



# STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/12625

Our File Reference Number: Erf 456, Jamestown

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 – 808 8682

Email address: [Ulrich.Vonmolendorff@stellenbosch.gov.za](mailto:Ulrich.Vonmolendorff@stellenbosch.gov.za)

**PER E-MAIL:** [REDACTED]

Sir / Madam

## **APPLICATION FOR PERMANENT DEPARTURE: ERF 456, JAMESTOWN**

1. The above application refers.

2. The duly authorised decision maker has decided on the above application as follows:

2.1 That the application for a permanent departure in terms of Section 15 (2) (b) of the Stellenbosch Municipality Zoning Scheme Bylaw, 2019 in order to relax the rear building lines (adjacent to Erf 468) from **2.5m to 1m** to construct additions in the form of a master bedroom on the upper floor that will extend towards the back of the property of the existing upper floor on Erf 456 Jamestown Stellenbosch, as indicated on drawing No. L1001, dated 2020/10/26, Drawn by Salt Architects.

**BE APPROVED** in terms of Section 60 of the said bylaw, and subject to the following conditions of approval in terms of Section 66 of the said Bylaw:

### **2.2 Conditions of Approval:**

- (i) The approval applies only to the proposal in question and shall not be construed as authority to depart from any other Council requirements or legal provisions;
- (ii) Building plans must be submitted to this municipality for approval, prior to any building work commencing on site;
- (iii) The approval shall lapse if not acted upon within a period of five years from the date of approval;

### 2.3 Reasons for the above decision are as follows:

- (i) The proposed development can be regarded as desirable as it is a logical extension to the house and will not impact negatively on the character of the area.
- 3 You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.
- 4 Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:
- (a) The personal particulars of the Appellant, including:
    - (I) First names and surname;
    - (II) ID number;
    - (III) Company of Legal person's name (if applicable)
    - (IV) Physical Address;
    - (V) Contact details, including a Cell number and E-Mail address;
  - (b) Reference to this correspondence and the relevant property details on which the appeal is submitted.
  - (c) The grounds of the appeal which may include the following grounds:
    - (i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);
    - (ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.
  - (d) whether the appeal is lodged against the whole decision or a part of the decision;

- (e) if the appeal is lodged against a part of the decision, a description of the part;
- (f) if the appeal is lodged against a condition of approval, a description of the condition;
- (g) the factual or legal findings that the appellant relies on;
- (h) the relief sought by the appellant; and
- (i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;
- (j) That the appeal includes the following declaration by the Appellant:
  - (i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
  - (ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.

- 5 Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address: [landuse.appeals@stellenbosch.gov.za](mailto:landuse.appeals@stellenbosch.gov.za)
- 6 Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.
- 7 The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking details for the General Account can also be accessed on the municipal website (<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).
- 8 An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:

- (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
  - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
  - (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
  - (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.
- 9 Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.
- 10 Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully

  
FOR DIRECTOR PLANNING AND ECONOMIC DEVELOPMENT

10/8/2021  
DATE:







GENERAL NOTES

- ALL MATERIALS AND METHODS ARE TO COMPLY WITH THE NATIONAL BUILDING REGULATIONS (ACT NO. 93 OF 1974) AND ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE INTENT OF THE ACT, LOCAL AUTHORITY
- ALL CONSTRUCTION METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE MODEL REGULATIONS FOR TRADES (1997) AND SUPPLEMENTARY MEMORANDA UNLESS OTHERWISE SPECIFIED
- WHERE MATERIALS ARE SPECIFIED BY TRADE NAME, THE MANUFACTURER'S NAME AND ADDRESS SHALL BE PROVIDED TO THE ARCHITECT WITH THE MANUFACTURER'S INSTRUCTIONS
- ALL DIMENSIONS ARE TO BE CHECKED ON SITE BEFORE ANY WORK IS PUT IN HAND AND ANY CLARITY, AMBIGUITY OR OVERLAP IN DIMENSIONS ARE TO BE REPORTED TO THE ARCHITECT FOR CLARIFICATION
- DIMENSIONS ARE TO BE READ FROM THE DRAWING
- THESE DRAWINGS SHALL BE READ IN CONNECTION WITH STRUCTURAL, CIVIL, MECHANICAL AND ELECTRICAL DRAWINGS DRAWINGS WHERE APPLICABLE
- NO TRUSS BRACES OR JOISTS ARE TO BE INSTALLED WITHOUT THE ARCHITECT'S AND ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS
- CONSULT ALL TRADE DOCUMENTS ISSUED WITH THE APPROVED DRAWINGS

