



Application Number: LU/15902(TP421/2023)

Our File Reference Number: Erf 4583, Stellenbosch

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 – 808 8682

Email address: Ulrich.Vonmolendorff@stellenbosch.gov.za

PER E-MAIL: [REDACTED]

Sir / Madam

APPLICATION FOR PERMISSION IN TERMS OF THE ZONING SCHEME TO ALLOW AN ADDITIONAL USE (TECHINAL APPROVAL) ON ERF 4583, STELLENBOSCH

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:
 - 2.1 That the application in terms of Section 15(2)(g) of the Stellenbosch Municipality By-law on Municipal Land Use Planning 2023, for additional use (technical approval) to permit the use of a portion of the existing building as a second dwelling unit on Erf 4583, Stellenbosch;

BE APPROVED in terms of Section 60 of the said Bylaw, subject to conditions of approval in terms of Section 66 of the said Bylaw.

2.2 Conditions of Approval:

- 2.2.1 The approval only applies to the proposed application under consideration and shall not be construed as authority to depart from any other legal prescriptions or requirements from the Municipality or other legislation or By-laws or Regulations that may be applicable.
- 2.2.2 The development must be undertaken generally in accordance with the referenced Site Plan with Drawing 2022-CS-09-008, drawn by CLD Architects and dated 02/02/2024, Site & Floor Plan, Drainage Sections Plan with Drawing 2022-CS-09-000, drawn by CLD Architects and dated 16/01/2023, Ground Floor, Area Plan, New Window Schedule Plan with Drawing 2022-CS-09-001, drawn by CLD Architects and dated 16/01/2023, and Elevations & Sections Plan with Drawing 2022-CS-09-002, drawn by CLD Architects and dated 16/01/2023, attached as **Annexure B**.

- 2.2.3 The approval granted shall not exempt the applicant from complying with any other legal prescriptions or requirements that might have a bearing on the use.
- 2.2.4 Building plans must be generally in accordance with the referenced Site Plan with Drawing 2022-CS-09-008, drawn by CLD Architects and dated 02/02/2024, Site & Floor Plan, Drainage Sections Plan with Drawing 2022-CS-09-000, drawn by CLD Architects and dated 16/01/2023, Ground Floor, Area Plan, New Window Schedule Plan with Drawing 2022-CS-09-001, drawn by CLD Architects and dated 16/01/2023, and Elevations & Sections Plan with Drawing 2022-CS-09-002, drawn by CLD Architects and dated 16/01/2023, attached as **Annexure B**.
- 2.2.5 Building plans must be submitted for all work, as well as changes of use of the existing buildings and which building plan(s) must be approved and related occupancy certificates be issued prior to the vesting of any of the related approvals.
- 2.2.6 The conditions imposed by the Directorate: Infrastructure Services as contained in their memorandum dated 12/12/2023 and comment dated 23/11/2023, attached as **Annexure D**, be complied with.
3. The reasons for the above decision are as follows:
- 3.1 The proposal is consistent with the Municipal Spatial Development Framework as it promotes context sensitive and appropriate densification. No new buildings are proposed as a portion of the approved existing dwelling house is to be converted into a second dwelling unit.
4. You may now act on the above decision subject to compliance with the conditions of approval.

