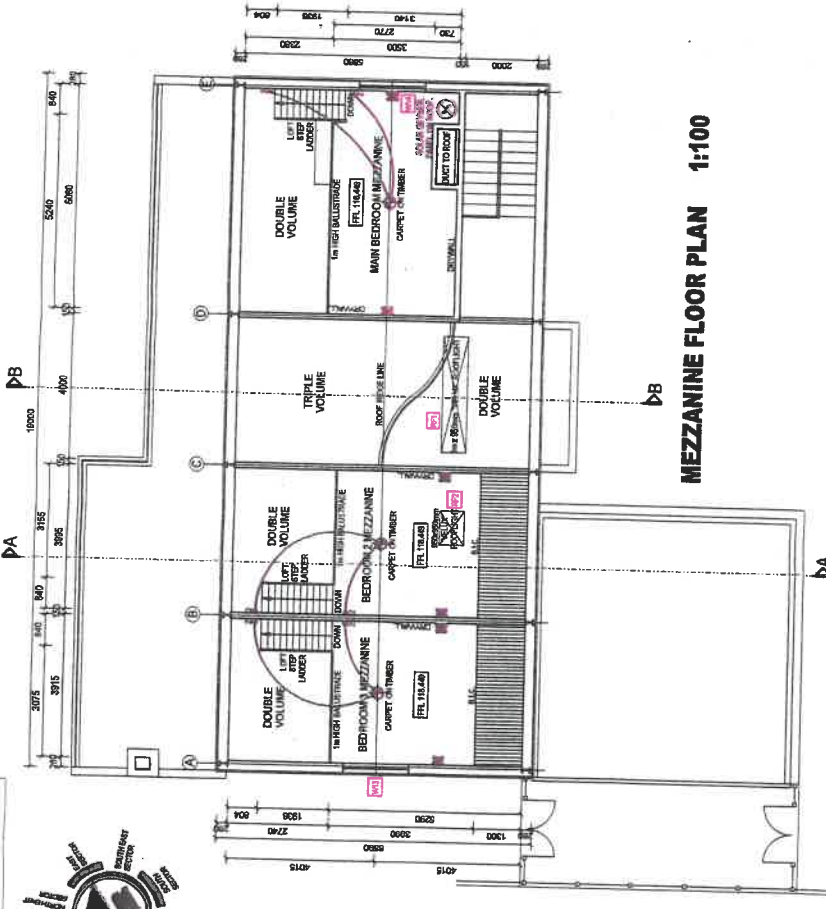
GARAGE - 12mm MINIMUM PLASTER BOARD WITH TAPERED EDGES. TAPERED EDGES TO BE TAPER & SPINDLED. G.F. GARAGE - 12mm MINIMUM PLASTER BOARD WITH TAPERED EDGES. TAPERED EDGES TO BE TAPER & SPINDLED. SAND FILL ON 200mm DPM ON WELL COMPACTED SAND FILL. PROTECTION - ENGINEERED TIMBER ON F.L. BLUE TO ENGINEER DETAILS.

**FOUNDATIONS:**

FOUNDATIONS AS INDICATED ON SECTIONS. FOOT FOUNDATIONS TO BOUNDARY WALL COLUMN ARE 400 x 400mm.

**WINDOWS & DOORS:**

CHARCOAL ENJOY COATED ALUMINUM THROUGHOUT UNLESS STATED OTHERWISE. INTERNAL ALUMINUM FRAMES TO BE TIMBER. FRAMES TO COMPLY WITH SANS 10400. ACCESS DOORS & SIDE LOUVER. WALKING SURFACE TO BE IN ACCORDANCE WITH SANS 10400. CLEARLY INDICATED SECTION ON THE GLASS IN A POSITION. VISIBLE FOAMING AFTER INSTALLATION.