REVISIONS

NO.	DATE	DESCRIPTION
1	15/08/2020	ISSUED FOR PERMIT
2	15/08/2020	ISSUED FOR PERMIT

CONSULTANTS

CIVIL / STRUCTURAL ENGINEERS

**SALT**  
ARCHITECTS

OWNER  
Bentley and Marell Basson  
PROJECT  
JD van der Walt PHACO2475078

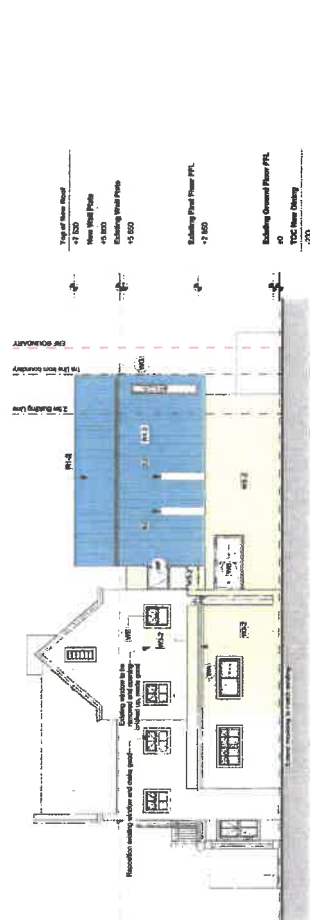
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Owner Name: [Redacted]  
Owner Signature: [Redacted]  
Owner Name: [Redacted]  
Owner Signature: [Redacted]

PROJECT TITLE  
69 Parfite Additions and Alterations

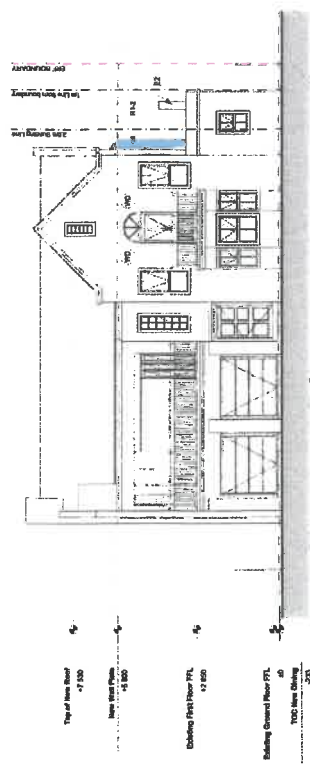
ISSUED FOR PERMIT  
ELEVATIONS  
DRAWINGS

Municipal Submission For Approval

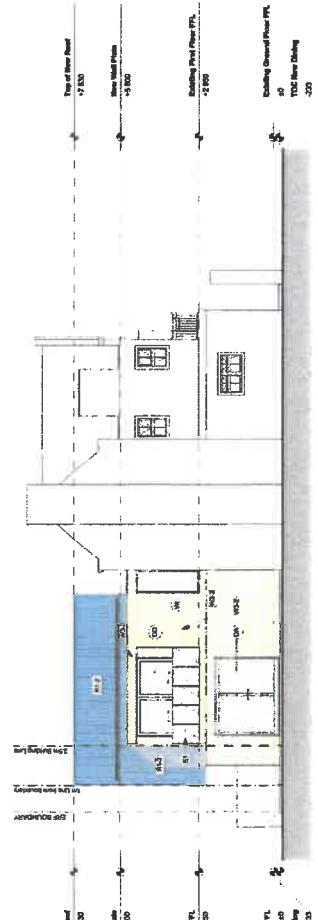
NO.	DATE	DESCRIPTION
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2	15/08/2020	ISSUED FOR PERMIT



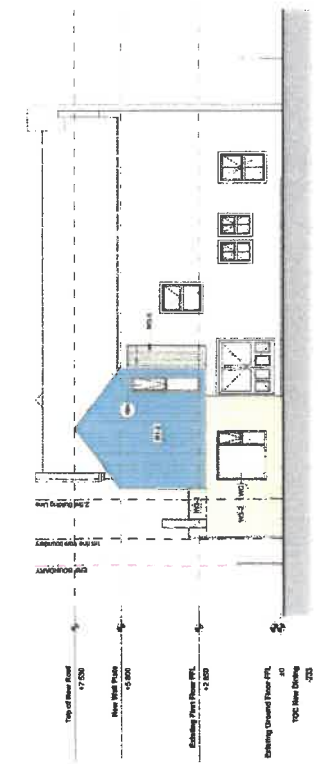
E-02 North West Elevation



E-01 South West Elevation



E-04 South East Elevation



E-03 North West Elevation

**NOTES**

1. All work shall be carried out in accordance with the National Building Regulations (Act No. 93 of 1974) and all work is to be carried out in accordance with the intent of the Act, local authority.

