



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/15618

Our File Reference Number: Erf 6467, Stellenbosch

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 – 808 8682

Email address: Ulrich.Vonmolendorff@stellenbosch.gov.za

PER E-MAIL: [REDACTED]

Sir / Madam

APPLICATION FOR A DEPARTURE ON ERF 6467, STELLENBOSCH

1. The above application refers.
 2. The duly authorised decision maker has decided on the above application as follows:
 - 2.1 Application is made in terms Section 15(2)(b) of the Stellenbosch Municipal Land Use Planning Bylaw 2023, for a departure relax both common building lines from 1m to 0m (adjacent to Erf 6466 & Erf 6433) and to increase the allowed coverage of 60% to 61,4% for the proposed pool house on Erf 6467, Idas Valley - Stellenbosch
- BE APPROVED** in terms of Section 60 of the said Bylaw and subject to conditions of approval.

- 2.2 The approval is subject to the following conditions imposed in terms of Section 66 of said Bylaw:

2.2.1 The approval only applies to the proposed departures under consideration and shall not be construed as authority to depart from any other legal prescriptions or requirements from Council or other legislation or Bylaws or Regulations that may be applicable.

2.2.2 The development and final building plans must be undertaken generally in accordance with the building plan as referenced, on Drawing No.101, Drawn by Will Hammers PrSArchT, dated March 2023 attached as **Annexure B**.

2.2.3 The approval granted shall not exempt the applicant from complying with any other legal prescriptions or requirements that might have a bearing on the proposed use.

2.2.4 All unauthorised buildings and structures be removed/demolished before occupation certificates are issued for any approved building plans.

2.2.5 Building plans must be generally per the site plan/floor layout plan as referenced in on Drawing No.101, Drawn by Will Hammers PrSArchT, dated March 2023 attached as **Annexure B**.

3. The reasons for the above decision are as follows:

3.1.1 The proposal is subsequently in line with the existing land use of the property and will not have a negative impact on the character of the surrounding area.

4. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.

5. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:

a. The personal particulars of the Appellant, including:

a) First names and surname

b) ID number

c) Company of Legal person's name (if applicable)

d) Physical Address

e) Contact details, including a Cell number and E-Mail address

Reference to this correspondence and the relevant property details on which the appeal is submitted.

6. The grounds of the appeal which may include the following grounds:

a) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000)

b) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.

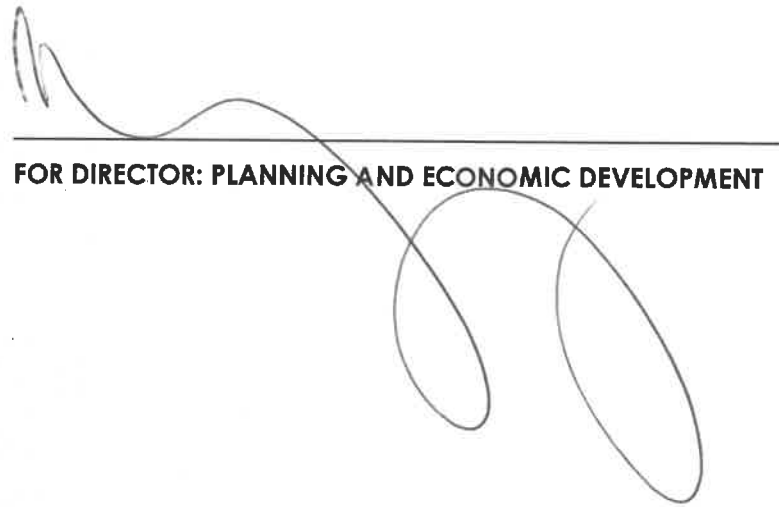
c) Whether the appeal is lodged against the whole decision or a part of the decision.

6.1 If the appeal is lodged against a part of the decision, a description of the part.

- 6.2 If the appeal is lodged against a condition of approval, a description of the condition.
- 6.3 The factual or legal findings that the appellant relies on.
- 6.4 The relief sought by the appellant.
- 6.5 Any issue that the appellant wishes the Appeal Authority to consider in making its decision.
- 6.6 That the appeal includes the following declaration by the Appellant:
- a) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
 - b) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.
7. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of e-mail at the following address:
landuse.appeals@stellenbosch.gov.za
8. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.
9. The approved tariff structure and the banking details for the General Account can be accessed and viewed on the municipal website. For any enquiries the office can be contacted at landuse.appeals@stellenbosch.gov.za
10. An applicant who lodges an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
- (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
 - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
 - (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
 - (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.
11. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

12. Kindly note the above decision in the case of any approval, is suspended, and may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