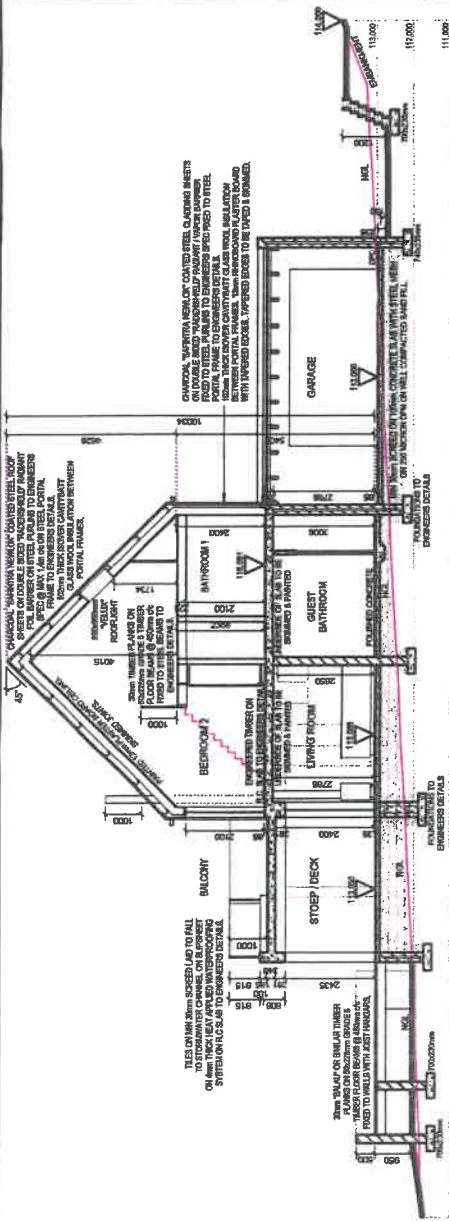


BOOK FOR MUNICIPAL USE ONLY

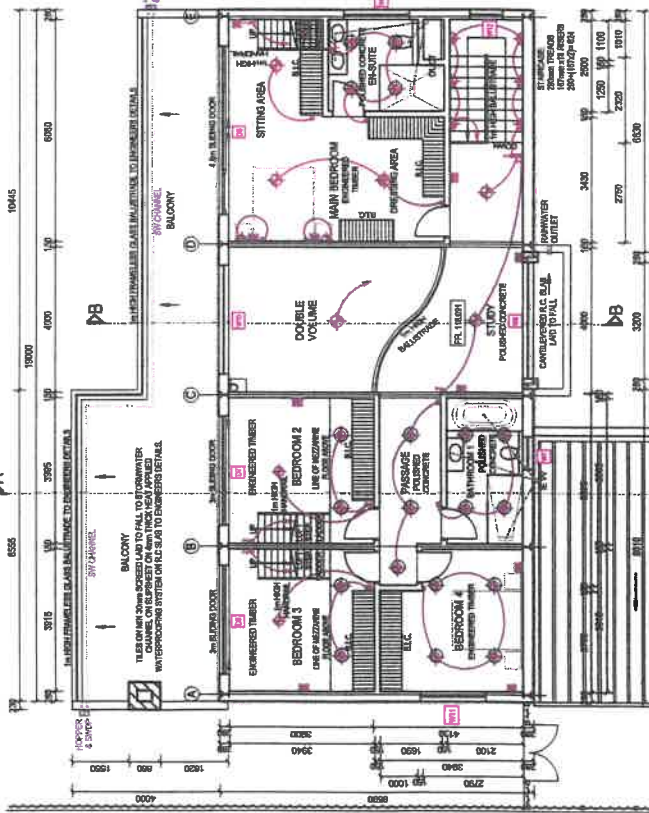


ELECTRICAL LEGEND	
NEW	RECESSED TYPE DOWNLIGHTER
+	CEILING BRACKET LIGHT FITTING
+	WALL LIGHT FITTING
+	CEILING FAN
+	DOUBLE 15 AMP POWER PLUG/OUTLET
+	SINGLE 15 AMP POWER PLUG/OUTLET
+	DOUBLE 15 AMP POWER PLUG/OUTLET
+	UNDERCUP POWER PLUG/OUTLET
+	ISOLATOR
+	LIGHT SWITCH
+	TWO-WAY LIGHT SWITCH
+	TIMER CONTROLLED LIGHT SWITCH
+	INTERCOM
+	TV SOCKET
+	TELEPHONE POINT
+	DISTRIBUTION BOARD
+	WALL MOUNTED TOWEL HEATER
+	EXTRACTOR FAN

