



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/12451

Our File Reference Number: Erf 557, Jamestown

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 – 808 8682

Email address: Ulrich.Vonmolendorff@stellenbosch.gov.za

PER E-MAIL [REDACTED]

Sir / Madam

APPLICATION FOR DEPARTURE AND PERMISSION REQUIRED IN TERMS OF THE ZONING SCHEME FOR AN ADDITIONAL USE: ERF 557, TIOGA STREET, JAMESTOWN

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:
 - 2.1 That the following applications in terms of the Stellenbosch Municipal Land Use Planning By-Law, promulgated by notice number 354/2015, dated 20 October 2015, on Erf 557, Jamestown:
 - i. for **permission required in terms of the zoning scheme** for an additional use to construct a **second dwelling unit ($\pm 45m^2$)**; and
 - ii. **departure** to relax the common building lines (adjacent Erven 701, Jamestown) from **2,5m** to **0m** to accommodate the second dwelling unit.

BE APPROVED in terms of Section 60 of the said Bylaw and subject to the following conditions of approval in terms of Section 66 of the said Bylaw:

2.2 **Conditions:**

- (a) That formal building plans are to be submitted to the municipality for approval prior to any building work taking place on the property;

- (b) The approval applies only to the departure and technical approval in question and shall not be construed as authority to depart from any other legal prescriptions or requirements from Council;
- (c) The approval will lapse if not exercised within **5 years** from date of final notification;
- (d) That no structure or any portion thereof may encroach over the erf boundary; and
- (e) All electrical requirements should be directed to Eskom.
- (f) Development contributions are payable before the approval of building plans and which amount will be calculated in accordance with the council tariffs in force at the time of payment.

2.3 The reasons for the above decision are as follows:

- (a) The proposal will result in a sensible increase in density which will have minimal impact on the amenities of the adjoining property owners.
 - (b) Sufficient on-site parking will be available at the property.
 - (c) The increase in traffic in the area will be insignificant.
- 3 You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.
- 4 Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:
- (a) The personal particulars of the Appellant, including:
 - (I) First names and surname;
 - (II) ID number;
 - (III) Company of Legal person's name (if applicable)
 - (IV) Physical Address;
 - (V) Contact details, including a Cell number and E-Mail address;

- (b) Reference to this correspondence and the relevant property details on which the appeal is submitted.
- (c) The grounds of the appeal which may include the following grounds:
 - (i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);
 - (ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.
- (d) whether the appeal is lodged against the whole decision or a part of the decision;
- (e) if the appeal is lodged against a part of the decision, a description of the part;
- (f) if the appeal is lodged against a condition of approval, a description of the condition;
- (g) the factual or legal findings that the appellant relies on;
- (h) the relief sought by the appellant; and
- (i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;
- (j) That the appeal includes the following declaration by the Appellant:
 - (i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
 - (ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.

5 Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address: landuse.appeals@stellenbosch.gov.za

- 6 Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.
- 7 The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking details for the General Account can also be accessed on the municipal website (<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).
- 8 An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
 - (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
 - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
 - (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
 - (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.
- 9 Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.
- 10 Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully


FOR DIRECTOR PLANNING AND ECONOMIC DEVELOPMENT

14/9/2021
DATE:

ANNEXURE C

**DEPARTURE AND
PERMISSION REQUIRED IN
TERMS OF THE ZONING
SCHEME FOR AN
ADDITIONAL USE: ERF 557,
TIOGA STREET, JAMESTOWN.**

**SITE DEVELOPMENT
PLAN/SITE PLAN**

ROOF ASSEMBLY
 MIN 3.7 R-VALUE
 - TILES 0.02
 - RADIENSHED = 1.59
 - 135mm ISOTHERM = 3.14
 - RHINO BOARD = 0.03
 = 4.78 COMPLIES

ENERGY EFFICIENCY

UNDERTILE INSULATION
 -405 SISALATION
 -SANS ISO 9001 APPROVED
 -TESTED IN ACCORDANCE WITH SABS 1381-2009

COPPER PIPING
 -ALL EXPOSED COPPER TUBING TO BE INSULATED WITH ISOCOVERTHERMAL INSULATION AS PER SANS 10400-X A
 -R - VALUE OF 1.00

