



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/9904

Our File Reference Number: Erf 523 & 6174, Stellenbosch Division

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 – 808 8682

Email address: Ulrich.Vonmolendorff@stellenbosch.gov.za

PER E-MAIL: dupre.lombaard@virdus.co.za

Sir / Madam

APPLICATION FOR REZONING, CONSOLIDATION AND DEPARTURES: ERF 523 & ERF 6174, PAPEGAAI STREET, STELLENBOSCH

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:
 - 2.1 That the following applications in terms of the Stellenbosch Municipal Land Use Planning By-Law, promulgated by notice number 354/2015, dated 20 October 2015, on Erf 523 and 6174, Papegaaï Street, Stellenbosch, namely:
 - 2.1.1 The **rezoning** from Single Residential to Restricted Business to allow for the development of offices in terms of Section 15(2)(a) of the said bylaw;
 - 2.1.2 The **Consolidation** of the subject properties to form a land unit of ±771m² in terms of Section 15(2)(e) of the said By-Law.
 - 2.1.3 A **departure** to allow for the use of a portion of the ground floor for a residential unit in terms of Section of Section 15(2)(b) of the said By-Law.

BE APPROVED in terms of Section 60 of the said Bylaw and subject to the conditions of approval in terms of Section 66 of the said Bylaw:

3. **CONDITIONS OF APPROVAL:**

- (a) The approval only applies only to the rezoning, consolidation and departure in question, and shall not construed as authority to depart from any other legal prescriptions or requirements from Council;
- (b) The approval granted does not exempt the applicant/operator from complying with any other legal prescriptions or requirements that might have a bearing on the activity;
- (c) The approval shall lapse if not exercised within 5 years from date of final notification;
- (d) The Surveyor General approved diagram/s of the newly created unit must be submitted to this local Authority (Stellenbosch Municipality) for clearance and record purposes;
- (e) This approval may not be acted upon prior to the issuing of a certificate of consolidated title;
- (f) A **revised Site Development Plan** which illustrates the overall proposed development to be submitted for approval to the Director of Planning and Economic Development: The Site Development Plan must also include the following:
 - (i) Fourteen (14) on-site parking bays;
 - (ii) Total floor area/s of building (new and old);
 - (iii) Total coverage;
 - (iv) Land use table with clear indication of which uses and areas (m²) are included and which uses and areas (m²) are excluded from parking calculations.
- (g) The conditions imposed by the **Director: Engineering Services** as contained in their memo dated 29 October 2020 and stipulated below, be complied with (See **ANNEXURE J**):
 - (1) Water
 - (i) The number of connections must be reduced to only one (1) connection per erf.
 - (ii) The sealing off of the remaining one water connection must be undertaken by Stellenbosch Municipality at the developer's cost.
 - (2) Sewer
 - (i) The existing sewer connection must be utilized for the proposed development: no upgrade in the size of the connection will be allowed, unless agreed to by the Water Services Department.

(3) Roads

- (i) Sufficient parking must be provide and indicated on the Site Development Plan at building plan submission stage.

(4) Development Charges (DCs)

- (i) Based on the information provided, the Development Charges payable by the developer is R235 413, 74 (Vat incl.) as per development charges calculation.
- (ii) The DC's were calculated for the 2020/2021 financial year. If the account is paid after 30 June 2021 it has to be recalculated using the then applicable tariffs.
- (iii) The appropriate DC's are payable prior to building plan approval.

(5) Municipal Infrastructure (Civil Engineering)

- (i) Any changes to any existing civil engineering services of Stellenbosch Municipality is for the account of the developer.

(h) The conditions imposed by the Manager: Electrical Services as contained in their memo dated 18 February 2020 and stipulated below, be complied with (see **ANNEXURE M**);

- (1) If upgrade is needed, bulk levy contributions are payable.
- (2) Installation cost for the new electrical service cable is the responsibility of the applicant.
- (3) Appropriate caution shall be taken during construction, to prevent damage to existing service cables and electrical equipment in the vicinity. Should damage occur, the applicant will be liable for the cost involved in repairing damages.
- (4) All new developments and upgrades of supplies to existing projects are subject to SANS 10400 – XA energy savings and efficiency implementations such as:
 - (i) Solar water heating or heat pumps in dwellings.
 - (ii) Energy efficient lighting systems
 - (iii) Roof insulation with right R-value calculations
 - (iv) In large building developments:
 - (v) Control air condition equipment tied to alternative efficiency systems
 - (vi) Preheat at least 50% of hotwater with alternative energy saving source
 - (vii) All hot water pipes to be clad with insulation with R-value of 1
 - (viii) Provide a professional engineer's certificate to proof that energy saving measures is not feasible; and
 - (ix) All electrical wiring should be accordance with SANS 10142 and Municipal Bylaws.

