



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/14874

Our File Reference Number: Erf 479, Kylemore

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 – 808 8682

Email address: Ulrich.Vonmolendorff@stellenbosch.gov.za

PER E-MAIL: [REDACTED]

Sir / Madam

APPLICATION FOR PERMANENT DEPARTURE ON ERF 479, KYLEMORE

1. The above application refers.
2. The duly authorised decision maker hereby decides on the above application as follows.

2.1 That the application for a Departure on Erf 479, Kylemore in terms of Section 15(2)(b) of the Stellenbosch Municipal Land Use Planning By-law 2015 in order to relax the street building line from 2m to 1m, side building line from 1,5m to 0m and rear building line from 3m to 0m for the proposed dwelling additions for a bedroom, bathroom, store and balcony.

BE APPROVED in terms of Section 60 of the said Bylaw and subject to conditions of approval.

2.2 The approval is subject to the following conditions imposed in terms of Section 66 of said Bylaw:

- 2.2.1 The approval only applies to the proposed departure under consideration and shall not be construed as authority to depart from any other legal prescriptions or requirements from Council or other legislation or Bylaws or Regulations that may be applicable.
- 2.2.2 The development must be undertaken generally in accordance with the site plan as referenced drawing number 091 revision C, dated 22/03/2023, drawn by KvW (Atjee 101) and attached as **Annexure B**.
- 2.2.3 The approval granted shall not exempt the applicant from complying with any other legal prescriptions or requirements that might have a bearing on the proposed use.

2.2.4 Building plans must be generally in accordance with the site plan / floor layout plan as referenced drawing number 091 revision C, dated 22/03/2023, drawn by KvW (Atjee 101) and attached as **Annexure B**.

3. The reasons for the above decision are as follows:

3.1.1 The scale and nature of the proposed development will not compromise the existing character of the surrounding landscape.

3.1.2 The proposal is in line with the existing land use of the property and will not have a negative impact on the character of the surrounding area.

4. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.

5. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:

5.1. The personal particulars of the Appellant, including:

- i. First names and surname
- ii. ID number
- iii. Company of Legal person's name (if applicable)
- iv. Physical Address
- v. Contact details, including a Cell number and E-Mail address

5.2 Reference to this correspondence and the relevant property details on which the appeal is submitted.

5.3 The grounds of the appeal which may include the following grounds:

- i. that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000)

- ii. grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.

5.4 Whether the appeal is lodged against the whole decision or a part of the decision.

5.5 If the appeal is lodged against a part of the decision, a description of the part.

5.6 If the appeal is lodged against a condition of approval, a description of the condition.

5.7 The factual or legal findings that the appellant relies on.

5.8 The relief sought by the appellant.

5.9 Any issue that the appellant wishes the Appeal Authority to consider in making its decision.

5.10 That the appeal includes the following declaration by the Appellant:

- i. The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
- ii. That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.

6. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of e-mail at the following address: landuse.appeals@stellenbosch.gov.za.

7. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.

8. The approved tariff structure and the banking details for the General Account can be accessed and viewed on the municipal website. For any enquiries the office can be contacted at landuse.appeals@stellenbosch.gov.za.


9. An applicant who lodges an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:

- (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
- (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
- (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
- (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.

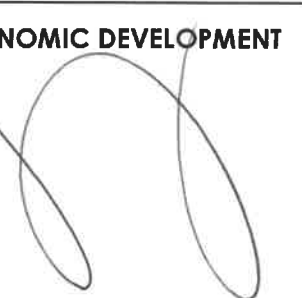
10. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

11. Kindly note the above decision in the case of any approval, is suspended, and may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully



FOR DIRECTOR PLANNING AND ECONOMIC DEVELOPMENT



30/3/2023
DATE:



