



# STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/12490

Our File Reference Number: Erf 527, Pniel

Your Reference Number: None

Enquiries: Ulrich von Molendorff

Contact No: 021 – 808 8682

Email address: [Ulrich.Vonmolendorff@stellenbosch.gov.za](mailto:Ulrich.Vonmolendorff@stellenbosch.gov.za)

**PER E-MAIL:** [leigh.lackay@absa.africa](mailto:leigh.lackay@absa.africa)

Sir / Madam

## **APPLICATION FOR DEPARTURE: ERF 527 PNIEL**

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:
  - 2.1 That the application for a departure in terms of Section 15(2)(b) of the Stellenbosch Municipal Land Use Planning Bylaw 2015 to relax the street building line (middle street ) from **4m to 0m** in order to accommodate the proposed double garage and the common building line (adjacent to Erf 525 & 526) from **2,5m to 0m** in order to accommodate the proposed store on Erf 527, Pniel as indicated on drawing no. 527\_PN drawn by J.F.S Podraft & design, dated November 2020;

**BE APPROVED** in terms of Section 60 of the said Bylaw and subject to the following conditions in terms of Section 66 of said Bylaw:

- a. The approval shall lapse if not acted upon within a period of five years from the date of approval;
- b. The approval shall be taken to cover only the departure applied for and shall not be construed as authority to depart from any other Council requirements or legal provisions;
- c. Building plans must be submitted to this Municipality for approval prior to any building work commencing on site;

**2.1.1 The reasons for the above decision are as follows:**

- a. The proposed double garage is in line with the existing land use of the property;
  - b. The proposal is the logical extension of the existing residential use.
3. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1) (a) of the said By-Law.
4. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1) (b) of the said By-Law. The following prescribed information is accordingly required:
- (a) The personal particulars of the Appellant, including:
    - (I) First names and surname;
    - (II) ID number;
    - (III) Company of Legal person's name (if applicable)
    - (IV) Physical Address;
    - (V) Contact details, including a Cell number and E-Mail address;
  - (b) Reference to this correspondence and the relevant property details on which the appeal is submitted.
  - (c) The grounds of the appeal which may include the following grounds:
    - (i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);
    - (ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.
  - (d) whether the appeal is lodged against the whole decision or a part of the decision;
  - (e) if the appeal is lodged against a part of the decision, a description of the part;
  - (f) if the appeal is lodged against a condition of approval, a description of the condition;

- (g) the factual or legal findings that the appellant relies on;
- (h) the relief sought by the appellant; and
- (i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;
- (j) That the appeal includes the following declaration by the Appellant:
  - (i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
  - (ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.

5. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address: [landuse.appeals@ Stellenbosch.gov.za](mailto:landuse.appeals@ Stellenbosch.gov.za)
6. An applicant who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.
7. The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking details for the General Account can also be accessed on the municipal website (<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).
8. An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
  - (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
  - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.

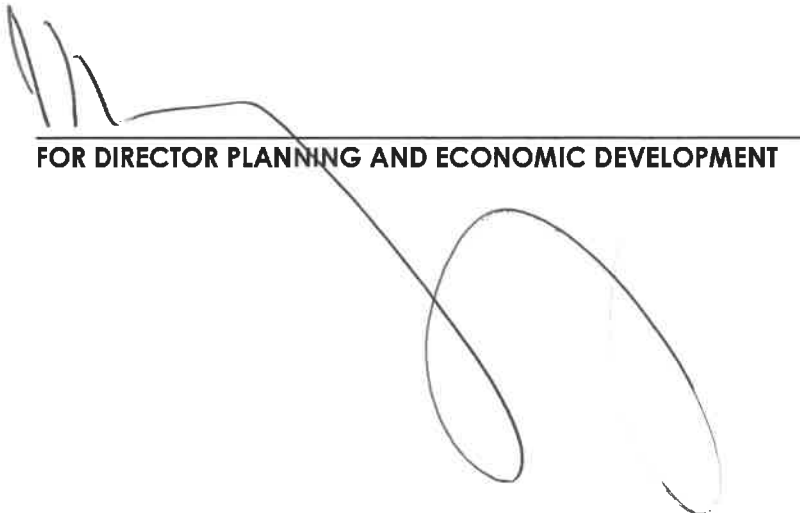
(c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.

(d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.

9. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

10. Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully



A large, stylized handwritten signature in black ink, consisting of several loops and a long horizontal stroke, positioned above a horizontal line.