- (i) No parking is allowed in front of the dwelling on the side walk.

(j) The building may not exceed 8,4m in height measured from the mean ground level to the new roof parapet;

4. The reasons for the above decision are as follows:

(a) The proposed land use will not detract from the character of the area as offices were already approved in the area.

(b) The general welfare and safety of the area will not be affected by the proposal.

(c) The proposal will not have an impact on the streetscape as parking will be proposed at the back of the property and will not be visible from the street.

(d) The proposal would also be of an appropriate scale that would relate to the surrounding townscape and land use character of the area.

5. **Matters on the application TO BE NOTED**

(a) That the necessary authorization/permission need to BE OBTAINED from Heritage Western Cape.

6. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.

7. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:

(a) The personal particulars of the Appellant, including:

(I) First names and surname;

(II) ID number;

(III) Company of Legal person's name (if applicable)

(IV) Physical Address;

(V) Contact details, including a Cell number and E-Mail address;

(b) Reference to this correspondence and the relevant property details on which the appeal is submitted.

(c) The grounds of the appeal which may include the following grounds:

- (i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);
 - (ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.
- (d) whether the appeal is lodged against the whole decision or a part of the decision;
- (e) if the appeal is lodged against a part of the decision, a description of the part;
- (f) if the appeal is lodged against a condition of approval, a description of the condition;
- (g) the factual or legal findings that the appellant relies on;
- (h) the relief sought by the appellant; and
- (i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;
- (j) That the appeal includes the following declaration by the Appellant:
- (i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
 - (ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.

8. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address: Lenacia.Kamineth@stellenbosch.gov.za.

9. An applicant who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.

10. The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking details for the General Account can also be accessed on the municipal website (<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).

11. An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
 - (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
 - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
 - (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
 - (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.

12. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

13. Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully



FOR DIRECTOR PLANNING AND ECONOMIC DEVELOPMENT

26/1/2021
DATE:

COPIES:

Stellenbosch Interest Group

Email: info@stellenboschinterestgroup.org

Stellenbosch Ratepayers Association

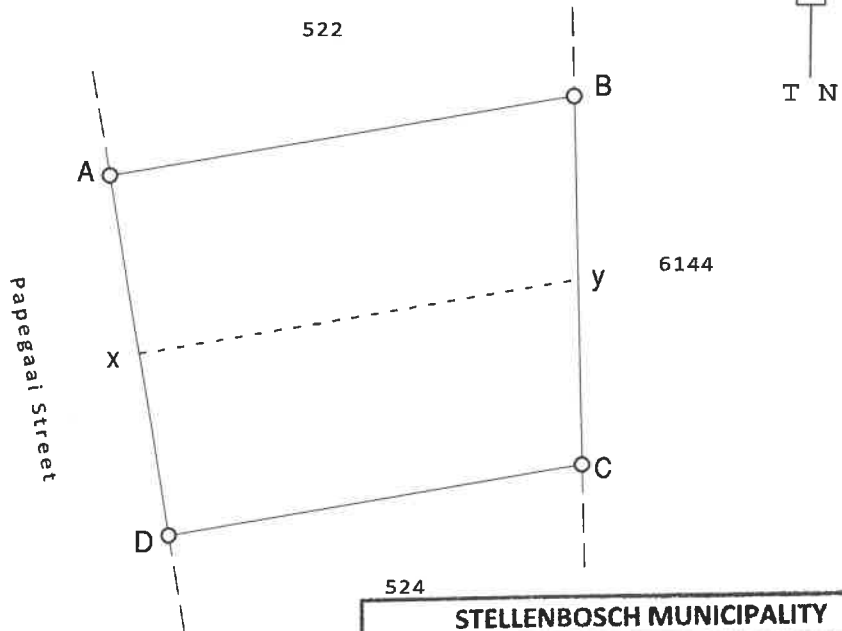
Email: info@stellenboschratedpayers.org

B6817

| SIDES metres | ANGLES OF DIRECTION | CO-ORDINATES Y System: WG 27° X | | S.G. No | | |
|-------------------|------------------------|------------------------------------|------|------------|---------------|------------------|
| | | Constants | 0.00 | | +3 700 000.00 | |
| A B | 32.34 | 260.03.50 | A | +13 547.64 | +56 904.89 | Approved |
| B C | 25.44 | 358.11.50 | B | +13 515.79 | +56 899.31 | |
| C D | 28.83 | 80.00.40 | C | +13 514.99 | +56 924.74 | |
| D A | 25.21 | 170.16.20 | D | +13 543.38 | +56 929.74 | |
| Town Survey Marks | | | | | | Surveyor-General |
| | | O31E | ⊕ | +13 414.79 | +56 787.50 | |
| | | O32A | ⊕ | +13 441.22 | +57 000.92 | |