Yours faithfully


FOR DIRECTOR: PLANNING AND ECONOMIC DEVELOPMENT

22/2/2024
DATE



STELLENBOSCH
STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNICIPALITY • UMASIPALA • MUNISIPALITEIT

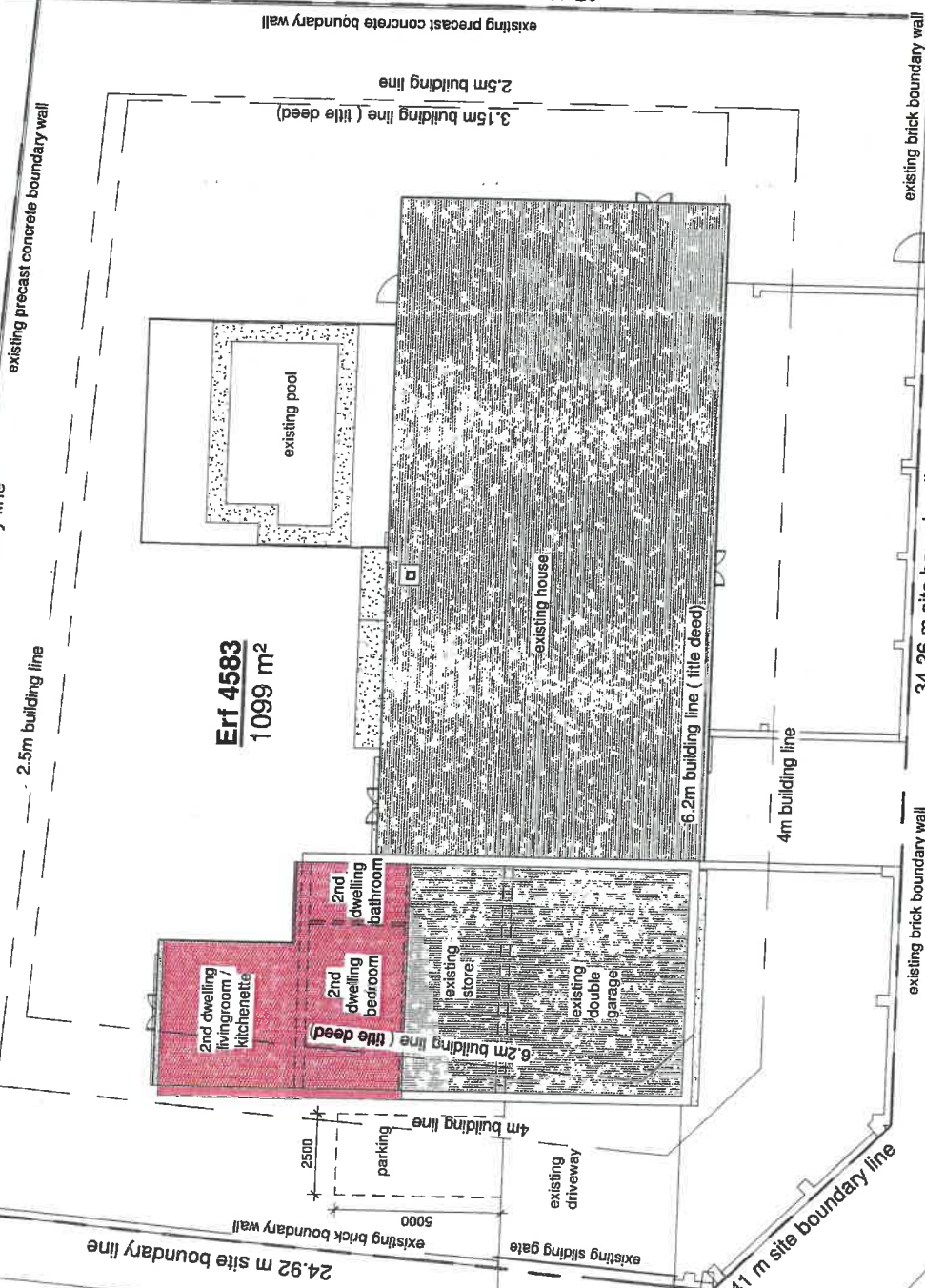
ANNEXURE B

SITE PLAN

Erf 4584

37.52 m site boundary line

2.5m building line



Erf 4583
1099 m²

Jan Frederik Street

24.92 m site boundary line

existing brick boundary wall

5000

4m building line

parking

2500

4m building line

existing driveway

existing sliding gate

5500

free from obstructions

4m building line

existing double garage

existing store

6.2m building line (title deed)

2nd dwelling bedroom

2nd dwelling bathroom

2nd dwelling livingroom / kitchenette

existing brick boundary wall

4m building line

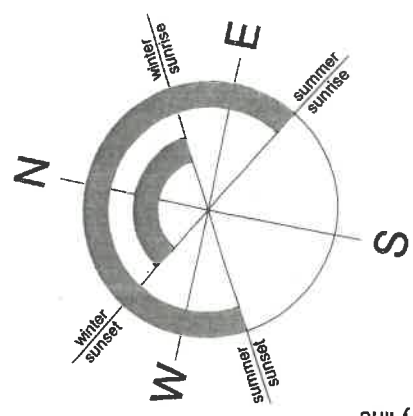
existing brick boundary wall

34.26 m site boundary line

Dagbreek Street

Site Overview

Scale - 1 : 150



Erf 4582
m site boundary line

existing precast concrete boundary wall

3.15m building line (title deed)