**FOR DIRECTOR PLANNING AND ECONOMIC DEVELOPMENT**

1/6/2021  
DATE: \_\_\_\_\_



**STELLENBOSCH**  
STELLENBOSCH • PNIEL • FRANSCHHOEK  
MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

# ANNEXURE B

**(A DEPARTURE TO RELAX THE STREET BUILDING LINE: ERF 527, PNIEL)**

**SITE & FLOOR PLAN**

**NOTES :**

**GENERAL :**

All measurements must be checked before any building work commences. Reference must be given to dimensions indicated above measuring from plate. All building work must be done strictly in accordance with national building regulation & local authorities approval. Any irregularities on plan must be cleared with owner or designer before any work is done.

**COVERAGE CALCULATIONS :**

- ERF AREA = 640 M<sup>2</sup>
- EXIST. DWELLING ROOF = 173 M<sup>2</sup>
- EXIST. STEEP TO BRAM & STORERN. = 19,8 M<sup>2</sup>
- EXIST. STORE TO GARAGE = 27,7 M<sup>2</sup>
- PROP. COVERED STORP = 34 M<sup>2</sup>
- PROP. COVERED GARAGE = 42 M<sup>2</sup>
- PROPOSED TOOL SHED = 5 M<sup>2</sup>
- TOTAL COVER = 296,5 M<sup>2</sup>
- PERCENTAGE COVER = 46,3 %
- APPROX. ESTIMATED COST = R 341 100

**GLASS PANELS :**

Non-tinted, annealed clear glass panels and obscured in toilet, 4mm. 4mm thick. All glass panels thinner than 500mm from finish floor level to be safety glass, and glass panels larger than 0,750 M<sup>2</sup> to be safety glass. Doors with glass panels to be safety glass as specified in SABS safety standards SABS 10400 - Part N.

**J. F. S. Prodrift & Design**  
**James Solomons (P.S.A.T.)**  
 S.A.C.A.P. Reg. no. 871729

Postbox 424, 21 Slanking street, Pniel, 7661  
 Ph. : 083 712 6110  
 Fax : 086 570 6078

project:  
 Proposed alterations to exist. dwelling house, double garage, swimming-pool, covered stoeps & storage shed.

owner:  
**Mr. & Mrs S. Davids**  
 no. 16 Middle street, Pniel, Erf 527.

drawing no: **527-PN**  
 date: November 2020  
 scale: 1 : 100  
 drawn: J. F. Solomons

**NATURAL VENTILATION :**

COEFFICIENTS : = 17 x 1,4 = 23,8  
 CONDUCTANTS = 17 x 0,13 = 2,21  
 SHC

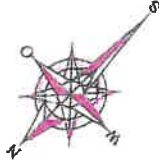
**CONDUCTANCE**

Use clear glass in steel frame.  
 A x U = 2,88 x 5,6 = 16,1 (< 23,8)

**SOLAR HEAT GAIN :**

SOUTHEAST : (A<sub>s</sub> x S<sub>s</sub> x G) = 2(1,44 x 0,71 x 0,22) = 0,49  
 TOTAL = 0,49 (< 2,21)

**PROPOSED EXTENSION COMPLIES WITH ENERGY EFFICIENCY**



**LIGHTING ENERGY DEMAND**

ALLOWED SW / m<sup>2</sup> = 17 m<sup>2</sup> x 17 m<sup>2</sup> = 85 W  
 (2 x 12W Lamps)  
 = 26W (< 85 W)  
 = OR  
 24W / 17m<sup>2</sup> = 1,4 W / m<sup>2</sup> (< 5W / m<sup>2</sup>)

**ENERGY CONSUMPTION**

ALLOWED 34kWh / m<sup>2</sup> .a OR 54kWh / m<sup>2</sup> { a = 1 (Year) }  
 54kWh / m<sup>2</sup> .a x 17 m<sup>2</sup> = 85 kWh .a

ASSUME LIGHTS ARE ON FROM 17:00 - 22:30 EACH DAY / YEAR THAT IS 5h / DAY  
 52 (Weeks) x 7 (Days) x 5 (h) = 1820 h .a