Components:

1. The figure A B x y represents Rem. Erf 523 Stellenbosch
Vide Diagram No. A3898/1928; D/T 19+28.240.11665
2. The figure x y C D represents Erf 6174 Stellenbosch
Vide Diagram No. 8020/1975; D/T 1976. .20507



Scale: 1/500

The figure A B C D represents
771 square metres of land being

Erf 17574 Stellenbosch, and comprises 1. to 2. above

situate in the City of Cape Town
Administrative District of Stellenbosch
Province of the Western Cape
Surveyed in May 2019

by me **SJ DUNCAN PLS 1441** Professional Land Surveyor

| STELLENBOSCH MUNICIPALITY | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|
| THIS SUBDIVISION / CONSOLIDATION HAS BEEN APPROVED IN TERMS OF SECTION 60 OF THE STELLENBOSCH MUNICIPAL LAND USE PLANNING BY-LAW (2015) SUBJECT TO THE CONDITIONS AS PER ATTACHED LETTER DATED | |
| | 26/1/2021 |
| AUTHORISED EMPLOYEE/MPT | |

| | | |
|----------------------------------------|----------------------------------------------|-----------------------------------------------------------|
| This diagram is annexed to | The original diagrams are as indicated above | File No. S.2641/70 S.R. No. Comp. BHSZ-1443 (M2759) |
| No. dated i.f.o. Registrar of Deeds | | LPI C0670000 |

ANNEXURE J

**REZONING, CONSOLIDATION AND
DEPARTURES: ERF 523 & ERF 6174,
PAPEGAAI STREET, STELLENBOSCH**

**COMMENT FROM THE DIRECTOR:
ENGINEERING SERVICES**

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STELLENBOSCH MUNICIPALITY
STELLENBOSCH · PNIEL · FRANSCHHOEK

STELLENBOSCH MUNICIPALITY
PLANNING AND DEVELOPMENT SERVICES

RECEIVED

MEMORANDUM

DIREKTEUR: INFRASTRUKTUURDIENSTE
DIRECTORATE: INFRASTRUCTURE SERVICES

To ▫ Aan: Director: Planning + Economic Development

Att Aandag: S Newman

From ▫ Van: Colin Taylor (Development)

Date ▫ Datum: 29/10/2020

Our Ref ▫ Ons Verw: Civil LU 1940

Your Ref: LU/9904

Re ▫ Insake: Erf 523 & Erf 6174 Stellenbosch: Rezoning, consolidation and departure

| | |
|------------------|----------------|
| FILE NR: | |
| SCAN NR: | E 523 & 6174 S |
| COLLABORATOR NR: | 696914 |

The above mentioned application for the following refers.

- 1) Rezoning of the subject properties from Single Residential to Restricted Business for the development of offices;
- 2) Consolidation of the subject properties to form a land unit of ±771m²; and
- 3) Allow for the use of a portion of the ground floor for a residential unit.

The application is recommended for approval, subject to the following conditions:

- 1. Water**
 - 1.1 The number of connections must be reduced to only one (1) connection per erf.
 - 1.2 The sealing off of the remaining one water connection must be undertaken by Stellenbosch Municipality at the developer's cost.
- 2. Sewer**
 - 2.1 The existing sewer connection must be utilized for the proposed development; no upgrade in the size of the connection will be allowed, unless agreed to by our Water Services Department.
- 3. Roads**
 - 3.1 Sufficient parking must be provided and indicated on the SDP at building plan submission stage.

4. Development Charges (DCs)

- 4.1 Based on the information provided, the Development Charges payable by the developer is R235 413.74 (Vat incl.) as per attached Development Charges calculation (Annexure A).
- 4.2 The DC's were calculated for the 2020/2021 financial year. If the account is paid after 30 June 2021 it has to be recalculated using the then applicable tariffs.
- 4.3 The appropriate DC's are payable prior to building plan approval.