2. All construction methods and materials are to be in accordance with the Model Regulations for Trades (1997) and supplementary memoranda unless otherwise specified.

3. Where materials are specified by trade name, the manufacturer's name and address shall be provided to the architect with the manufacturer's instructions.

4. All dimensions are to be checked on site before any work is put in hand and any clarity, ambiguity or overlap in dimensions are to be reported to the architect for clarification.

5. Dimensions are to be read from the drawing.

6. These drawings shall be read in connection with structural, civil, mechanical and electrical drawings where applicable.

7. No truss braces or joists are to be installed without the architect's approval and are to be installed in accordance with the manufacturer's instructions.

8. Consult all trade documents issued with the approved drawings.

9. The drawings shall be read in connection with the structural, civil, mechanical and electrical drawings where applicable.

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**GENERAL NOTES**

- ALL MATERIALS AND METHODS ARE TO COMPLY WITH THE NATIONAL BUILDING REGULATIONS ACT NO. 93 OF 1974 AND AMENDMENTS AND ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE SPECS OF THE relevant LOCAL AUTHORITY.
- ALL CONSTRUCTION METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RELEVANT PRELIMINARY, UNLESS OTHERWISE SPECIFIED.
- ALL MATERIALS ARE TO BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- ALL DIMENSIONS ARE TO BE GIVEN ON THE DRAWING UNLESS A PUT IN HAND, ANY LACK OF CLARITY, AMBIGUITY OR CONTRADICTION IS TO BE REPORTED TO THE ARCHITECT FOR CLARIFICATION.
- CONSTRUCTION IS NOT TO BE STARTED FROM THIS DRAWING UNLESS THE DRAWING IS IN CONFORMANCE WITH STRUCTURAL, CIVIL, MECHANICAL AND/OR ELECTRICAL ENGINEERING DRAWINGS WHICH ARE APPLICABLE.
- NO WORK SHALL BE DONE UNTIL IT IS APPROVED WITHOUT DELAY BY THE RELEVANT LOCAL AUTHORITY.
- CONTRACTOR TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
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DATE: 15/05/2024  
 DRAWN BY: [Redacted]  
 CHECKED BY: [Redacted]  
 APPROVED BY: [Redacted]

CONTRACT NO: [Redacted]  
 QUANTITY SURVEYOR: [Redacted]

CIVIL / STRUCTURAL ENGINEER

**SALT ARCHITECTS**

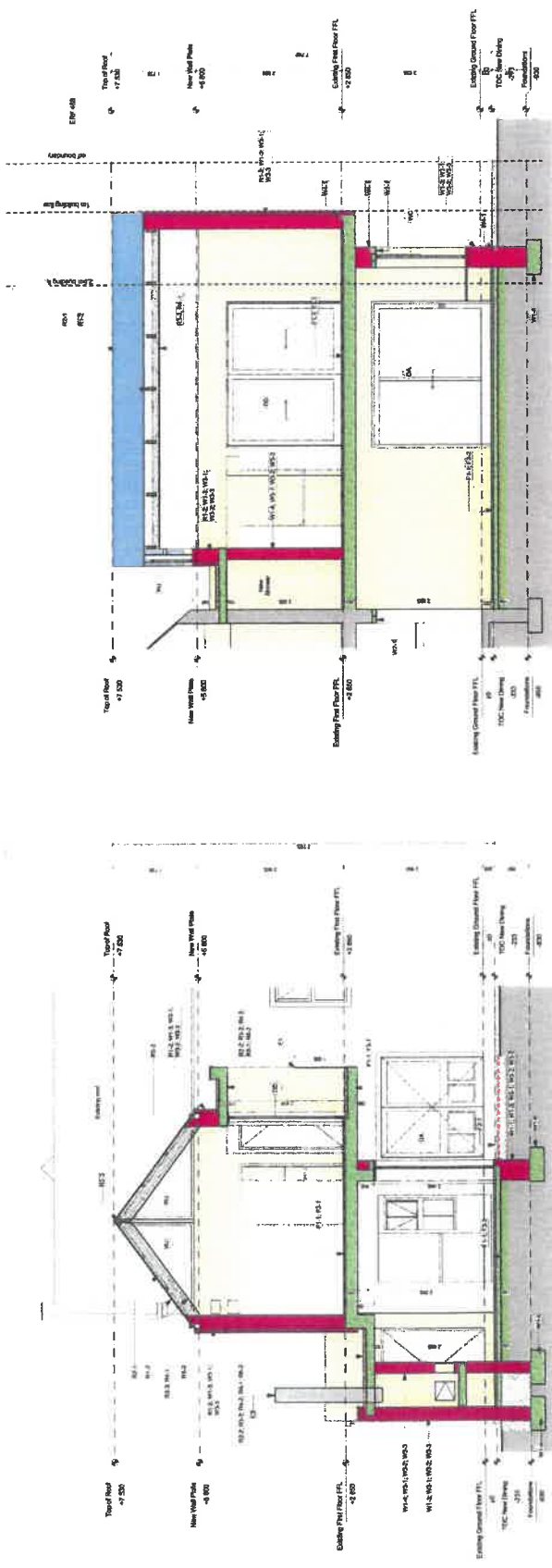
CLIENT: Benita and Murali Razoon  
 ADDRESS: ID van der Walt Private 675/208