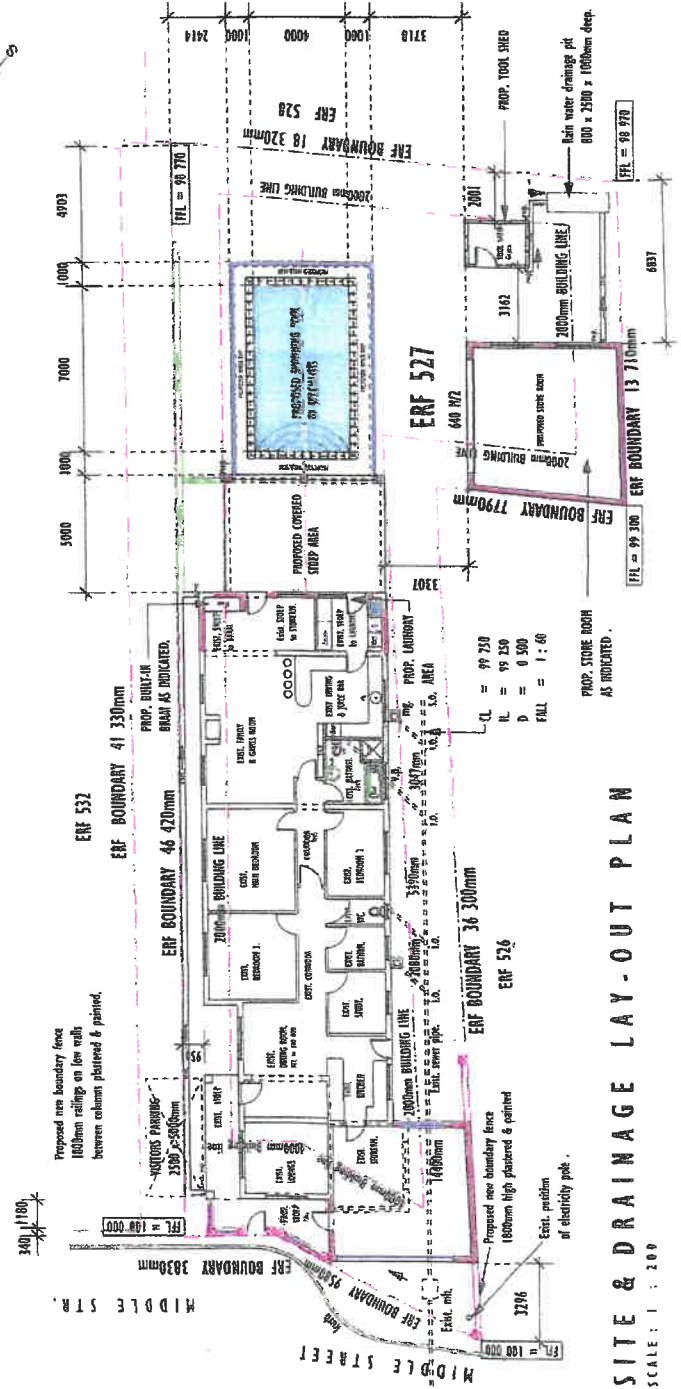
THERE ARE : 2 x 12W Lamps

= (2 x 12W) = 24 W  
 = 0,024 kW  
 = 43,68 kWh .a (< 85 kWh .a)  
 0,024 kW x 1820 h .a

Panel	Facing direction	Area m <sup>2</sup>	Shading description
1	South-East	2,88	1,2 x 1,2 (x2) Alum. window, Shaded 200mm covered stoep
Total glazing Area		2,88	

Determining shading projections over glazed areas	
P	= 95 + 2000 = 2095
G	= 1355 - 1200 = 155 (< 500)

Panel	Glazed area and P/H value	Solar exposure factor
1	1700 Window P/H = 2095 / 1200 = 1,75	0,22 for South-eastern facade



**SITE & DRAINAGE LAY-OUT PLAN**

SCALE : 1 : 200

*[Handwritten signature]*

**NOTES :**

**GENERAL :**

All measurements must be checked before any building work commences. Preference must be given to dimensions indicated above measuring from joints. All building work must be done strictly in accordance with national building regulations & local authorities approval. Any irregularities on plans must be cleared with owner or designer before any work is done.

**COMPLIANCE FOR ENERGY EFFICIENCY BUILDINGS :**

**FLOORS :**  
100mm mass concrete floor slab on 250 micron 6p.m. installed around the vertical edges turned up for the full depth up to 300mm. All concrete floor parameters. Floors shall have an R-value of not less than 1.0

**MASONRY WALLS :**  
Cavity brick with plastered both sides internally & externally with no cavity to have min. total R-value of 1.9.