2.5m building line

existing brick boundary wall

2022-CS-09-008 SITE PLAN

02/02/2024



NOTES:

1. GENERAL: ALL WORK TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING ACT 2004 AND THE BUILDING REGULATIONS 2006. THE DRAWINGS SHALL BE CONSIDERED TO BE THE ONLY BASIS FOR THE CONTRACTOR TO PERFORM THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE RELEVANT AUTHORITIES.

2. DIMENSIONS: DIMENSIONS TO FACE UNLESS OTHERWISE STATED. DIMENSIONS TO CENTERLINE SHALL BE STATED AS SUCH.

3. MATERIALS: MATERIALS TO BE USED SHALL BE AS SPECIFIED OR OF A QUALITY AND TYPE EQUIVALENT TO THAT SPECIFIED.

4. WORKMANSHIP: WORKMANSHIP SHALL BE TO THE SATISFACTION OF THE ARCHITECT AND IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING REGULATIONS 2006.

5. FINISHES: FINISHES SHALL BE AS SPECIFIED OR OF A QUALITY AND TYPE EQUIVALENT TO THAT SPECIFIED.

6. PROTECTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING WORK AND SERVICES TO REMAIN.

7. SERVICES: THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND PROTECTING ALL EXISTING SERVICES. ANY NEW SERVICES TO BE INSTALLED SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RELEVANT AUTHORITIES.

8. SAFETY: ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE OHS ACT 2004 AND THE OHS REGULATIONS 2007.

9. ENVIRONMENT: ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ENVIRONMENTAL PROTECTION ACT 1993 AND THE ENVIRONMENTAL PROTECTION REGULATIONS 2001.

10. COMPLETION: ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED PROGRAM AND TO THE SATISFACTION OF THE ARCHITECT.

SCHEDULE OF AREAS

SITE	100m ²
COVERAGE (RUC) (CF)	3m ² max/12m ² min/30m ²
COVERAGE	27.7%

FAR CALCULATION

FAR FOR FAR	166m ²
FAR	0.37

TOTAL AREAS

EXISTING HOUSE	276m ²
EXISTING COVERED POOL	5m ²
INTERNAL CHANGES	22m ²
ADDITION (BELOW EXISTING ROOF)	3m ²
TOTAL COVERED	266m ²

ALL SERVICES TO EXISTING EQUIPMENT, EXCEPT BELOW FOOTING, TO BE MOVED TO EXISTING EQUIPMENT LOCATIONS. NOC REMOVAL OF EXISTING SERVICES NEEDED.

HOUSE 1 DAGREEK ADDITIONS & ALTERATION

CN18 4582 UNDER PAPERBAMBERG XI

STYLEBROOK FOR 4.5 ROCK & DM ROCK

CLIENT

DATE: / /

ISSUED BY: / /

REVISIONS:

NO.	DESCRIPTION	DATE	BY:

PROJECT: HOUSE 1 DAGREEK ADDITIONS & ALTERATION

ADDRESSES: CN18 4582 UNDER PAPERBAMBERG XI, STYLEBROOK FOR 4.5 ROCK & DM ROCK

CITY: WELLINGTON

PROJECT NO.: 2022-05-05-001

SCALE: AS SHOWN

FOR INFO: ARCHITECT: DAVID GRAY

ENGINEER: RICHARD HAYES

STRUCTURAL: RICHARD HAYES

ELECTRICAL: RICHARD HAYES

MECHANICAL: RICHARD HAYES

PLUMBING: RICHARD HAYES

PAINTING: RICHARD HAYES

LANDSCAPE: RICHARD HAYES

OTHER: RICHARD HAYES

Area Legend

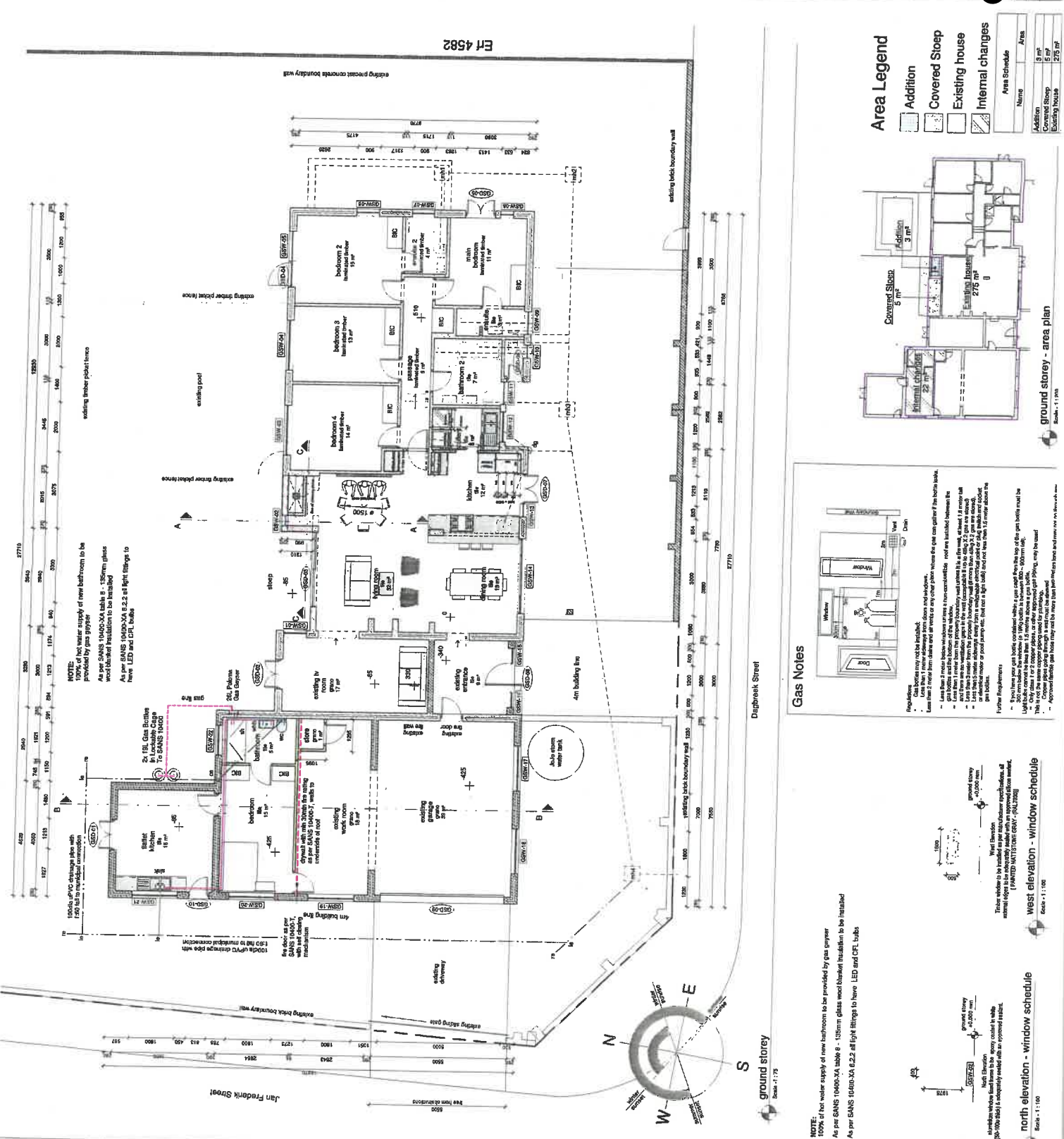
- Addition 3 m²
- Covered stoep 5 m²
- Existing house 275 m²
- Internal changes 22 m²

Area Schedule

Name	Area
Addition	3 m ²
Covered stoep	5 m ²
Existing house	275 m ²
Internal changes	22 m ²

Ground storey - area plan

Scale: 1:100



NOTE:

100% of hot water supply of new bathroom to be provided by gas geyser.

As per SANS 10400-XA table 8 - 150mm glass w/ sealant installation to be installed.