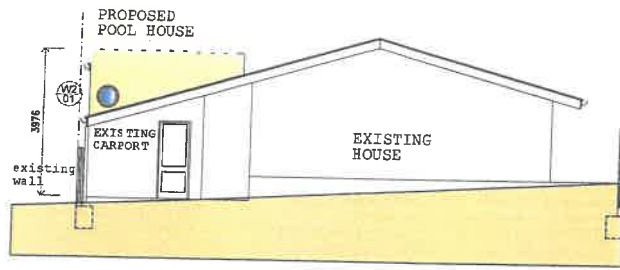
Yours faithfully



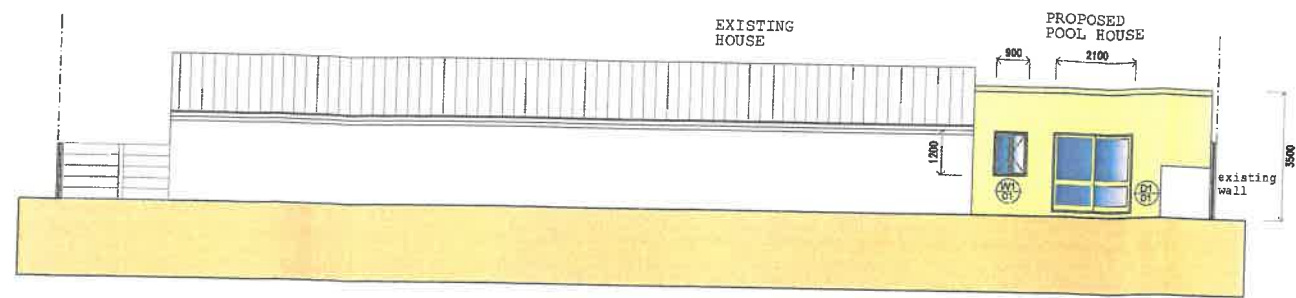
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FOR DIRECTOR: PLANNING AND ECONOMIC DEVELOPMENT