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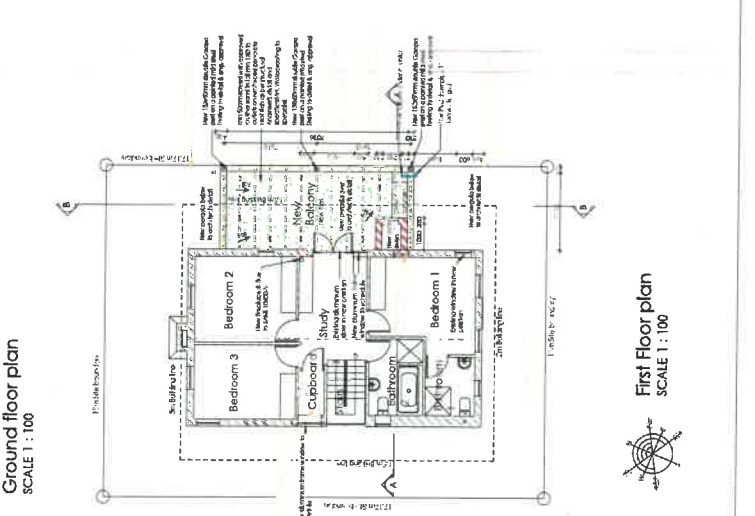
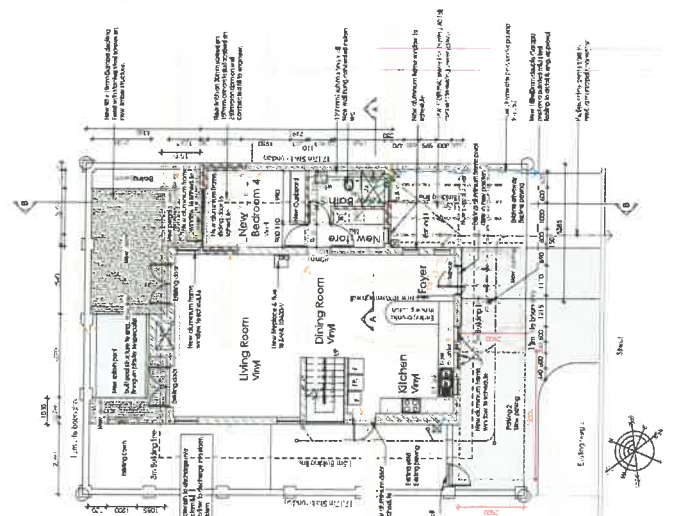
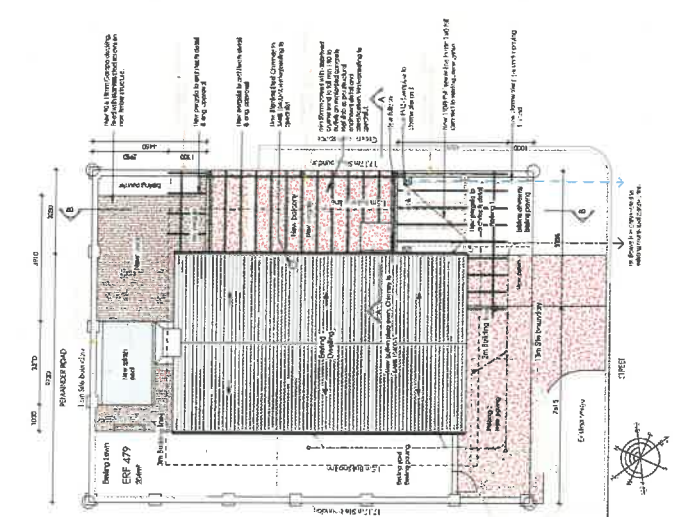
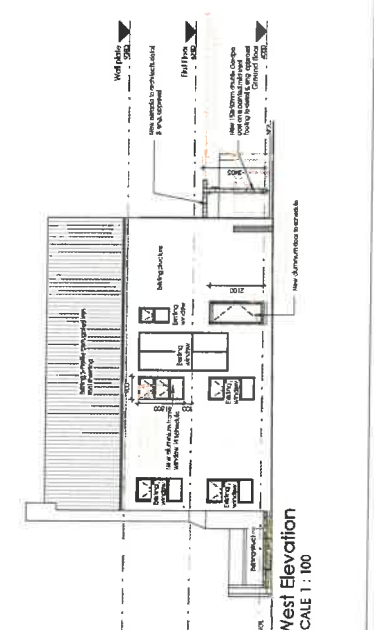
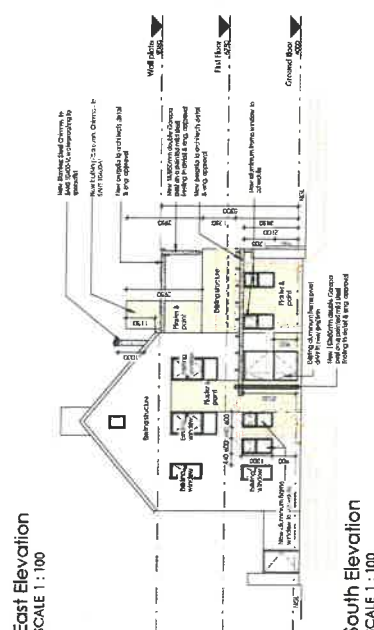
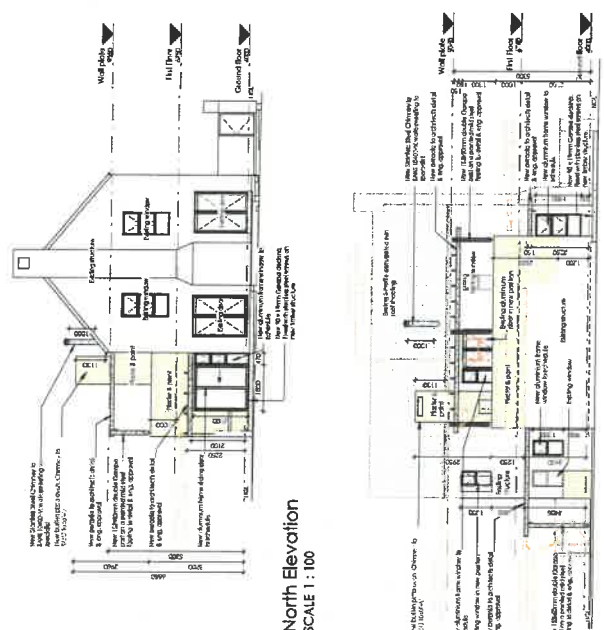
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ANNEXURE B

