



# STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/12514

Our File Reference Number: Erf 4193, Stellenbosch

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 808 8682

Email address: [Ulrich.Vonmolendorff@stellenbosch.gov.za](mailto:Ulrich.Vonmolendorff@stellenbosch.gov.za)

**PER E-MAIL** [REDACTED]

Sir/Madam

## **APPLICATION FOR DEPARTURE: ERF 4193, 54 JONKERSHOEK ROAD, MOSTERTSDRIFT, STELLENBOSCH**

1. The above application refers.
  2. The duly authorised decision maker has decided on the above application as follows:
    - 2.1 That the application for a departure on Erf 4193, Jonkershoek Road, Mostersdrift, Stellenbosch in terms of Section 15(2)(b) of the Stellenbosch Municipal Land Use Planning Bylaw 2015 to:
      - 2.1.1 Relax the common building line from 2,5m to 0m for the proposed home office/study above the existing double garage as indicated on Drawing No. SK01-SK04, Drawn by Argitek, dated 2020/10/06 attached as **Annexure B**.
- BE APPROVED** in terms of Section 60 of the said Bylaw and subject to conditions of approval.
- 2.2 The approval is subject to the following conditions imposed in terms of Section 66 of said Bylaw:
    - 2.2.1 The approval will lapse if not implemented/confirmed within five years from the date of final notification of approval of the application.
    - 2.2.2 The approval only applies to the proposed departure under consideration and shall not be construed as authority to depart from any other legal prescriptions or requirements from Council or other legislation or Bylaws or Regulations that may be applicable.

- 2.2.3 The development must be undertaken generally per the site plan as referenced in Drawing No. SK01- SK04, Drawn by Argite, Dated 2020/10/06 attached as **Annexure B**
- 2.2.4 The approval granted shall not exempt the applicant from complying with any other legal prescriptions or requirements that might have a bearing on the proposed use.
- 2.2.5 The approval granted shall not be contradictory to any other legislation which has a bearing on the use of the property and that should any other legislation be applicable and be more restrictive then the most restrictive conditions will apply.
- 2.2.6 Building plans must be generally per the site plan/floor layout plan Drawing No. SK01- SK04, Drawn by Argitek, Dated 2020/10/06 attached as **Annexure B**.

2.3 The reasons for the above decision are as follows:

- 2.3.1 The proposal will not adversely impact the surrounding environment uses property values or the character of the area property will still be residential.

3. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.
4. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:
- (a) The personal particulars of the Appellant, including:
    - (I) First names and surname;
    - (II) ID number;
    - (III) Company of Legal person's name (if applicable)
    - (IV) Physical Address;
    - (V) Contact details, including a Cell number and E-Mail address;
  - (b) Reference to this correspondence and the relevant property details on which the appeal is submitted.
  - (c) The grounds of the appeal which may include the following grounds:

(i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);

(ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.

(d) whether the appeal is lodged against the whole decision or a part of the decision;

(e) if the appeal is lodged against a part of the decision, a description of the part;

(f) if the appeal is lodged against a condition of approval, a description of the condition;

(g) the factual or legal findings that the appellant relies on;

(h) the relief sought by the appellant; and

(i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;

(j) That the appeal includes the following declaration by the Appellant:

(i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct

(ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.

5. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address: [landuse.appeals@stellenbosch.gov.za](mailto:landuse.appeals@stellenbosch.gov.za)

6. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.

7. The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking

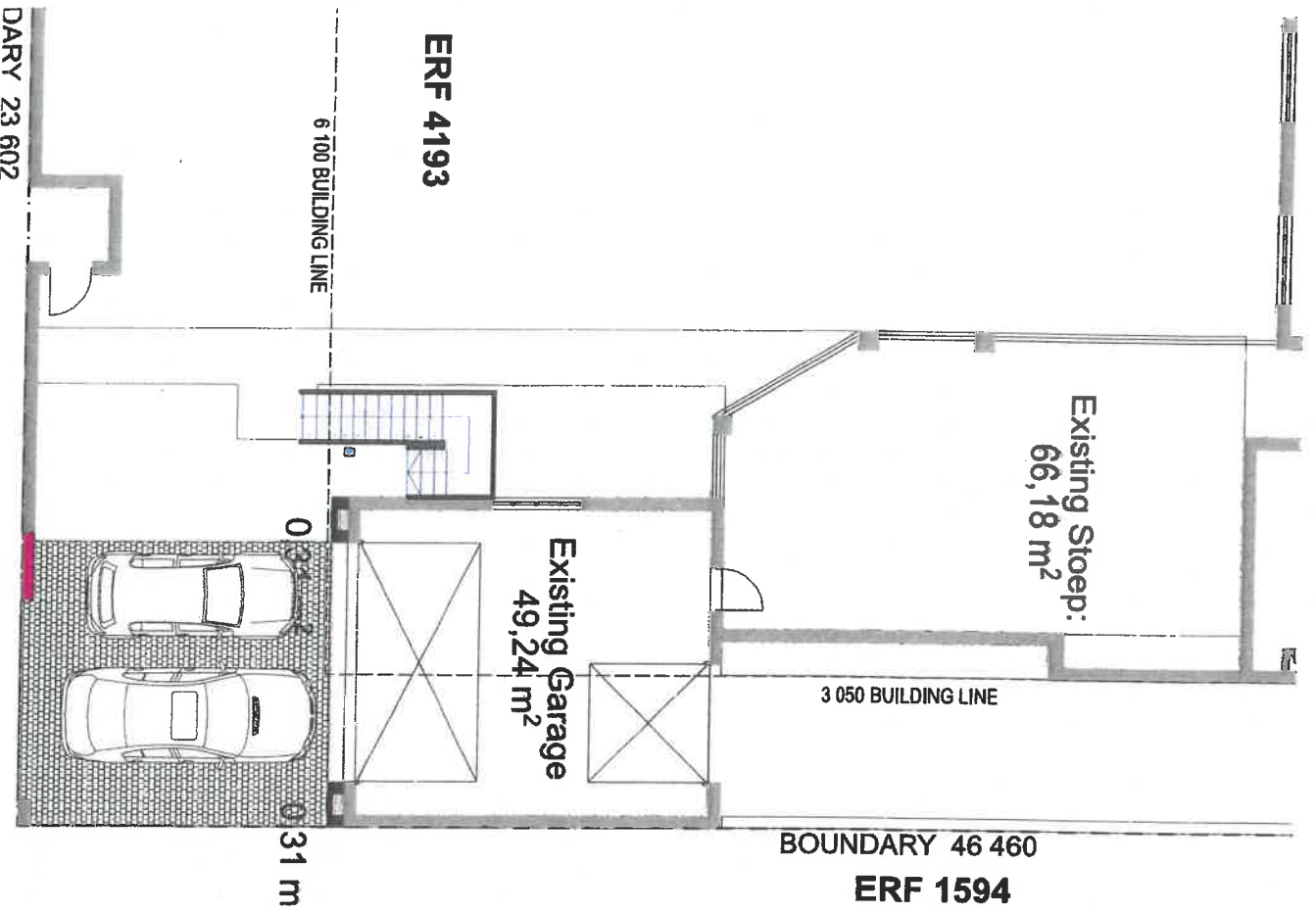
details for the General Account can also be accessed on the municipal website (<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).