**ROOF ASSEMBLIES :**

Pitched roof :- 100 metal roof sheeting, light grey sheets pitched 18 degrees with thin board ceiling 10mm non reflective, joint-door and in-door air film (50l air) Total R-value = 0.35 + added R-values of reflective insulation, 5 layers of reflective foil insulation (Styrofoam between rafters), 1 layer flexible fibre glass blanket, R-value = 3.4. Total R-value = 3.75. direction of heat flow is upward.

**J. F. S. Prodraft & Design**  
James Solomons (P.S.A.T.)  
S.A.C.A.P. Reg. no. 811739

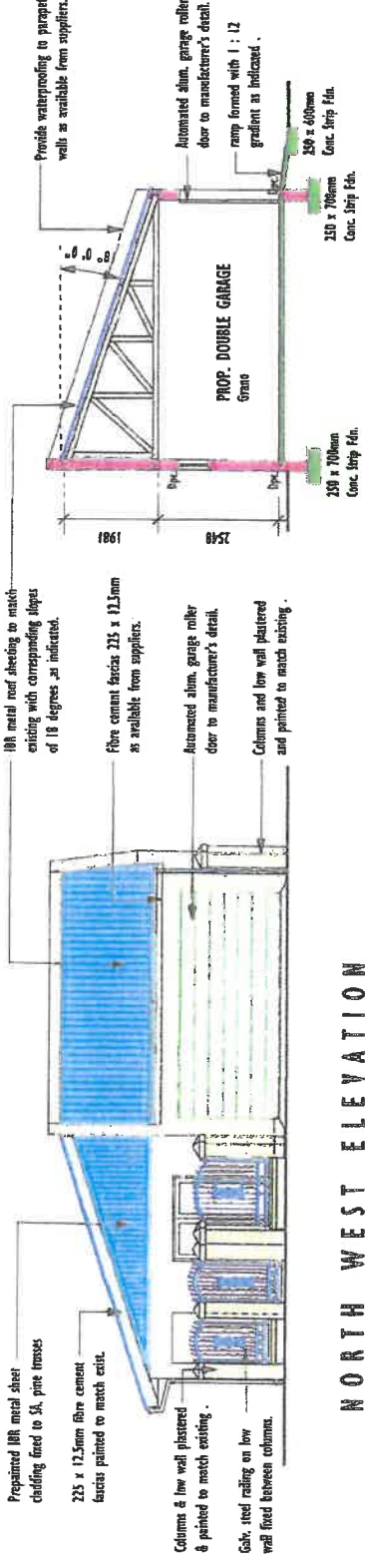
Postbox 424, 21 Starling street, Priel, 7681  
Ph. : 083 712 6110  
Fax : 086 570 6078

Project :  
Proposed alterations to exist. dwelling house, double garage, swimming-pool, covered stoeps & storage shed.

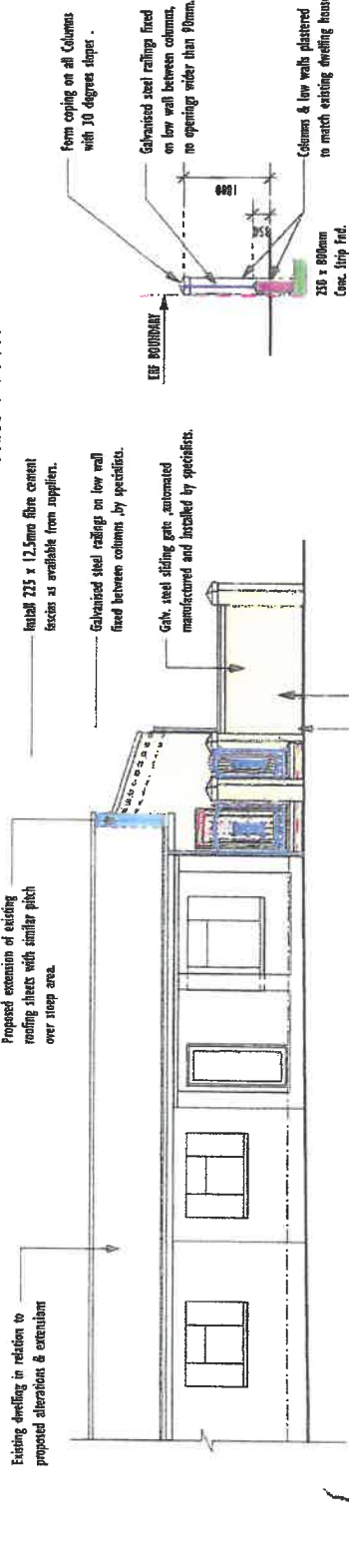
Owner :  
**Mr. & Mrs S. Davids**  
no. 16 Middle street, Priel, Erf 527.