SITE PLAN / FLOOR LAYOUT PLAN

- NOTES:**
1. THE OWNER HAS ADVISED THE CONTRACTOR AND FINANCER OF THE PROPERTY OF THE PROJECT.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LOCAL AND PROVINCIAL REGULATIONS.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND PROVINCIAL AUTHORITIES.
 4. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED TO BE IN METERS TO THE FACE OF THE CONSTRUCTION.
 5. ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN STANDARDS ASSOCIATION (CSA) STANDARDS.

- REVISIONS:**
- | NO. | DATE | DESCRIPTION |
|-----|------------|------------------------------------------|
| 1 | 2023.03.15 | ISSUED FOR PERMITTING |
| 2 | 2023.04.10 | REVISED PER LOCAL AUTHORITY REQUIREMENTS |
| 3 | 2023.05.05 | REVISED PER FINANCER REQUIREMENTS |
| 4 | 2023.06.01 | REVISED PER ARCHITECTURAL CHANGES |
| 5 | 2023.07.01 | REVISED PER STRUCTURAL CHANGES |
| 6 | 2023.08.01 | REVISED PER MECHANICAL CHANGES |
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| 12 | 2024.02.01 | REVISED PER WINDOW CHANGES |
| 13 | 2024.03.01 | REVISED PER DOOR CHANGES |
| 14 | 2024.04.01 | REVISED PER STAIR CHANGES |
| 15 | 2024.05.01 | REVISED PER BATHROOM CHANGES |
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| 18 | 2024.08.01 | REVISED PER BEDROOM CHANGES |
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PROJECT: HOUSE DU TOIT
ADDRESS AND ALTERNATIONS ON ERF 479, EVANGELIS BETALE, KILDRONE
DRAWN BY: [Name]
DATE: 2023.03.15
SCALE: As Indicated
SHEET NO: A1
DRAWING NUMBER: 2114_A
REVISION: 091
C

- NOTES**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
 2. ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE LOCAL AUTHORITY REQUIREMENTS.
 3. THE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE SPECIFICATION.
 4. ANY CHANGES MADE TO BE MADE BY THE CONTRACTOR AT HIS OWN RISK AND WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
 5. ALL ELECTRICAL AND PLUMBING WORK IS TO BE COMPLETED BY A REGISTERED PROFESSIONAL.