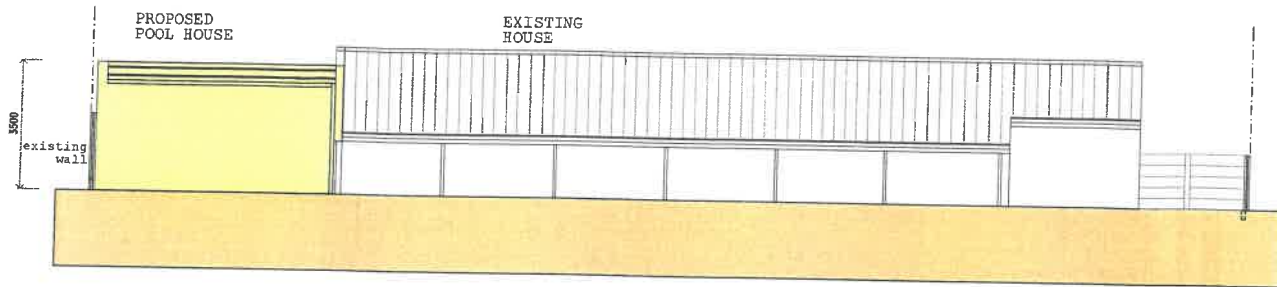
6/2/2024
DATE



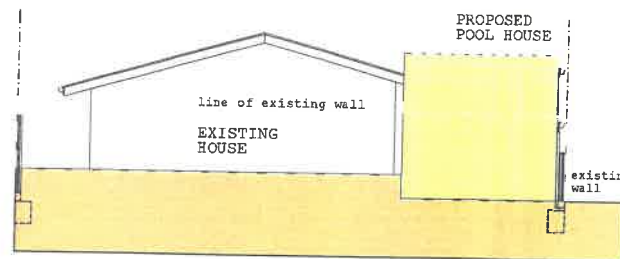
SOUTH ELEVATION 1:100



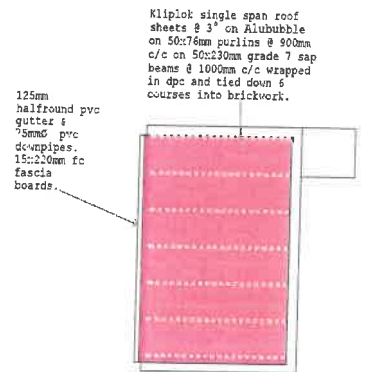
EAST ELEVATION 1:100



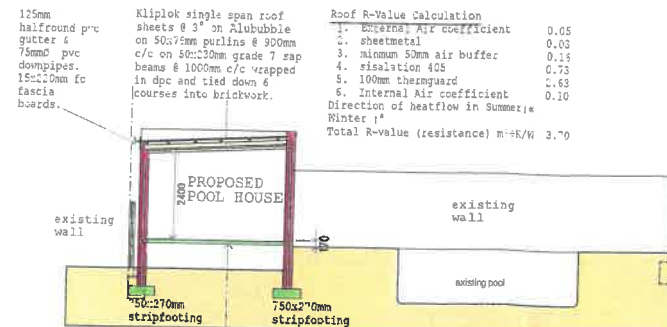
WEST ELEVATION 1:100



NORTH ELEVATION 1:100

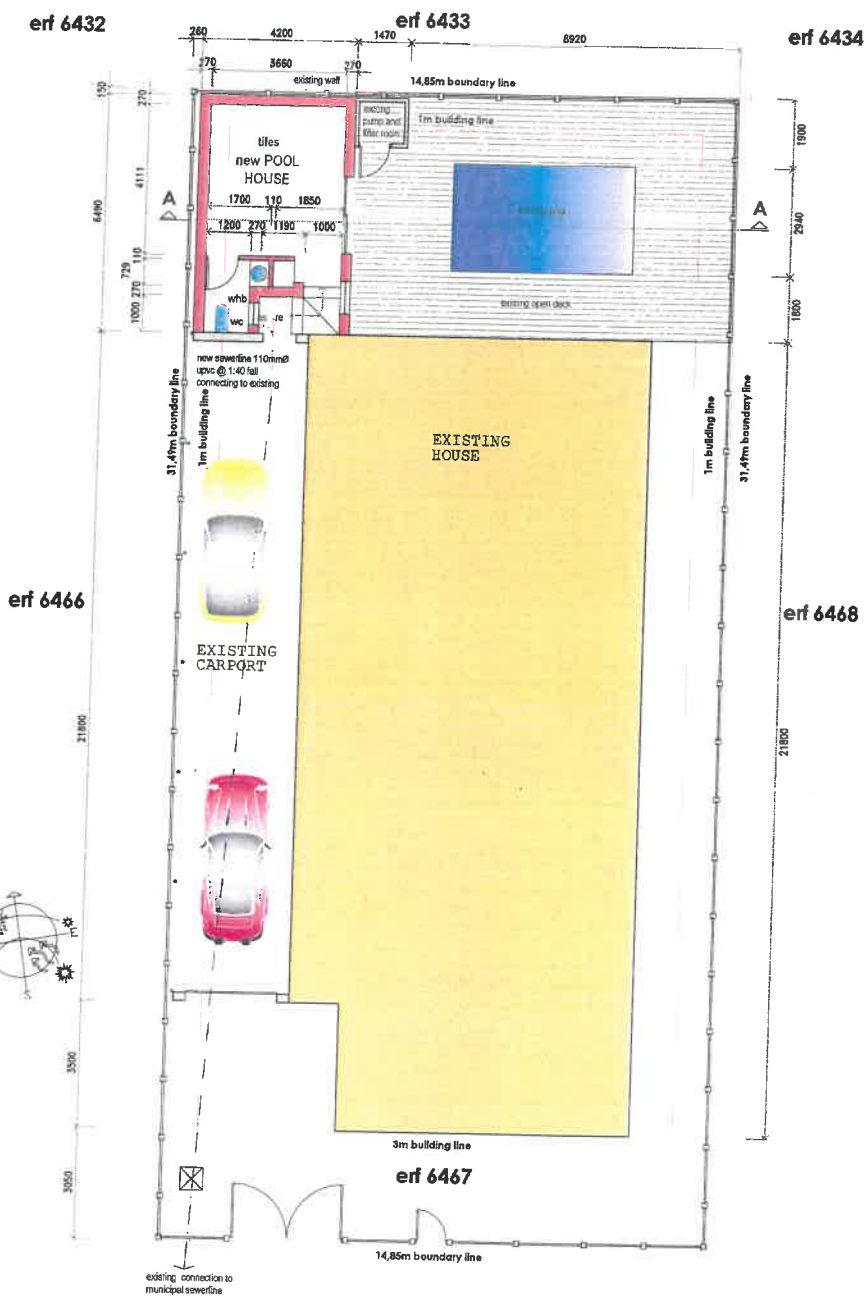


ROOF PLAN 1:100



SECTION A-A 1:100

GENERAL NOTES
GENERAL
 ALL WORK TO COMPLY WITH MUNICIPAL REGULATIONS. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING DRAWING. ALL RELEVANT DETAILS, LEVELS, DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES ON DRAWING TO BE POINTED OUT TO ARCHITECT IMMEDIATELY.
FOUNDATIONS
 FOR 110mm WALLS : 600 X 200mm CONCRETE SLAB THICKENING.
 FOR 230mm WALLS : 700 X 230mm STRIP FOUNDATION.
 FOR 270mm WALLS : 750 X 280mm STRIP FOUNDATION.
WALL CONSTRUCTION
 ALL WALLS TO BE PLASTERED AND PAINTED BRICK WALLS.
 WALLS TO HAVE BRICK FORCE EVERY 3 COURSE. A MINIMUM OF 4 COURSES OF BRICKWORK ABOVE LINTELS ARE REQUIRED.
 100mm CAVITY WALL TIES TO BE INSTALLED AT A RATE OF 2.5 TIES PER SQUARE METER OF FACE AREA WHERE CAVITIES ARE LESS THAN 75mm WIDE AND A RATE OF 1 TIES PER SQUARE METER WHERE CAVITIES ARE MORE THAN 75mm IN WIDTH PROVIDE FOR A SLIP-JOINT BETWEEN CONCRETE AND BRICKWORK WHEREVER IT OCCURS - TO BE EMBOSSED BRICKGRIP 375MICRON DPC. BEARING SABS 852-1969 TYPE B, WELL-LAPPED AT ALL JOINTS AND INTERSECTIONS & BEDDED IN CEMENT MORTAR. BRICKWORK ABOVE LINTELS TO BE MINIMUM 400mm DEEP.
 ALL WALLS LONGER THEN 5m TO HAVE LATERAL SUPPORT.
 ALL OPENINGS LARGER THEN 3m TO GET RC OR I-BEAM OVER BY ENGINEER.
 ALL CAVITIES BELOW DPC LEVEL TO BE FILLED WITH CONCRETE AND GROUND LEVEL TO BE MINIMUM 150mm BELOW WEBSITE.
FLOOR CONSTRUCTION