Drawing no : 527-AN

Date : November 2020  
Scale : 1 : 100  
Drawn : J. F. Solomons

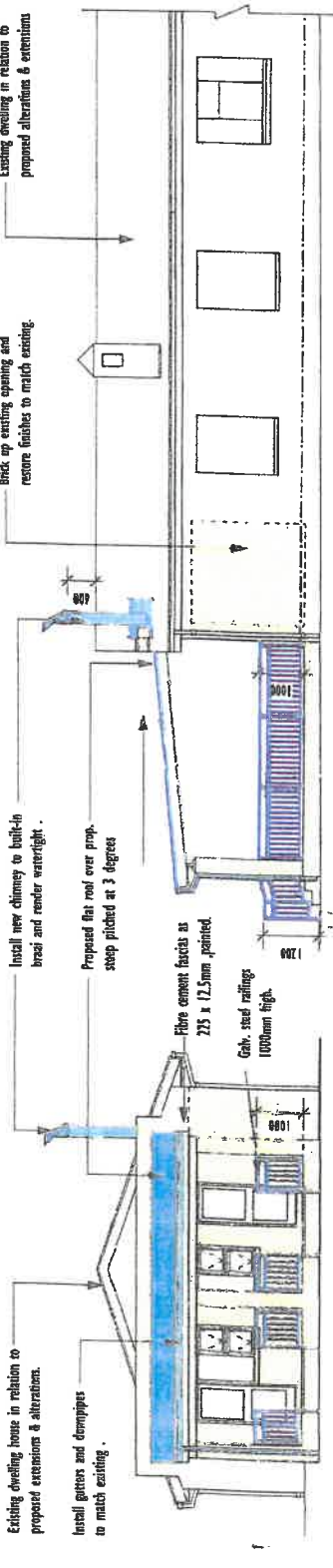


**SECTION AA.**  
SCALE : 1 : 100



**SECTION FF.**  
SCALE : 1 : 100

**NORTH EAST ELEVATION**  
SCALE : 1 : 100



**NORTH EAST ELEVATION**  
SCALE : 1 : 100

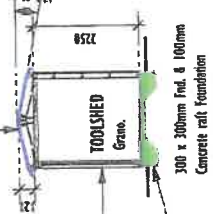
**SOUTH EAST ELEVATION**  
SCALE : 1 : 100

**NOTES :**  
**GENERAL :**

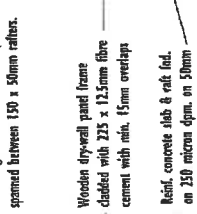
All measurements must be checked before any building work commences. References must be given to dimensions indicated above measuring from plan. All building work must be done strictly in accordance with national building regulations & local authorities approval. Any irregularities on plan must be cleared with owner or designer before any work is done.

**WOODEN DRY-WALL PANEL CONSTRUCTION :**

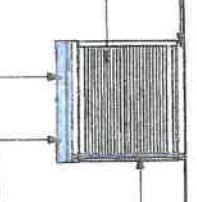
Fibre cement cladding 235 x 12.5mm fixed with under-belt layer to 114 x 38mm vertical studs at 600mm c/c fixed together at right angles, at top & bottom with top & bottom plates 114 x 38mm with horizontal stiffeners at 600 to 900mm c/c. Window and door openings to be rendered watertight doors by specialists.



**SECTION D.D.**  
SCALE : 1 : 100



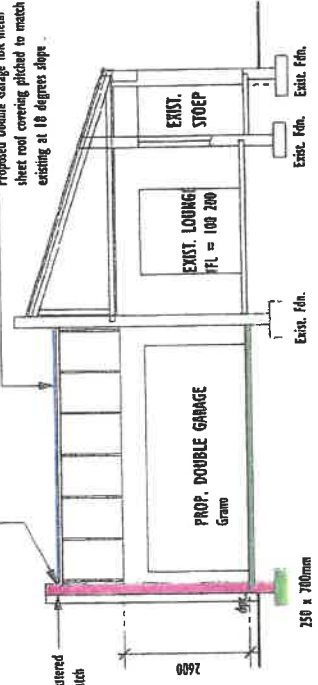
**SOUTH EAST ELEVATION (Toolsheed)**  
SCALE : 1 : 100