BLACK FOR WAND/PA 455 ONLY



SECTION A-A 1:100



FIRST FLOOR PLAN 1:100

ENERGY EFFICIENCY SPECIFICATIONS:

- WALLS: 125mm MINERAL WOOL INSULATION TO COMPLY WITH RANS 187, SAND BRICK, SOLAR GLASS INSTALLATION TO COMPLY WITH RANS 187, SAND BRICK, SOLAR GLASS 1.8m x 1.8m x 1.8m.
- ROOF: 125mm MINERAL WOOL INSULATION TO COMPLY WITH RANS 187, SAND BRICK, SOLAR GLASS 1.8m x 1.8m x 1.8m.
- FLOOR: 125mm MINERAL WOOL INSULATION TO COMPLY WITH RANS 187, SAND BRICK, SOLAR GLASS 1.8m x 1.8m x 1.8m.
- GLASS: 125mm MINERAL WOOL INSULATION TO COMPLY WITH RANS 187, SAND BRICK, SOLAR GLASS 1.8m x 1.8m x 1.8m.
- DOOR: 125mm MINERAL WOOL INSULATION TO COMPLY WITH RANS 187, SAND BRICK, SOLAR GLASS 1.8m x 1.8m x 1.8m.
- WINDOW: 125mm MINERAL WOOL INSULATION TO COMPLY WITH RANS 187, SAND BRICK, SOLAR GLASS 1.8m x 1.8m x 1.8m.
- INSULATION TO ROOF: 125mm MINERAL WOOL INSULATION TO COMPLY WITH RANS 187, SAND BRICK, SOLAR GLASS 1.8m x 1.8m x 1.8m.
- ROOF SHEET: 125mm MINERAL WOOL INSULATION TO COMPLY WITH RANS 187, SAND BRICK, SOLAR GLASS 1.8m x 1.8m x 1.8m.
- CEILING: 125mm MINERAL WOOL INSULATION TO COMPLY WITH RANS 187, SAND BRICK, SOLAR GLASS 1.8m x 1.8m x 1.8m.
- WALL: 125mm MINERAL WOOL INSULATION TO COMPLY WITH RANS 187, SAND BRICK, SOLAR GLASS 1.8m x 1.8m x 1.8m.
- FLOOR: 125mm MINERAL WOOL INSULATION TO COMPLY WITH RANS 187, SAND BRICK, SOLAR GLASS 1.8m x 1.8m x 1.8m.
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- INSULATION TO WALLS: 125mm MINERAL WOOL INSULATION TO COMPLY WITH RANS 187, SAND BRICK, SOLAR GLASS 1.8m x 1.8m x 1.8m.
- ROOF: 125mm MINERAL WOOL INSULATION TO COMPLY WITH RANS 187, SAND BRICK, SOLAR GLASS 1.8m x 1.8m x 1.8m.
- FLOOR: 125mm MINERAL WOOL INSULATION TO COMPLY WITH RANS 187, SAND BRICK, SOLAR GLASS 1.8m x 1.8m x 1.8m.
- GLASS: 125mm MINERAL WOOL INSULATION TO COMPLY WITH RANS 187, SAND BRICK, SOLAR GLASS 1.8m x 1.8m x 1.8m.
- DOOR: 125mm MINERAL WOOL INSULATION TO COMPLY WITH RANS 187, SAND BRICK, SOLAR GLASS 1.8m x 1.8m x 1.8m.
- WINDOW: 125mm MINERAL WOOL INSULATION TO COMPLY WITH RANS 187, SAND BRICK, SOLAR GLASS 1.8m x 1.8m x 1.8m.
- INSULATION TO ROOF: 125mm MINERAL WOOL INSULATION TO COMPLY WITH RANS 187, SAND BRICK, SOLAR GLASS 1.8m x 1.8m x 1.8m.
- ROOF SHEET: 125mm MINERAL WOOL INSULATION TO COMPLY WITH RANS 187, SAND BRICK, SOLAR GLASS 1.8m x 1.8m x 1.8m.
- CEILING: 125mm MINERAL WOOL INSULATION TO COMPLY WITH RANS 187, SAND BRICK, SOLAR GLASS 1.8m x 1.8m x 1.8m.
- WALL: 125mm MINERAL WOOL INSULATION TO COMPLY WITH RANS 187, SAND BRICK, SOLAR GLASS 1.8m x 1.8m x 1.8m.
- FLOOR: 125mm MINERAL WOOL INSULATION TO COMPLY WITH RANS 187, SAND BRICK, SOLAR GLASS 1.8m x 1.8m x 1.8m.
- GLASS: 125mm MINERAL WOOL INSULATION TO COMPLY WITH RANS 187, SAND BRICK, SOLAR GLASS 1.8m x 1.8m x 1.8m.
- DOOR: 125mm MINERAL WOOL INSULATION TO COMPLY WITH RANS 187, SAND BRICK, SOLAR GLASS 1.8m x 1.8m x 1.8m.
- WINDOW: 125mm MINERAL WOOL INSULATION TO COMPLY WITH RANS 187, SAND BRICK, SOLAR GLASS 1.8m x 1.8m x 1.8m.