5. Municipal Infrastructure (Civil Engineering Services)

- 5.1 Any changes to any existing civil engineering services of Stellenbosch Municipality is for the account of the developer.

6. Electrical

- 6.1 See annexure B for electrical comments.



COLIN TAYLOR Pr Technl Eng

PRINCIPAL TECHNICIAN: DEVELOPMENT (INFRASTRUCTURE SERVICES)

[https://stellenboschgov.sharepoint.com/sites/DevServices/Shared Documents/2.0 DEVELOPMENT/00 Developments/1940 \(CT\) Erf 523 Stellenbosch/1940 \(CT\) Erf 523, Stellenbosch_2.doc](https://stellenboschgov.sharepoint.com/sites/DevServices/Shared Documents/2.0 DEVELOPMENT/00 Developments/1940 (CT) Erf 523 Stellenbosch/1940 (CT) Erf 523, Stellenbosch_2.doc)

Stellenbosch Municipality - Development Charge Calculation



APPLICATION INFORMATION

| | |
|----------------------------|---------------------------------|
| Application Number | |
| Date | Thursday, 29-Oct-2020 |
| Financial Year | 2020/21 |
| Erf Location | [REDACTED] |
| Erf No | Erf 523 & Erf 6174 Stellenbosch |
| Erf Size (m ²) | 771 |
| Suburb | |
| Applicant | Duque Lombard |
| Approved Building Plan No. | |

SUMMARY OF DC CALCULATION

| Unit(s) | Water | Sewer | Storm-water | Solid-Waste | Roads | Community Facilities | Totals |
|---------------------------------------------|-------------|-------------|-------------|-------------|--------------|----------------------|--------------|
| | k/day | k/day | ha°C | t/week | trips/day | person | |
| Total Increased Services Usage | 0,383 | 0,375 | 0,000 | 0,094 | 24,95 | 25,0 | |
| Total Development Charges before Deductions | R 10 360,54 | R 9 485,16 | | R 4 866,94 | R 179 994,96 | | R 204 707,60 |
| Total Deductions | | | | | | | |
| Total Payable (excluding VAT) | R 10 360,54 | R 9 485,16 | | R 4 866,94 | R 179 994,96 | | R 204 707,60 |
| VAT | R 1 554,08 | R 1 422,77 | | R 730,04 | R 26 999,24 | | R 30 706,14 |
| Total Payable (including VAT) | R 11 914,62 | R 10 907,94 | | R 5 596,98 | R 206 994,21 | | R 295 413,74 |

APPLICANT INFORMATION

| | |
|---------------------------|--------------|
| Application Processed by: | Colin Taylor |
| Signature | |
| Date | As above |
| Amount Paid: | |
| Date Payment Received | |
| Receipt Number | |

Stellenbosch Town

| Land Use Category | Unit Type | Existing Usage | | Proposed New Usage | | Increased Usage | | Water | Sewer | Stormwater | Development Charges (incl. VAT) | | Community Facilities | Total | |
|--------------------------|------------------------------------------|----------------------------------------------|-------|--------------------|-------|-----------------|-------|-------|-------|------------|---------------------------------|--------|----------------------|-------|-----|
| | | area (m²) | du/ha | area (m²) | % GLA | du/ha | % GLA | | | | du | m² GLA | | | YES |
| Residential | Single Residential >1000m² | du | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| | Single Residential >500m² | m² GLA | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| | Single Residential >250m² | du | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| | Single Residential <250m² | du | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| | Less Formal Residential >250m² | du | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| | Less Formal Residential <250m² | du | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| | Group Residential >250m² | du | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| | Group Residential <250m² | du | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| | Medium Density Residential >250m² | du | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| | Medium Density Residential <250m² | du | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| | High Density Residential - flats | du | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| | High Density Residential - student rooms | du | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| Commercial | Local Business - office | m² GLA | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| | Local Business - retail | m² GLA | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| | General Business - office | m² GLA | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| | General Business - retail | m² GLA | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| | Community | m² GLA | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| | Education | m² GLA | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| | Light Industrial | m² GLA | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| | General Industrial - light | m² GLA | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| | General Industrial - heavy | m² GLA | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| | Noxious Industrial - heavy | m² GLA | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| | Recreation | m² GLA | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| | Other | Public Open Space | m² | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R |
| Private Open Space | | m² | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| Natural Environment | | m² | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| Utility Services | | m² GLA | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| Public Roads and Parking | | m² | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| Transport Facility | | m² | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| Limited Use | | m² | 0 | 0 | 0 | 0 | 0 | R | R | R | R | R | R | R | |
| % Special | | To be calculated based on equivalent demands | | | | | | | | | | | | | |
| | | | | | | | | | | | | | | | |