**NORTH WEST ELEVATION (Toolsheed)**  
SCALE : 1 : 100



**SOUTH WEST ELEVATION (Toolsheed)**  
SCALE : 1 : 100



**SECTION A.A.**  
SCALE : 1 : 100

**FLAT ROOF CONSTRUCTION : (Lean-to-roof)**  
IRR roof sheeting pitched at 3 degrees slope on 75 x 50mm purlins at +/- 750mm c/c OR 114 x 50mm rafters at +/- 800mm c/c fixed to exist. wall line. g/c. steel brackets as available from suppliers & on 50 x 220mm beaver beam fixed to columns from. Keep iron strips built-in for min. 4 brick courses deep.

**ROOF CONSTRUCTION :**

IRR metal roof sheeting pitched at 18 degrees to match existing on insulation 410 on 75 x 50mm purlins at +/- 800mm c/c on pre-breinforced gagepainted roof trusses at +/- 800mm c/c by specialist design on 114 x 38mm vertical studs fixed to wall line. Keep iron straps built-in for min. 4 brick courses deep. Batter ends to be rendered of with 235 x 12.5mm fibre cement fascia. Install gutters and downpipes to match existing.

**CEILING CONSTRUCTION :**

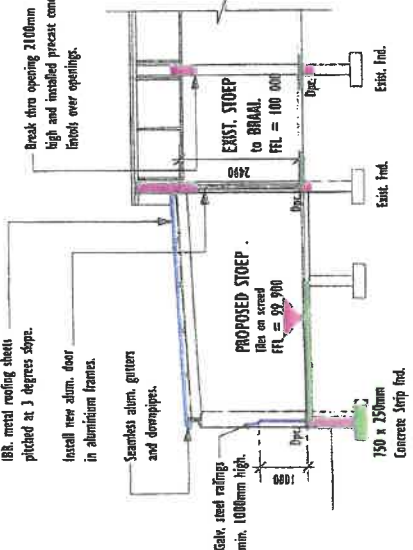
Ribbo board ceiling plastered smooth with crestrations (stops with nasy pit) and painted with joints covered with mesh cloth as per suppliers specifications. Ribbo board ceiling nailed against 38 x 38mm battens at 450mm centres with members across to form squares. Install gypsum plaster board cornice (stops nasy pit) or similar in corners against walls. Overhangs to be boxed and closed off with metal brads recessed halfway down strips over joints, quadrant in corners.

**MASONRY CONSTRUCTION :**

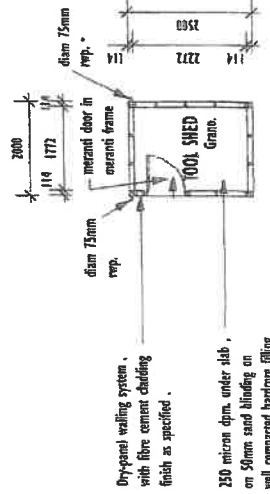
Walls plastered and painted to owner's preference. All brick openings in each room min. 4 layers brickwork above all openings supported by precast slab concrete lintels with min. bearing each side of 210mm. Install 375 micron d/c on walls min. 220mm above ground level. Install brickwork every 4th brick course vertically. (Chas 1) mortar mix between brickwork. Window sills to match existing. Threshold not more than 30mm high.

**FLOOR CONSTRUCTION :**

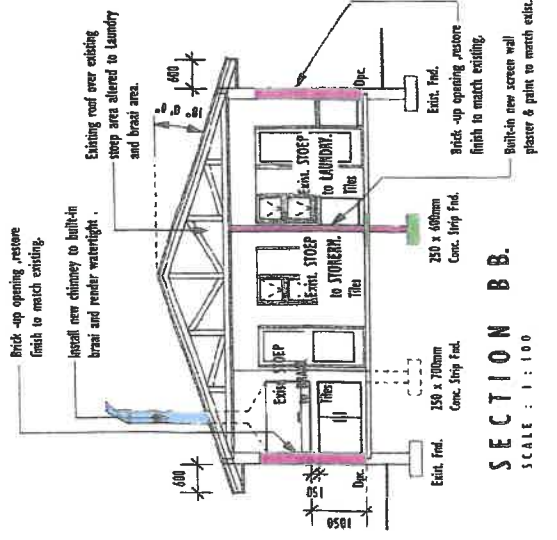
Floor covering on 25mm sand cement floor screed on 100mm mesh reinforced concrete floor slab on damp proof membrane polythene 250 micron on 50mm sand bedding on well compacted hardcore filling in layers of max. 150mm to 90% mod. ashho. Damp proofing to be turned up around perimeter of concrete floor to full vertical height or higher than floor. Install metal nibbing in corners against walls.