HOT WATER SUPPLY
 -SOLAR HEATING SYSTEMS BY ESKOM APPROVED ECOZONE 110l EVACUATED TUBE SYSTEM
 -H4 DWELLING USAGE A DAY = 115L
 -HOUSEHOLD DAILY CONSUMPTION DAILY = 460L
 - DAILY ENERGY USAGE (= CFXFXG) kJ 75.025
 -kWh PER DAY 20.8
 -ANNUAL ENERGY USAGE (= 7.607kWh)

CEILING INSULATION
 -135mm ISOTHERM INSULATION AS PER PART T OF SECTION 3 OF SANS 204
 -135mm = 10kg /M3 WITH 3.7 R - VALUE

WALLS

External walls - 1 coat wood-float plaster for Micatex. or similar long life paint finish to developer's colour choice.
 Internal walls - 1 coat steel-float plaster with filler coat and two coats PVA to Purchaser's colour choice. Garage walls to be bagged.

Tiling to be as follows:

- Full height to kitchen
- 2.1m wall tiling to bathroom
- 2.1m wall tiling to shower with mosaic to shower floor

FLOOR CONSTRUCTION

floor covering on 25mm cement screed on 75mm concrete slab on 250 micron damp-proof membrane on min. 50mm sandbed on well compacted fill. 70x19mm meranti skirting

DRAINAGE

Waste pipes- bath, shower, sink- 50mm p.v.c. others- 40mm p.v.c.
 Rodding eye - 600mm radius bends - gradient 45
 Drain - all underground bens must be minimum 600mm radius

MORTAR

Class 2: 50kg cement (1bag) to 170lt sand (2,6 wheelbarrow)

CONCRETE FOUNDATIONS AND FLOOR MIXES

by volume 1 part cement to 4 parts sand to 5 parts coarse aggregate : compressive strength 10MPa on 28th day

STRENGTHS FOR MASONRY UNITS

Structural type: single storey internal 7MPa external 7MPa
 Non structural walls - 7MPa

MAIN ROOF

Corr Iron Colorbond on 76 x 50mm Purlins at 1,00 oc on Prefabricated Trusses at 1,00 oc at 1.00mm o/c
 On 405 SABS sisalation on 114 x 38 wallplate.

EAVES

225X12 NUTEC FASCIA WITH 125mm PVC GUTTER AND 75mm PVC DOWN PIPES.