As per SANS 10400-XA 6.2.2 all light fittings to have LED and CFL bulbs.

Gas Notes

Gas lines may not be installed in the following areas:

- Within 300mm of any electrical equipment.
- Within 300mm of any gas service.
- Within 300mm of any gas service.
- Within 300mm of any gas service.
- Within 300mm of any gas service.

Gas Notes - continued

Gas lines may not be installed in the following areas:

- Within 300mm of any electrical equipment.
- Within 300mm of any gas service.
- Within 300mm of any gas service.
- Within 300mm of any gas service.
- Within 300mm of any gas service.

west elevation - window schedule

Scale: 1:100

north elevation - window schedule

Scale: 1:100

Window schedule to be installed as per window schedule with approval from owner.

(NOTE: NOT TO SCALE)

BUILDERS WORK

GENERAL NOTES:

1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING ACT 2004 AND THE BUILDING REGULATIONS 2006.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE RELEVANT AUTHORITIES.

3. DIMENSIONS: DIMENSIONS TO FACE UNLESS OTHERWISE STATED. DIMENSIONS TO CENTERLINE SHALL BE STATED AS SUCH.

4. MATERIALS: MATERIALS TO BE USED SHALL BE AS SPECIFIED OR OF A QUALITY AND TYPE EQUIVALENT TO THAT SPECIFIED.

5. WORKMANSHIP: WORKMANSHIP SHALL BE TO THE SATISFACTION OF THE ARCHITECT AND IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING REGULATIONS 2006.

6. FINISHES: FINISHES SHALL BE AS SPECIFIED OR OF A QUALITY AND TYPE EQUIVALENT TO THAT SPECIFIED.

7. PROTECTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING WORK AND SERVICES TO REMAIN.

8. SERVICES: THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND PROTECTING ALL EXISTING SERVICES. ANY NEW SERVICES TO BE INSTALLED SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RELEVANT AUTHORITIES.

9. SAFETY: ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE OHS ACT 2004 AND THE OHS REGULATIONS 2007.

10. ENVIRONMENT: ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ENVIRONMENTAL PROTECTION ACT 1993 AND THE ENVIRONMENTAL PROTECTION REGULATIONS 2001.

11. COMPLETION: ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED PROGRAM AND TO THE SATISFACTION OF THE ARCHITECT.

STRUCTURAL NOTES:

1. ALL STRUCTURAL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STRUCTURAL ENGINEER'S SPECIFICATIONS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND PROTECTING ALL EXISTING STRUCTURAL WORK.

3. ALL FOUNDATIONS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STRUCTURAL ENGINEER'S SPECIFICATIONS.

4. ALL WALLS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STRUCTURAL ENGINEER'S SPECIFICATIONS.

5. ALL FLOORS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STRUCTURAL ENGINEER'S SPECIFICATIONS.

6. ALL ROOFS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STRUCTURAL ENGINEER'S SPECIFICATIONS.

7. ALL STAIRS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STRUCTURAL ENGINEER'S SPECIFICATIONS.

8. ALL BALCONIES SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STRUCTURAL ENGINEER'S SPECIFICATIONS.

9. ALL PORCHES SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STRUCTURAL ENGINEER'S SPECIFICATIONS.

10. ALL DECKING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STRUCTURAL ENGINEER'S SPECIFICATIONS.

ELECTRICAL NOTES:

1. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ELECTRICAL ENGINEER'S SPECIFICATIONS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND PROTECTING ALL EXISTING ELECTRICAL WORK.

3. ALL CIRCUITS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ELECTRICAL ENGINEER'S SPECIFICATIONS.

4. ALL SWITCHES SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ELECTRICAL ENGINEER'S SPECIFICATIONS.

5. ALL PLUGS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ELECTRICAL ENGINEER'S SPECIFICATIONS.

6. ALL LIGHT FITTINGS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ELECTRICAL ENGINEER'S SPECIFICATIONS.

7. ALL WIRING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ELECTRICAL ENGINEER'S SPECIFICATIONS.

8. ALL CABLES SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ELECTRICAL ENGINEER'S SPECIFICATIONS.

9. ALL CONDUITS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ELECTRICAL ENGINEER'S SPECIFICATIONS.

10. ALL TRAYS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ELECTRICAL ENGINEER'S SPECIFICATIONS.

BUILDERS WORK

GENERAL NOTES:

1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL BUILDING REGULATIONS (NBR) AND THE NATIONAL BUILDING CODE (NBC).
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SCHEDULE OF AREAS	
SITE	1800m²
COVERED AREA (GF)	3674sqm/270m²/256m²
COVERED AREA	72.7%
P.A.R. CALCULATION	
AREA FOR P.A.R.	260m²
F.A.R.	0.27
TOTAL AREAS	
EXISTING ROUSE	72m²
EXISTING COVERED STOP	6m²
INTERNAL CHANGES	22m²
ADDITION (BELOW EXISTING FOOT)	26m²
TOTAL COVERED	166m²

NO CHANGES TO EXISTING FOOTPRINT. ADDITION BELOW EXISTING ROUSE. FOOTPRINT PART OF EXISTING COVERED STOP.

NOTES:

1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL BUILDING REGULATIONS (NBR) AND THE NATIONAL BUILDING CODE (NBC).
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DISCLAIMER:

The architect is not responsible for any subsidence which may occur after the completion of the works. The architect is not responsible for any damage to the existing structure or any other structure on the site. The architect is not responsible for any delay in the completion of the works. The architect is not responsible for any cost overruns. The architect is not responsible for any other matters. The architect is not responsible for any other matters. The architect is not responsible for any other matters.

CLIENT:

ADDONS MANITOKA
 ON ER 458, ONDER PAREGARENS XI
 STELLENBOSCH FOR H.F. DECK & M. DEKOR

DATE: 2022-03-04
PROJECT No.: 2022-03-04-02
SCALE: As indicated
FOR INFO:

CLD Architects (Pty) Ltd
 101 Main Road, 7th Floor, The Waterfront, Cape Town, 8001
 T: +27 (0) 21 461 1111
 F: +27 (0) 21 461 1112
 E: info@clid.co.za
 W: www.clid.co.za



STELLENBOSCH
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ANNEXURE D

COMMENTS FROM INTERNAL DEPARTMENTS



STELLENBOSCH MUNICIPALITY
STELLENBOSCH · PNIEL · FRANSCHHOEK

MEMORANDUM

DIREKTORAAT: INFRASTRUKTUURDIENSTE
DIRECTORATE: INFRASTRUCTURE SERVICES

CIVIL ENGINEERING SERVICES

To ▫ Aan: Director: Planning + Economic Development
Att Aandag: Salome Newman
From ▫ Van: Manager: Development (Infrastructure Services)
Author ▫ Skrywer: Kurt Titus
Date ▫ Datum: 12 December 2023
Our Ref ▫ Ons Verw: Civil LU 2591
Town Planning Ref: LU/15902
Re ▫ Insake: Erf 4583, Stellenbosch: Application is made in terms of Section 15(2)(g) of the Stellenbosch Municipality By-law on Municipal Land Use Planning 2023, for additional use (technical approval) to permit the use of a portion of the existing building as a second dwelling unit on Erf 4583, Stellenbosch.

The application is recommended for approval, subject to the following conditions:

1. **Water and Sewer Services.**
 - 1.1 No additional water or sewer erf connections will be allowed for the proposed second dwelling. Provision of these services to the proposed second dwelling must be obtained by connecting to the existing internal services.
 - 1.2 When a submission is made at the building plan approval stage, the developer must ensure that the precise location for both water and sewer municipal Erf connections is indicated on the site layout plan submitted.

2. **Parking**

- 2.1 At building plan approval stage please indicate the allocated parking space for the development as per the municipal zoning scheme.

Ktitus

Kurt Titus

Principal Technician: Development (Infrastructure Services)

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Erf 4583, Stellenbosch

1. No Objection

CONDITIONS:

2. Appropriate caution shall be taken during construction, to prevent damage to existing service cables and electrical equipment in the vicinity. Should damage occur, the applicant will be liable for the cost involved repairing damages.
3. All electrical work to comply with SANS142 and Municipal electrical by-laws

Bradley Williams

Date.....23/11/2023.....



Signature