- ITEMS**
1. To be completed by the contractor in accordance with the specification and drawings.
 2. To be completed by the contractor in accordance with the specification and drawings.
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 4. To be completed by the contractor in accordance with the specification and drawings.
 5. To be completed by the contractor in accordance with the specification and drawings.
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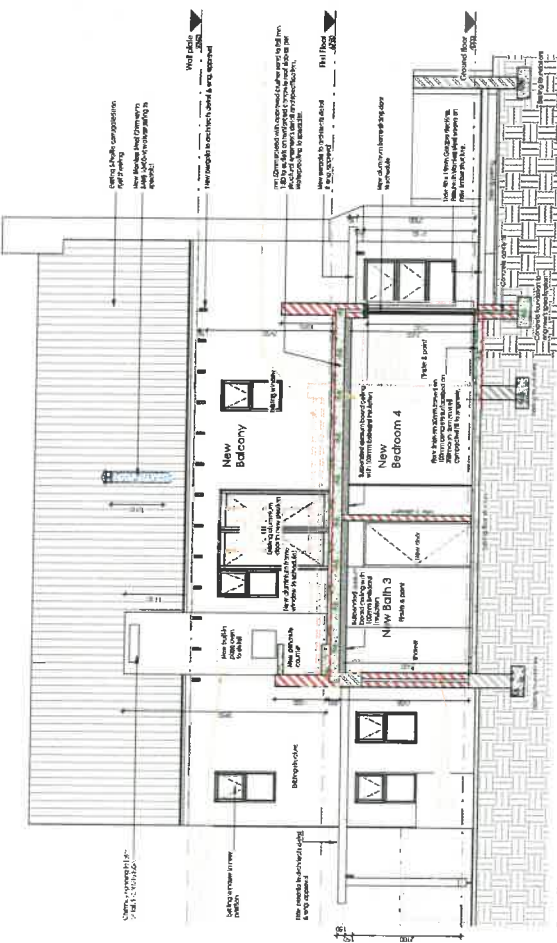
1. The contractor shall be responsible for obtaining all necessary permits and approvals from the local authority.

2. All work to be completed in accordance with the local authority requirements.

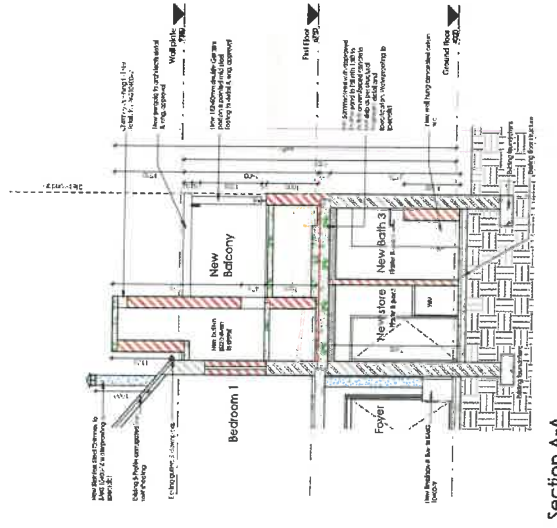
3. The drawings are to be read in conjunction with the specification.