 MINIMUM 40mm SANDED SCREED ON 100mm CONCRETE SURFACE BED ON 250 MICRON DPM USB GREEN WATERPROOF SHEETING (SABS 952/1969 TYPE C) BY CONSOL ELASTICS (LAID IN WIDEST PRACTICAL WIDTHS) ON 50mm CLEAN BUILDING SAND ON FILL, WELL-COMPACTED IN LAYERS OF 150mm MINIMUM, IN COMPLIANCE WITH SABS 400-AND TO BE COMPACTED TO 100% MODIFIED RASO DENSITY. 1 LAYER OF GUNPLAS USB GREEN WATERPROOF SHEETING (SABS 952-1969 TYPE C) SHALL BE LAID IN WIDEST PRACTICAL WIDTHS TO MINIMISE JOINTS AND SHALL BE TURNED UP, DRESSED TO LOAD BEARING WALLS AND LAPPED WITH BRICKGRIP SABS DPC. ALL JOINTS TO BE SEALED WITH PRESSURE-SENSITIVE TAPE APPLIED OVER THE LEADING EDGES OF ALL JOINTS. EXACT DEPTH TO BE ESTABLISHED ON SITE.
 WINDOWS AND DOORS BY CLIENT, TIMBER OR ALUMINIUM WITH THERMAL BREAK.
 ACCESS DOORS AND SIDE LIGHTS, WINDOWS LOWER THAN 500mm FROM FLOOR, WINDOWS LOWER THAN 1800mm ABOVE PITCH LINE OF STAIRS TO BE REINFORCED SAFETY GLASS. ALL GLASS DOORS & SIDE LIGHTS TO BE TONGUED SAFETY GLASS. ALL GLASS AREAS LARGER THEN 1m² SAFETY GLASS.
WINDOW CILLS
 INTERNALLY: PLASTERED BRICK CILLS - FLAT EXTERNALLY: PLASTERED BRICK CILLS - 30°
ROOF CONSTRUCTION
 SEE SECTIONS. STRUCTURE TO ACHIEVE R-VALUE=3,7 OVERALL
CEILING CONSTRUCTION
 SKINNED NUTEC CEILING WITH EXPOSED BEAMS.
DRAINAGE
 WASTEWATER TO BE 38mm Ø PVC
 SOILPIPES TO BE 110mm Ø PVC
 VENTPIPES TO BE 50mm Ø PVC
 I.E. TO ALL BENDS AND JUNCTIONS
STORMWATER DISPOSAL
 150mm WIDE CONCRETE CHANNELS ALL ROUND BUILDING TO DISCHARGE INTO GARDEN.



**BOTMASKOP ROAD
 GROUND STOREY & SITE LAYOUT 1:100**

AREAS	
468m²	- ERF
198m²	- EXISTING HOUSE
615m²	- EXISTING CARPORT
27m²	- NEW POOL HOUSE
287,5m²	- TOTAL COVERED AREA
61.4%	- COVERAGE

Will Hammers PrSArchT
 sacap psat20556
 m.084.8022222
 will@ateljeewillhammers.co.za

Mr. C.P.J. JUMAT

Plans, Section & Elevations for Approval

101revA March 2023