**SECTION C.C.**  
SCALE : 1 : 100



**GROUND-FLOOR PLAN (Tool Shed)**  
SCALE : 1 : 100



**SECTION B.B.**  
SCALE : 1 : 100

**J. F. S. Prodraft & Design**  
**J. F. S. Prodraft & Design**  
**J. F. S. Prodraft & Design**  
S.A.C.A.P. Reg. no. STY129

Postbox 424, 21 Starling Street, P.O. Box 7081  
Ph : 083 712 6110  
Fax : 086 570 6078

**project :**  
Proposed alterations to exist. dwelling house, double garage, swimming-pool, covered stoops & storage shed.

**owner :**  
**Mr. & Mrs S. Davids**  
no. 16 Middle street, P.O. Box 527, Erf 527.

**drawing no. :** 527-P

**date :** November 2020

**scale :** 1 : 100

**drawn by :** J. F. S. Prodraft



**NOTES :**

**GENERAL :**

All measurements must be checked before any building work commences. Preference must be given to dimensions indicated above measuring from plan. All building work must be done in accordance with national building regulations & local authorities approval. Any irregularities on plan must be cleared with owner or designer before any work is done.

**SWIMMING POOL**

1. Site which contains a swimming pool is to have a wall or fence of 1200mm high, with controlled self-closing & self locking gates in such fence or wall as to restrict access from public areas.
2. Constructional requirements of steel fences or gates is to comply with SANS 1370 & SANS 10174
3. Openings in steel fences not more than 90mm wide.
4. The owner of any site which contains a swimming pool shall ensure that access to the swimming pool is controlled.
5. Any owner who fails to comply with the requirements of subregulation (1) shall be guilty of an offence.

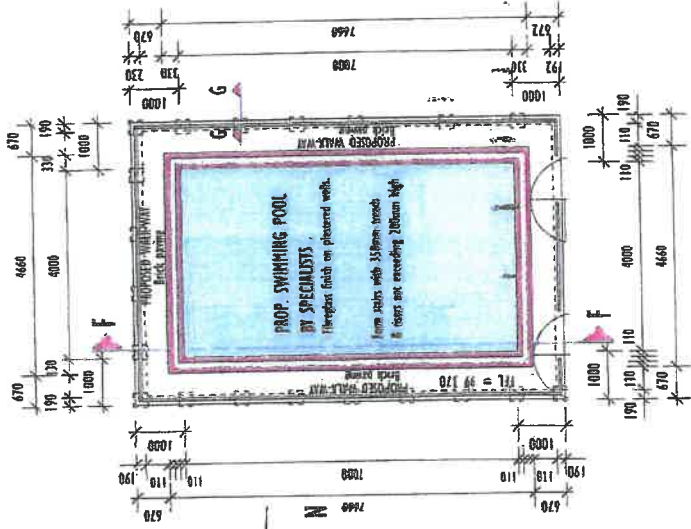
**J. F. S. Prodraft & Design**  
**J a m e s S o l o m o n s (P.S.A.T.)**  
 S.A.C.A.P. Reg. no. STY739

Postbox 424, 21 Starling street, Phel, 7681  
 Ph: 083 712 6110  
 Fax: 086 570 6078

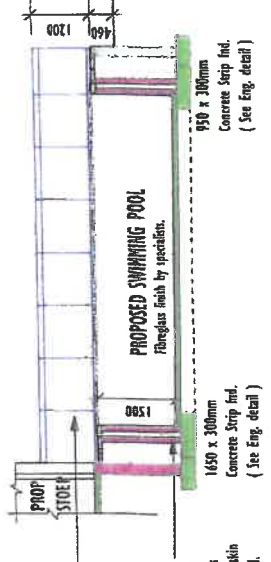
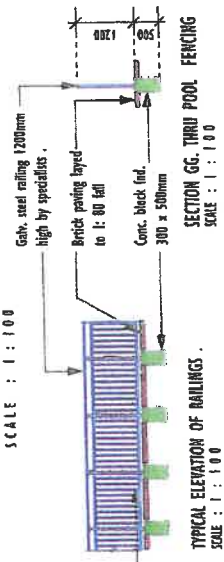
**project:**  
 Proposed alterations to exist dwelling houses, double garage, swimming-pool, covered stoeps & storage shed.