4. Any changes made to be made by the contractor at his own risk and without the written approval of the architect.

5. All electrical and plumbing work is to be completed by a registered professional.



Section B-B
SCALE 1:50



Section A-A
SCALE 1:50

PROVISIONS FOR MATERIALS

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	CEMENT	100	kg	0.15	15.00
2	SAND	200	m ³	10.00	2000.00
3	AGGREGATE	300	m ³	10.00	3000.00
4	BRICKS	10000	no.	0.10	1000.00
5	ROOFING SHEETS	50	m ²	20.00	1000.00
6	PLASTER	100	m ²	10.00	1000.00
7	PAINT	50	liters	20.00	1000.00
8	GLASS	10	m ²	100.00	1000.00
9	DOORS	5	no.	200.00	1000.00
10	WINDOWS	10	no.	100.00	1000.00
11	ROOFING	100	m ²	10.00	1000.00
12	PLASTER	100	m ²	10.00	1000.00
13	PAINT	50	liters	20.00	1000.00
14	GLASS	10	m ²	100.00	1000.00
15	DOORS	5	no.	200.00	1000.00
16	WINDOWS	10	no.	100.00	1000.00
17	ROOFING	100	m ²	10.00	1000.00
18	PLASTER	100	m ²	10.00	1000.00
19	PAINT	50	liters	20.00	1000.00
20	GLASS	10	m ²	100.00	1000.00
21	DOORS	5	no.	200.00	1000.00
22	WINDOWS	10	no.	100.00	1000.00
23	ROOFING	100	m ²	10.00	1000.00
24	PLASTER	100	m ²	10.00	1000.00
25	PAINT	50	liters	20.00	1000.00
26	GLASS	10	m ²	100.00	1000.00
27	DOORS	5	no.	200.00	1000.00
28	WINDOWS	10	no.	100.00	1000.00
29	ROOFING	100	m ²	10.00	1000.00
30	PLASTER	100	m ²	10.00	1000.00
31	PAINT	50	liters	20.00	1000.00
32	GLASS	10	m ²	100.00	1000.00
33	DOORS	5	no.	200.00	1000.00
34	WINDOWS	10	no.	100.00	1000.00
35	ROOFING	100	m ²	10.00	1000.00
36	PLASTER	100	m ²	10.00	1000.00
37	PAINT	50	liters	20.00	1000.00
38	GLASS	10	m ²	100.00	1000.00
39	DOORS	5	no.	200.00	1000.00
40	WINDOWS	10	no.	100.00	1000.00
41	ROOFING	100	m ²	10.00	1000.00
42	PLASTER	100	m ²	10.00	1000.00
43	PAINT	50	liters	20.00	1000.00
44	GLASS	10	m ²	100.00	1000.00
45	DOORS	5	no.	200.00	1000.00
46	WINDOWS	10	no.	100.00	1000.00
47	ROOFING	100	m ²	10.00	1000.00
48	PLASTER	100	m ²	10.00	1000.00
49	PAINT	50	liters	20.00	1000.00
50	GLASS	10	m ²	100.00	1000.00
51	DOORS	5	no.	200.00	1000.00
52	WINDOWS	10	no.	100.00	1000.00
53	ROOFING	100	m ²	10.00	1000.00
54	PLASTER	100	m ²	10.00	1000.00
55	PAINT	50	liters	20.00	1000.00
56	GLASS	10	m ²	100.00	1000.00
57	DOORS	5	no.	200.00	1000.00
58	WINDOWS	10	no.	100.00	1000.00
59	ROOFING	100	m ²	10.00	1000.00
60	PLASTER	100	m ²	10.00	1000.00
61	PAINT	50	liters	20.00	1000.00
62	GLASS	10	m ²	100.00	1000.00
63	DOORS	5	no.	200.00	1000.00
64	WINDOWS	10	no.	100.00	1000.00
65	ROOFING	100	m ²	10.00	1000.00
66	PLASTER	100	m ²	10.00	1000.00
67	PAINT	50	liters	20.00	1000.00
68	GLASS	10	m ²	100.00	1000.00
69	DOORS	5	no.	200.00	1000.00
70	WINDOWS	10	no.	100.00	1000.00
71	ROOFING	100	m ²	10.00	1000.00
72	PLASTER	100	m ²	10.00	1000.00
73	PAINT	50	liters	20.00	1000.00
74	GLASS	10	m ²	100.00	1000.00
75	DOORS	5	no.	200.00	1000.00
76	WINDOWS	10	no.	100.00	1000.00
77	ROOFING	100	m ²	10.00	1000.00
78	PLASTER	100	m ²	10.00	1000.00
79	PAINT	50	liters	20.00	1000.00
80	GLASS	10	m ²	100.00	1000.00
81	DOORS	5	no.	200.00	1000.00
82	WINDOWS	10	no.	100.00	1000.00
83	ROOFING	100	m ²	10.00	1000.00
84	PLASTER	100	m ²	10.00	1000.00
85	PAINT	50	liters	20.00	1000.00
86	GLASS	10	m ²	100.00	1000.00
87	DOORS	5	no.	200.00	1000.00
88	WINDOWS	10	no.	100.00	1000.00
89	ROOFING	100	m ²	10.00	1000.00
90	PLASTER	100	m ²	10.00	1000.00
91	PAINT	50	liters	20.00	1000.00
92	GLASS	10	m ²	100.00	1000.00
93	DOORS	5	no.	200.00	1000.00
94	WINDOWS	10	no.	100.00	1000.00
95	ROOFING	100	m ²	10.00	1000.00
96	PLASTER	100	m ²	10.00	1000.00
97	PAINT	50	liters	20.00	1000.00
98	GLASS	10	m ²	100.00	1000.00
99	DOORS	5	no.	200.00	1000.00
100	WINDOWS	10	no.	100.00	1000.00