BUTTERFLY TIES @ 2,5 PER M2

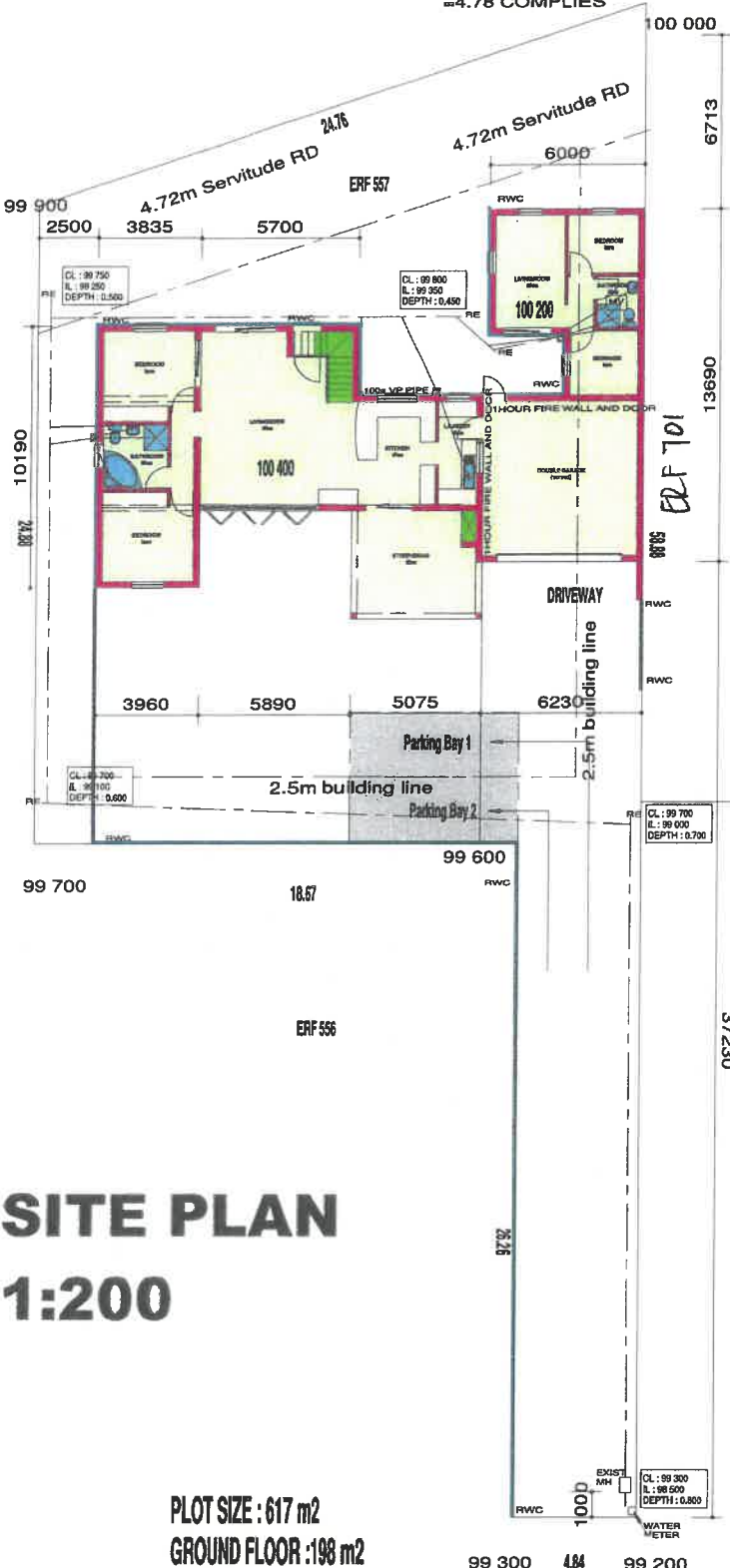
CEILING

6.4MM RHINO BOARD ON 38X50MM BATTENS @ 450MM MAX OC WITH 135 MM ISOTHERM WITH 76MM COVE CORNICE

FLAT ROOF

SAFLOCK 410 ROOF SHEETS @ 2 DEGREES AS PER MANUFACTURES
 SPEC ON 76 X 50mm PURLINS AT 1,00 OC ON 228 X 50mm RAFTERS AT 1,00 OC ON 114 X 38mm WALLPLATE

2017
 ERF 557



SITE PLAN
1:200

PLOT SIZE : 617 m2
GROUND FLOOR : 198 m2
FIRST FLOOR : 96 m2
TOTAL : 298 m2
% COVERAGE 48.3%



CLIENT:	[REDACTED]
PROJECT:	PROPOSED NEW DWELLING ON ERF 557 STREET JAMESTOWN STELLENBOSCH
DATE:	06092021
TITLE:	SITE PLAN
SCALE:	100

DRAWN BY GEORGE WILLIAMS

[REDACTED]
 G.S. WILLIAMS
 SACAP REG NUMBER
 T1491



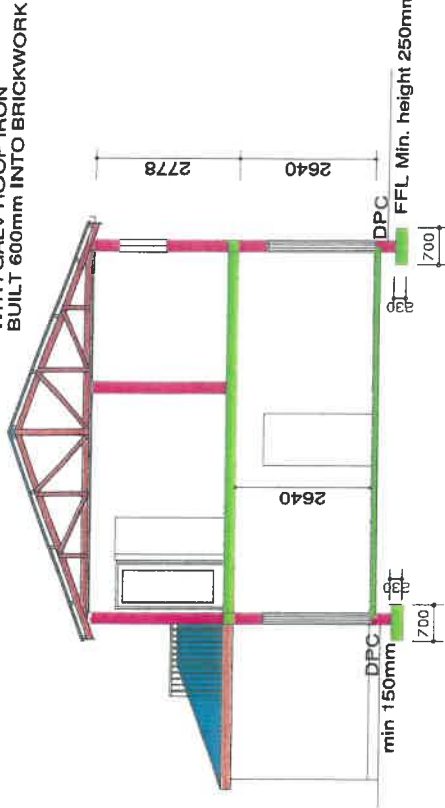
ERF 557

GROUND FLOOR PLAN

1:100

CLIENT: [REDACTED]
 PROJECT: [REDACTED]
 PROPOSED NEW DWELLING ON ERF 557
 STREET: JAMESTOWN STELLENBOSCH
 DATE: 05/09/2021
 TITLE: SITE PLAN
 SCALE: 1:100
 DRAWN BY: GEORGE WILLIAMS
 SACAP REG NUMBER: T1491