| Water | Sewer | Stormwater | Development Charges (incl. VAT) | Community Facilities | Total |
|------------|------------|------------|---------------------------------|----------------------|-------------|
| R10 360,54 | R9 485,16 | R0,00 | R4 866,94 | R0,00 | R204 707,60 |
| R0,00 | R0,00 | R0,00 | R0,00 | R0,00 | R0,00 |
| R10 360,54 | R9 485,16 | R0,00 | R4 866,94 | R0,00 | R204 707,60 |
| R1 554,08 | R1 472,77 | R0,00 | R730,04 | R0,00 | R204 707,60 |
| R11 914,62 | R10 907,94 | R0,00 | R5 596,98 | R0,00 | R235 413,74 |

* Complete yellow/green cells.
 ** du = dwelling unit, GLA= Gross leasable area.
 Total Development Charges before Deductions
 % Deductions per service (%)
 Additional Deduction per service (amount)
 Sub Total after Deductions (excluding VAT)
 VAT
 Total



MEMO

DIRECTORATE: ENGINEERING SERVICES
DIREKTORAAT: INGENIEURSDIENSTE

To ▫ Aan: Director: Planning + Economic Development
Att Aandag S Newman
From ▫ Van: Colin Taylor (Development)
Date ▫ Datum: 17/08/2020
Our Ref ▫ Ons Verw: Civil Lu 1940
Your Ref: LU/9904
Re ▫ Insake: Erf 523, Stellenbosch: Rezoning, Consolidation and Departure

1. The application cannot yet be recommended for approval, please address the following

Comments from Manager: Traffic Engineering, Mr Nigel Winter:

2. The required parking bays 1-5 are indicated within the road reserve. Please note that no parking bays will be allowed to encroach onto the municipal sidewalk and that all required parking bays as per applicable zoning scheme must be accommodated on the said erf.
3. Indicated all dimensions in terms of parking bays, aisle width for vehicle movements including entrance and exit.

COLIN TAYLOR
PRINCIPAL TECHNICIAN: DEVELOPMENT (INFRASTRUCTURE SERVICES)
V:\2.0 DEVELOPMENT\00 Developments\1940 (CT) Erf 523 Stellenbosch\1940 (CT) Erf 523, Stellenbosch.doc

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INTERDEPARTMENTAL CIRCULATION FORM

| | | |
|----------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------|
| LêER VERW/ FILE REF | Erf 523, Stellenbosch | Date: 22 January 2020 |
| AANSOEKNUMMER/APPLICATION NUMBER | | LU/9904 |
| MEMO AAN/ TO : | > Director : Infrastructure Services (Traffic Engineer / Engineering Services) <i>LU/Civil 1940</i> Manager: Electrical Services Manager : Building Development Management Manager : Fire Services Manager: Spatial Planning / Heritage / Environment / Signage (Schalk) Manager: Health Department (Winelands Health) Manager: Community Services (Parks): Albert Van Der Merwe Manager: Property Management (P Smit) Manager: Local Economic Development | |

22/1/2020

| | |
|-----------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Application | Application is made in terms of Section 15(2)(a) and (e) of the Stellenbosch Municipal Land Use Planning By-Law, promulgated by notice number 354/2015, dated 20 October 2015, for: (1) Rezoning of Erf 523 and Erf 6174, Stellenbosch from single Residential to Restricted Business for the development of offices; (2) Consolidation of Erf 523 & Erf 6174, Stellenbosch to form a land unit of ±77m²; (3) Départure to allow for the use of a portion of the ground floor for residential unit. |
| Adres / Address | 16 Papegaai Street, Stellenbosch |
| Aansoek Datum / Application Date | 26 June 2019 |
| Aansoeker / Applicant | Virdus Works (Pty) Ltd |

Aangeheg vind u tersaaklike dokumentasie in verband met bogenoemde aansoek. Ten einde my in staat te stel om die aansoek aan die besluitnemingsowerheid vir oorweging voor te lê, word u versoek om my skriftelik van u kommentaar, indien enige, te voorsien. Onderskei asseblief tussen algemene kommentaar op die meriete van die aansoek en enige voorwaardes wat u departement wil opleë indien die aansoek goedgekeur word.

Attached please find the relevant documentation regarding the abovementioned application. Kindly furnish me with your written comment, if any, in order to enable me to submit the application to the decision making authority for consideration. Please differentiate between general comment on the merits of the application and any conditions that your department wishes to impose should the application be approved.