APPROVED COMPANY SIGNATURE  
 Owner Name: [Redacted]  
 Owner Signature: [Redacted]  
 Owner Name: [Redacted]  
 Owner Signature: [Redacted]  
 Owner Name: [Redacted]  
 Owner Signature: [Redacted]

PROJECT TITLE: 69 Parkside Additions and Alterations

SECTION: 1.1  
 DRAWING NO: M FOUR  
 DATE: 2023/01/26

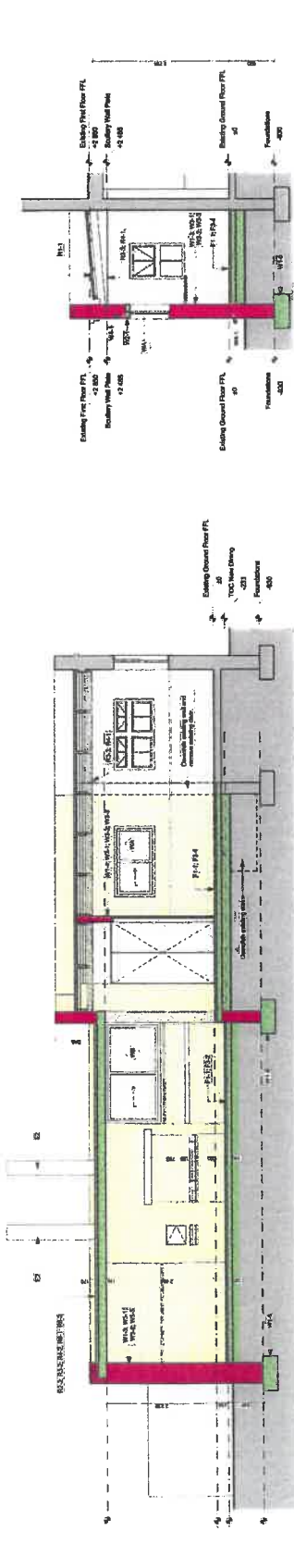
NO.	REV.	DATE	BY
1	1	2023/01/26	[Redacted]



Sec A

Sec B

Sec C



Sec D

Sec C

Sec B

**SECTION D**  
 This section shows the structural details of the wall and roof structure. The wall is constructed from 200mm concrete blocks with a 100mm render finish. The roof structure consists of a 100mm concrete slab supported by 200mm concrete walls. The drawing shows the reinforcement details for the wall and roof slab, including the placement of bars and the use of stirrups. The levels are indicated as follows: Existing Floor FFL: +2.000, Existing Roof FFL: +7.500, New Wall Plate: +0.800, Existing Ground Floor FFL: +0.000, TTC New Dring: +0.200, Foundation: -0.400.

**SECTION C**  
 This section shows the structural details of the wall and floor structure. The wall is constructed from 200mm concrete blocks with a 100mm render finish. The floor structure consists of a 100mm concrete slab supported by 200mm concrete walls. The drawing shows the reinforcement details for the wall and floor slab, including the placement of bars and the use of stirrups. The levels are indicated as follows: Existing Floor FFL: +2.000, Existing Ground Floor FFL: +0.000, TTC New Dring: +0.200, Foundation: -0.400.

**SECTION B**  
 This section shows the structural details of the wall and floor structure. The wall is constructed from 200mm concrete blocks with a 100mm render finish. The floor structure consists of a 100mm concrete slab supported by 200mm concrete walls. The drawing shows the reinforcement details for the wall and floor slab, including the placement of bars and the use of stirrups. The levels are indicated as follows: Existing Floor FFL: +2.000, Existing Ground Floor FFL: +0.000, TTC New Dring: +0.200, Foundation: -0.400.