PROVISIONS FOR MATERIALS

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	CEMENT	100	kg	0.15	15.00
2	SAND	200	m ³	10.00	2000.00
3	AGGREGATE	300	m ³	10.00	3000.00
4	BRICKS	10000	no.	0.10	1000.00
5	ROOFING SHEETS	50	m ²	20.00	1000.00
6	PLASTER	100	m ²	10.00	1000.00
7	PAINT	50	liters	20.00	1000.00
8	GLASS	10	m ²	100.00	1000.00
9	DOORS	5	no.	200.00	1000.00
10	WINDOWS	10	no.	100.00	1000.00
11	ROOFING	100	m ²	10.00	1000.00
12	PLASTER	100	m ²	10.00	1000.00
13	PAINT	50	liters	20.00	1000.00
14	GLASS	10	m ²	100.00	1000.00
15	DOORS	5	no.	200.00	1000.00
16	WINDOWS	10	no.	100.00	1000.00
17	ROOFING	100	m ²	10.00	1000.00
18	PLASTER	100	m ²	10.00	1000.00
19	PAINT	50	liters	20.00	1000.00
20	GLASS	10	m ²	100.00	1000.00
21	DOORS	5	no.	200.00	1000.00
22	WINDOWS	10	no.	100.00	1000.00
23	ROOFING	100	m ²	10.00	1000.00
24	PLASTER	100	m ²	10.00	1000.00
25	PAINT	50	liters	20.00	1000.00
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57	DOORS	5	no.	200.00	1000.00
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67	PAINT	50	liters	20.00	1000.00
68	GLASS	10	m ²	100.00	1000.00
69	DOORS	5	no.	200.00	1000.00
70	WINDOWS	10	no.	100.00	1000.00
71	ROOFING	100	m ²	10.00	1000.00
72	PLASTER	100	m ²	10.00	1000.00
73	PAINT	50			

- NOTES**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL BUILDING CODE OF SOUTH AFRICA.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL REGULATIONS AND THE NATIONAL ELECTRICAL CODE OF SOUTH AFRICA.
 3. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING.
 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL BUILDING CODE OF SOUTH AFRICA.
 5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL REGULATIONS AND THE NATIONAL ELECTRICAL CODE OF SOUTH AFRICA.

- MATERIALS**
1. All masonry shall be in accordance with the National Building Regulations and the National Building Code of South Africa.
 2. All concrete shall be in accordance with the National Building Regulations and the National Building Code of South Africa.
 3. All steelwork shall be in accordance with the National Building Regulations and the National Building Code of South Africa.
 4. All plasterwork shall be in accordance with the National Building Regulations and the National Building Code of South Africa.
 5. All painting shall be in accordance with the National Building Regulations and the National Building Code of South Africa.
 6. All tiling shall be in accordance with the National Building Regulations and the National Building Code of South Africa.
 7. All flooring shall be in accordance with the National Building Regulations and the National Building Code of South Africa.
 8. All joinery shall be in accordance with the National Building Regulations and the National Building Code of South Africa.
 9. All lighting shall be in accordance with the National Building Regulations and the National Building Code of South Africa.
 10. All electrical work shall be in accordance with the National Building Regulations and the National Building Code of South Africa.
 11. All plumbing work shall be in accordance with the National Building Regulations and the National Building Code of South Africa.
 12. All mechanical work shall be in accordance with the National Building Regulations and the National Building Code of South Africa.
 13. All fire protection work shall be in accordance with the National Building Regulations and the National Building Code of South Africa.
 14. All safety work shall be in accordance with the National Building Regulations and the National Building Code of South Africa.
 15. All other work shall be in accordance with the National Building Regulations and the National Building Code of South Africa.