**General Notes**

1. The client has approved the design and construction of the house as shown on the drawings. The client is responsible for obtaining all necessary permits and approvals from the relevant authorities. The client is also responsible for ensuring that the house is built in accordance with the drawings and specifications.

2. The contractor is responsible for obtaining all necessary permits and approvals from the relevant authorities. The contractor is also responsible for ensuring that the house is built in accordance with the drawings and specifications.

3. The contractor is responsible for ensuring that the house is built in accordance with the drawings and specifications. The contractor is also responsible for ensuring that the house is built in accordance with the relevant building codes and standards.

4. The contractor is responsible for ensuring that the house is built in accordance with the drawings and specifications. The contractor is also responsible for ensuring that the house is built in accordance with the relevant building codes and standards.

5. The contractor is responsible for ensuring that the house is built in accordance with the drawings and specifications. The contractor is also responsible for ensuring that the house is built in accordance with the relevant building codes and standards.

Area	Area
GROUND FLOOR AREA	211.00m <sup>2</sup>
FIRST FLOOR AREA	194.00m <sup>2</sup>
TOTAL FLOOR AREA	405.00m <sup>2</sup>
LANDSCAPE AREA	4.00m <sup>2</sup>
POOL AREA	4.00m <sup>2</sup>
TOTAL AREA	413.00m <sup>2</sup>
POOL AREA	4.00m <sup>2</sup>
LANDSCAPE AREA	4.00m <sup>2</sup>
TOTAL AREA	413.00m <sup>2</sup>

**Project Information**

DATE: 03 JUNE 2023

SCALE: 1:100

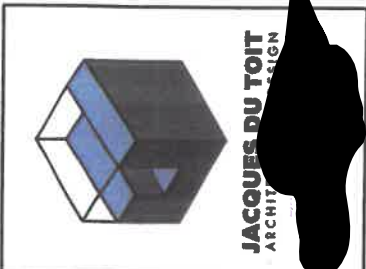
PAGE NO.: 1/12

PROJECT NO.: 12345678

CLIENT: JACQUES DU TOIT ARCHITECTS

PROJECT NAME: HOUSE BASSON

PROJECT ADDRESS: 123456789, CHANNING, NORTHERN SUBURBS, JOHANNESBURG, SOUTH AFRICA



VIEW: A-B (PLAN) SECTION

SECTION B-B 1:100







**General Notes**

1. This drawing is prepared in accordance with the provisions of the Building Act 2004 and the Building Regulations 2006. It is intended to be used in conjunction with the other drawings in this set. The architect is not responsible for the accuracy of the information provided in this drawing. The architect is not responsible for the accuracy of the information provided in this drawing. The architect is not responsible for the accuracy of the information provided in this drawing.