Geliewe die memorandum per hand aan my terug te besorg voor of op 22 Februarie 2020.
Please hand deliver the memorandum to me on or before : 22 February 2020

STELLENBOSCH MUNICIPALITY
PLANNING AND DEVELOPMENT SERVICES
16 MAR 2020

S Newman
For DIRECTOR: PLANNING AND ECONOMIC DEVELOPMENT

ALGEMENE KOMMENTAAR / GENERAL COMMENT:
Traffic Engineering: Application NOT Approved. Please provide a detail breakdown of eacherven GLA and parking requirements in terms of the appropriate zoning scheme regulations. 20/2/2020

RECEIVED

| | |
|-------------------------------------|------------------------------|
| VOORWAARDES/CONDITIONS: | FILE NR: |
| <i>Not recommended for approval</i> | |
| | SCAN NR: <i>E523S</i> |
| HANDTEKENING / SIGNATURE | COOPERATOR NR: <i>682463</i> |
| <i>[Signature]</i> | |
| DATUM / DATE | |
| <i>29/2/2020</i> | |

ANNEXURE M

**REZONING, CONSOLIDATION AND
DEPARTURES: ERF 523 & ERF 6174,
PAPEGAAI STREET, STELLENBOSCH**

**COMMENT FROM THE MANAGER:
ELECTRICAL SERVICES**

INTERDEPARTMENTAL CIRCULATION FORM

| | | |
|----------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------|
| LEER VERW/ FILE REF | Erf 523, Stellenbosch | Date: 22 January 2020 |
| AANSOEKNUMMER/APPLICATION NUMBER | | LU/9904 |
| MEMO AAN/ TO: | Director : Infrastructure Services (Traffic Engineer / Engineering Services) Manager: Electrical Services Manager: Building Development Management Manager : Fire Services Manager: Spatial Planning / Heritage / Environment / Signage (Schalk) Manager: Health Department (Winelands Health) Manager: Community Services (Parks) - Albert Van Der Merwe Manager: Property Management (P. Smit) Manager: Local Economic Development | |

Application
 Application is made in terms of Section 15(2)(a) and (b) of the Stellenbosch Municipal Land Use Planning By-Law, promulgated by notice number 354/2015, dated 20 October 2015, for:

- (1) Rezoning of Erf 523 and Erf 6174, Stellenbosch from single Residential to Restricted Business for the development of offices.
- (2) Consolidation of Erf 523 & Erf 6174, Stellenbosch to form a land unit of 177m².
- (3) Departure to allow for the use of a portion of the ground floor for residential unit.

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|-----------------------------------------|----------------------------------|
| Adres / Address | 16 Papegaai Street, Stellenbosch |
| Aansoek Datum / Application Date | 26 June 2019 |
| Aansoeker / Applicant | Viridus Works (Pty) Ltd |

Aangeheg vind u versaklike dokumentasie in verband met bogenoemde aansoek. Ten einde my in staat te stel om die aansoek aan die besluitnemsowerheid vir ooreweging voor te lê, word u versoek om my skriftelik van u kommentaar, indien enige, te voorsien. Onderskei asseblief tussen algemene kommentaar op die meriete van die aansoek en enige voorwaardes wat u departement wil opleë indien die aansoek goedgekeur

1. No Objection

CONDITIONS

2. If upgrade is needed Bulk Levy Contributions are payable.
3. Installation cost for the new electrical service cable is the responsibility of the applicant.
4. Appropriate caution shall be taken during construction, to prevent damage to existing service cables and electrical equipment in the vicinity. Should damage occur, the applicant will be liable for the cost involved repairing damages?
5. All new developments and upgrades of supplies to existing projects are subject to **SANS 10400-XA** energy savings and efficiency implementations such as:
 - Solar water Heating or Heat Pumps in Dwellings
 - Energy efficient lighting systems .
 - Roof insulation with right R-value calculations .
 - In large building developments;
 - Control Air condition equipment tied to alternative efficiency systems
 - Preheat at least 50% of hotwater with alternative energy saving source
 - All hot water pipes to be clad with insulation with R-value of 1
 - Provide a professional engineer's certificate to proof that energy saving measures is not feasible.
6. All electrical wiring should be accordance with SANS 10142 and Municipal by-laws.

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| HANDTEKENING / SIGNATURE | 18/2/2020 DATUM / DATE |
|--------------------------|---------------------------|