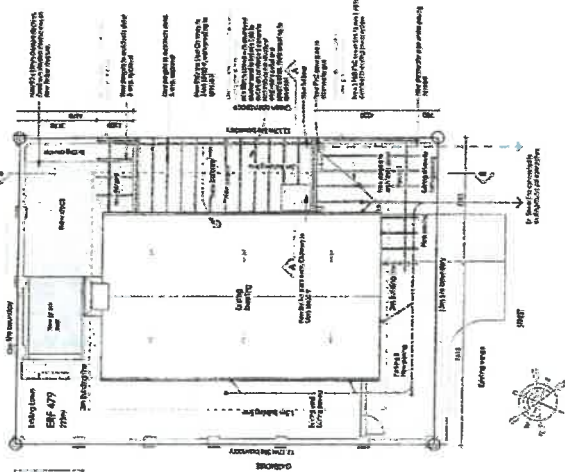
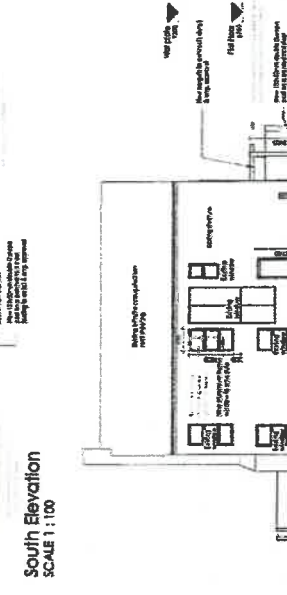
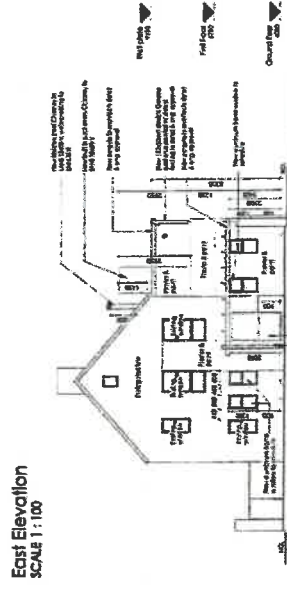
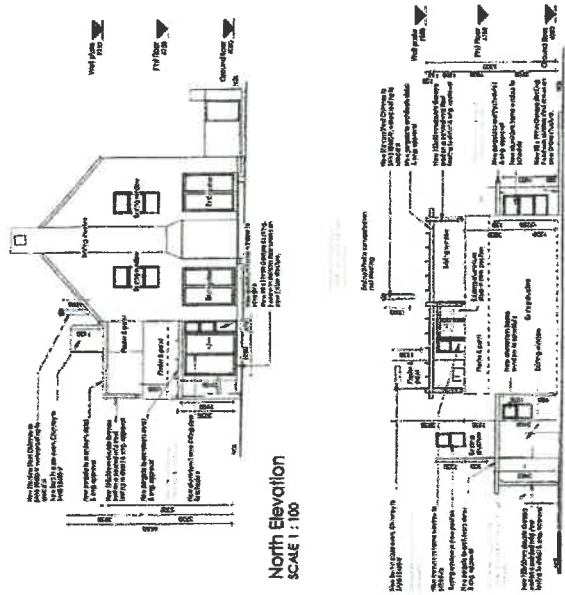
483
 W. E. S. Adriaans
 R. O. F. 482
 GABRIEL DE AVOIRARE
 EFF 481
 Tenike Stone

ATLÉE
 ARCHITECTS
 1011 10th Avenue
 Durbanville, Cape Town
 7801

HOUSE DU TOIT
 ARCHITECTURAL DRAWINGS
 1011 10th Avenue
 Durbanville, Cape Town
 7801

PROJECT NO. 2114_A
DATE 08/11/2014
SCALE 1:100
PROJECT HOUSE DU TOIT
CLIENT GABRIEL DE AVOIRARE
DESIGNER W. E. S. ADRIAANS
DATE 08/11/2014

COUNCIL SUBMISSION
PROJECT NO. 2114_A
DATE 08/11/2014
SCALE 1:100
PROJECT HOUSE DU TOIT
CLIENT GABRIEL DE AVOIRARE
DESIGNER W. E. S. ADRIAANS
DATE 08/11/2014



ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	FOUNDATION	1	sqm	1000	1000
2	WALLS	1	sqm	2000	2000
3	ROOF	1	sqm	1500	1500
4	FLOORING	1	sqm	1200	1200
5	PAINTING	1	sqm	800	800
6	JOINERY	1	sqm	1000	1000
7	ELECTRICAL	1	sqm	1500	1500
8	PLUMBING	1	sqm	1000	1000
9	Mechanical	1	sqm	1000	1000
10	Fire Protection	1	sqm	1000	1000
11	Safety	1	sqm	1000	1000
12	Other	1	sqm	1000	1000
TOTAL					14000

CAPOLAVORO
 Huis Eienaars Vereniging
 Stellenbosch

Blunt
 Handtekening

Handtekening

Datum