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**Professional Engineer & Survey Act**

The architect is a registered professional engineer and surveyor. The architect is not responsible for the accuracy of the information provided in this drawing. The architect is not responsible for the accuracy of the information provided in this drawing. The architect is not responsible for the accuracy of the information provided in this drawing.

**Areas**

GROUND FLOOR AREA	214.00m <sup>2</sup>
FIRST FLOOR AREA	124.00m <sup>2</sup>
MEZZANINE FLOOR AREA	43.00m <sup>2</sup>
ROOF AREA	38.00m <sup>2</sup>
TOTAL FLOOR AREA	419.00m <sup>2</sup>
OPEN SPACE / DECK AREA	71.00m <sup>2</sup>
OPEN BRIDGE FLOOR AREA	58.00m <sup>2</sup>
EXCL. AREA	33.00m <sup>2</sup>

**Site Area**

SITE AREA	419.00m <sup>2</sup>
GLASS TYPE	6mm
GLASS FACTOR	0.77
GLASS PERCENTAGE	18.38%
GLASS PERCENTAGE	18.38%
GLASS PERCENTAGE	18.38%

**Drawing Information:**  
 DATE: 08 JUNE 2023  
 SHEET NO: 02  
 DRAWN BY: S. SWAIN  
 CHECKED BY: M. GIBSON  
 DESIGNED BY: M. GIBSON  
 DRAWING NO: 23-02-BAS-001-REV18  
 PROJECT: NEW SITE PLAN