TRUSSES TO BE TIED DOWN WITH GALV HOOP IRON BUILT 600mm INTO BRICKWORK

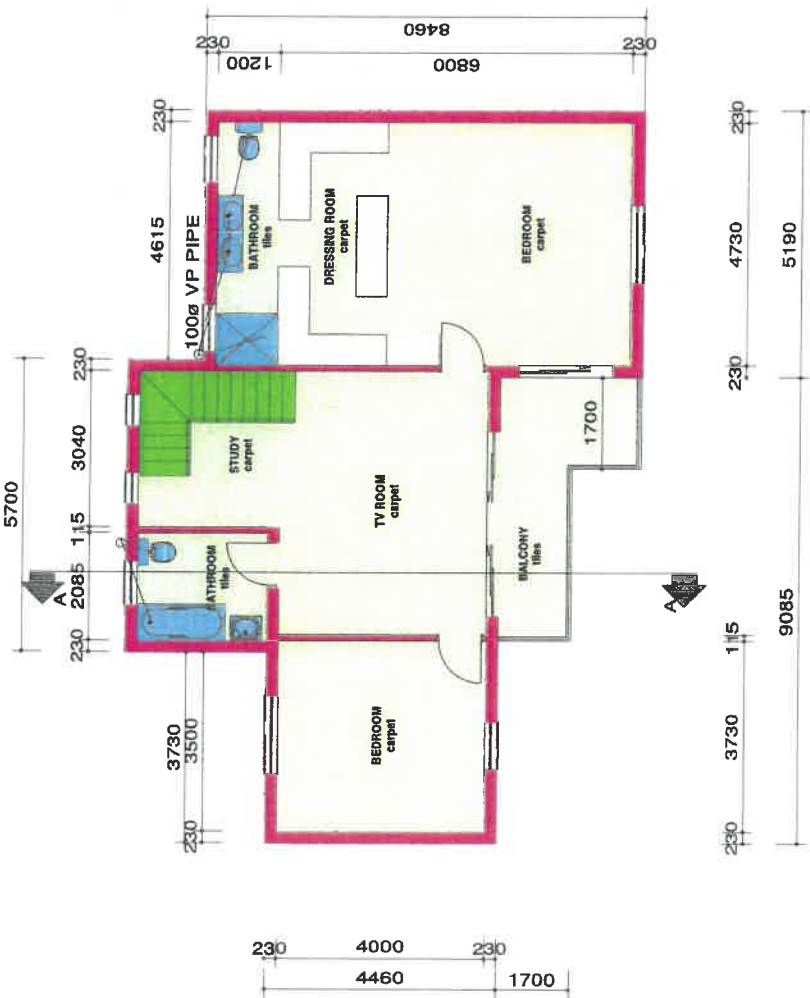


SECTION A-A

1:100

- W1 - 1.8 x 0.9 m X 3 = 4.86 (GLAZING AREA)
- W2 - 1.5 x 0.9 m X 1 = 1.35 (GLAZING AREA)
- W3 - 0.9 x 1.2 m X 5 = 5.4 (GLAZING AREA)
- W4 - 1.5 x 0.6 m X 2 = 1.8 (GLAZING AREA)
- W5 - 1.5 x 1.2 m X 3 = 5.4 (GLAZING AREA)
- W6 - 1.5 x 1.5 m X 1 = 2.25 (GLAZING AREA)
- D1 - 1.8 x 2.1 m X 2 = 7.56 (GLAZING AREA)
- D2 - 1.8 x 2.1 m X 1 = 3.28 (GLAZING AREA)
- D3 - 5.4 x 2.1 m X 1 = 11.34 (GLAZING AREA)
- TOTAL = 43.24 COMPLIES

TOTAL GLAZING AREA = 298 sqm
 = 15 % MAX OF FLOOR AREA = 44.7



FIRST FLOOR PLAN

1:100

DATE: [REDACTED]
 PROJECT: PROPOSED NEW DWELLING ON ERF 57
 STREET: JAMESTOWN STELLENBOSCH
 DATE: Z2062020
 TITLE: SITE PLAN
 SCALE: 100
 DRAWN BY: GEORGE WILLIAMS
 SACAP REG NUMBER: T1491