**owner :**  
**Mr. & Mrs S. Davids**  
 no. 16 Middle street, Phel, Erf 527.

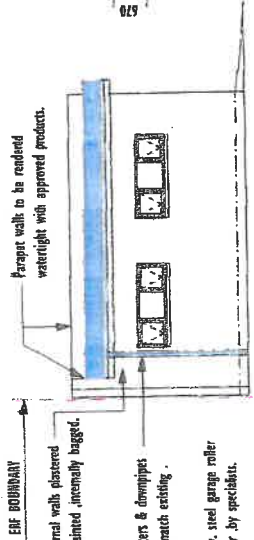
**drawing no.:** 527-PA  
**date :** November 2020  
**scale :** 1 : 100, 1 : 200  
**drawn :** J. F. Solomons



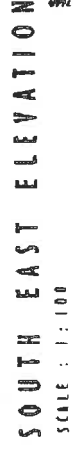
**GROUND FLOOR PLAN (Swimming pool)**  
 SCALE : 1 : 100



**SECTION GG. THRU POOL FENCING**  
 SCALE : 1 : 100



**NORTH WEST ELEVATION**  
 SCALE : 1 : 100

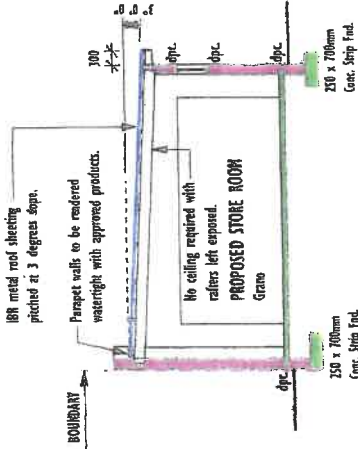


**FLAT ROOF CONSTRUCTION :**  
 BR metal roofing pitched at 3 degrees slope or 76 x 50mm purlins at +/- 800mm c/c on a joist/raft 410 on 228 x 50mm rafters at +/- 800mm on 114 x 30mm wallplate, fitted with hoop iron straps, built-in for ribs, & brick courses deep. Other ends wrapped in dips, built-in & tied down with hoop iron straps, built-in. Header ends rounded off with 225 x 12.5mm fibre cement fascia with gutters and downpipes to match existing. Beam filling to be done where so required. Sealable or similar waterproofing against 4. parapet walls.

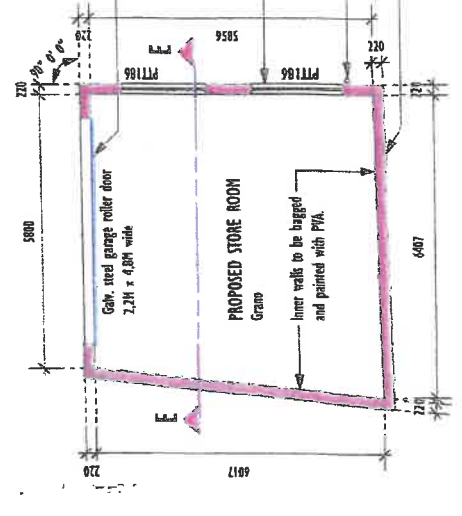
**MASONRY CONSTRUCTION :**  
 Walls plastered and painted to owner's preference. Brick openings 2 higher, 2 lower. Fin. 4 layers brickwork above all openings, supported by precast reinf. concrete lintels with min. bearing each side of 220mm. In-situ 375 hollow c/c on walls min. 210mm above ground level. Install brickwork every 4th brick course vertically. Class II mortar mix between brickwork. Window sills to match existing.

**FLOOR CONSTRUCTION :**  
 25mm sand cement floor screed on 100mm mesh reinforced concrete floor slab on damp proof membrane polythene, 250 micron on 50mm sand/bedding on well compacted hardcore filling in layers of max. 150mm to 90% mod. ashho. Damp proofing to be turned up around perimeter of concrete floor to full vertical height or higher than floor.

Custom made galt. steel garage roller door by specialists  
 Aluminium windows as per window catalogue specifications.  
 Gutters and down. 100mm downpipe, pvc, as it is available from supplier.  
 External walls plastered and painted to match existing building finishes.



**SECTION EE**  
 SCALE : 1 : 100



**GROUND FLOOR PLAN (Store room)**  
 SCALE : 1 : 100