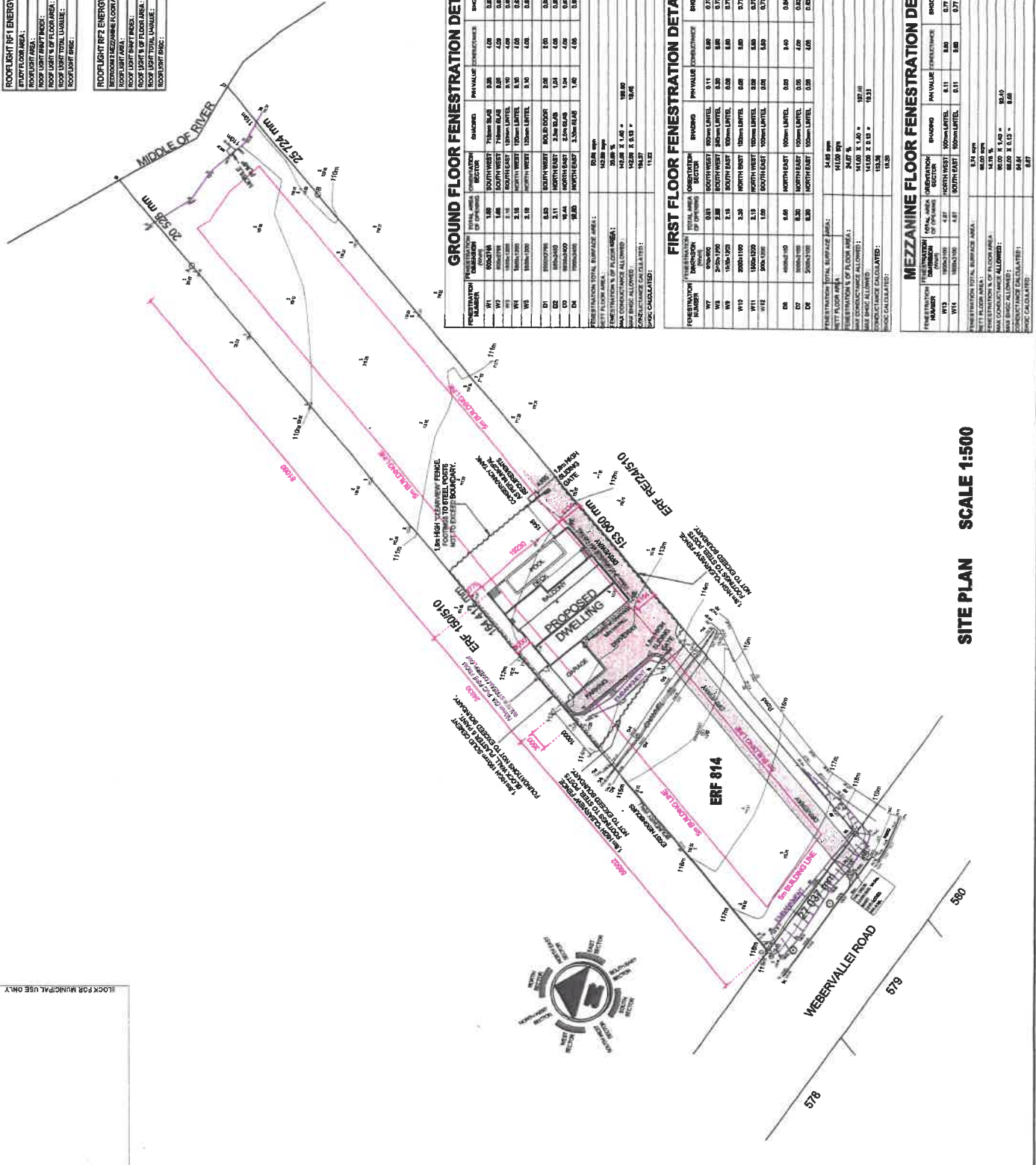
**JACQUES DULIT**

**ROOFLIGHT RFI ENERGY EFFICIENCY**

ROOFLIGHT RFI AREA	21.00m <sup>2</sup>
ROOFLIGHT RFI PERCENTAGE	5.01%
ROOFLIGHT RFI U-VALUE	0.18
ROOFLIGHT RFI U-VALUE	0.18
ROOFLIGHT RFI U-VALUE	0.18

**ROOFLIGHT RFI ENERGY EFFICIENCY**

ROOFLIGHT RFI AREA	21.00m <sup>2</sup>
ROOFLIGHT RFI PERCENTAGE	5.01%
ROOFLIGHT RFI U-VALUE	0.18
ROOFLIGHT RFI U-VALUE	0.18
ROOFLIGHT RFI U-VALUE	0.18



**GROUND FLOOR FENESTRATION DETAILS**

FENESTRATION NUMBER	DESCRIPTION	FINISH	GLASS TYPE	GLASS FACTOR	GLASS PERCENTAGE
W1	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W2	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W3	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W4	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W5	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W6	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W7	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W8	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W9	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W10	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W11	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W12	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W13	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W14	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W15	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W16	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W17	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W18	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W19	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W20	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W21	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W22	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W23	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W24	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W25	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W26	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W27	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W28	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W29	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W30	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W31	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W32	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W33	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W34	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W35	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W36	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W37	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W38	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W39	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W40	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W41	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W42	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W43	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W44	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W45	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W46	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W47	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W48	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W49	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W50	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W51	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W52	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W53	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W54	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W55	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W56	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W57	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W58	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W59	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W60	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W61	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W62	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W63	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W64	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W65	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W66	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W67	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W68	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W69	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W70	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W71	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W72	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W73	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W74	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W75	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W76	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W77	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W78	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W79	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W80	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W81	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W82	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W83	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W84	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W85	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W86	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W87	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W88	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W89	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W90	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W91	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W92	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W93	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W94	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W95	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W96	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W97	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W98	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W99	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
W100	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%

**FIRST FLOOR FENESTRATION DETAILS**

FENESTRATION NUMBER	DESCRIPTION	FINISH	GLASS TYPE	GLASS FACTOR	GLASS PERCENTAGE
F1	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
F2	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
F3	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
F4	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
F5	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
F6	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
F7	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
F8	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
F9	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
F10	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
F11	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
F12	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
F13	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
F14	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
F15	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
F16	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
F17	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
F18	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
F19	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
F20	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
F21	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
F22	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
F23	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
F24	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
F25	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	18.38%
F26	1000mm x 1500mm	1000mm x 1500mm	6mm	0.77	