8. An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
  - (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
  - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
  - (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
  - (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.
9. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.
10. Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

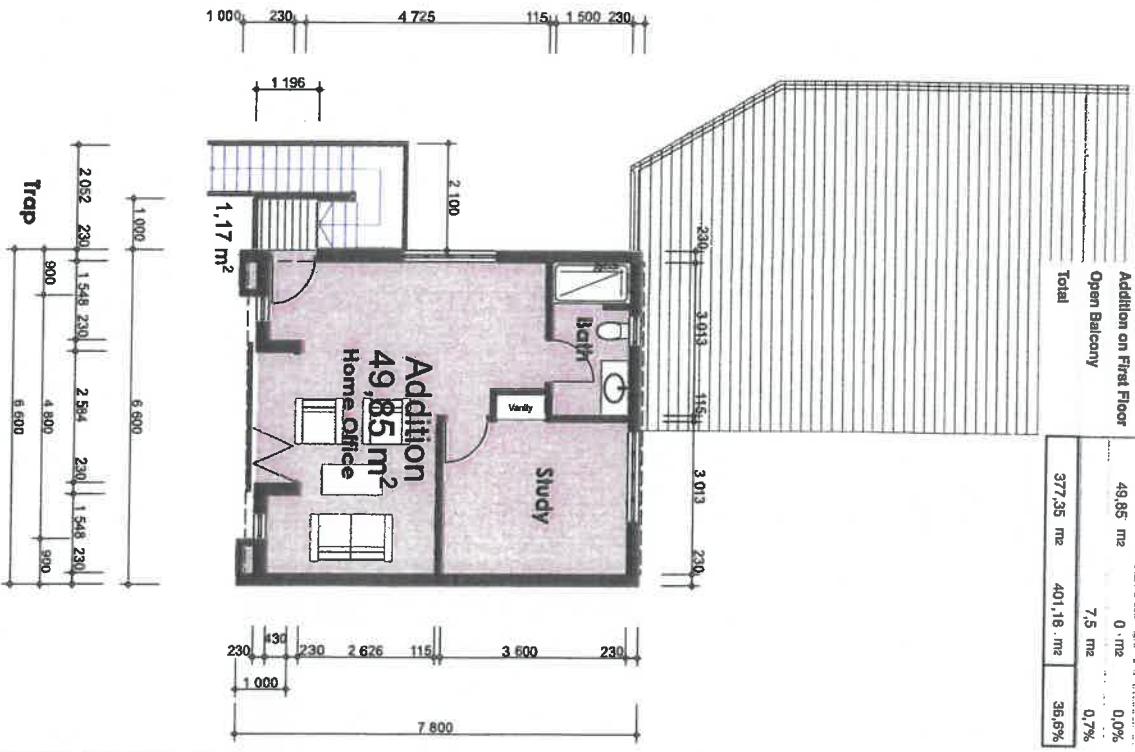
Yours faithfully

  
\_\_\_\_\_  
**FOR DIRECTOR: PLANNING AND ECONOMIC DEVELOPMENT**

18/7/2022  
\_\_\_\_\_  
DATE:



**Groundfloor 1:100**



**Firstfloor 1:100**

**DEVELOPMENT DATA**

	Bulk	Covered areas	Coverage
SITE	1096 m²		
Ex. Groundfloor House	327,5 m²	327,5 m²	29,8%
Ex. Covered Steop		66,18 m²	6,0%
Addition on First Floor	49,85 m²	0 m²	0,0%
Open Balcony		7,5 m²	0,7%
<b>Total</b>	<b>377,35 m²</b>	<b>401,18 m²</b>	<b>35,5%</b>

**EXPLANATION**

1. The drawing is for the proposed development and is not a contract.
2. The drawing is for the proposed development and is not a contract.
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4. The drawing is for the proposed development and is not a contract.
5. The drawing is for the proposed development and is not a contract.

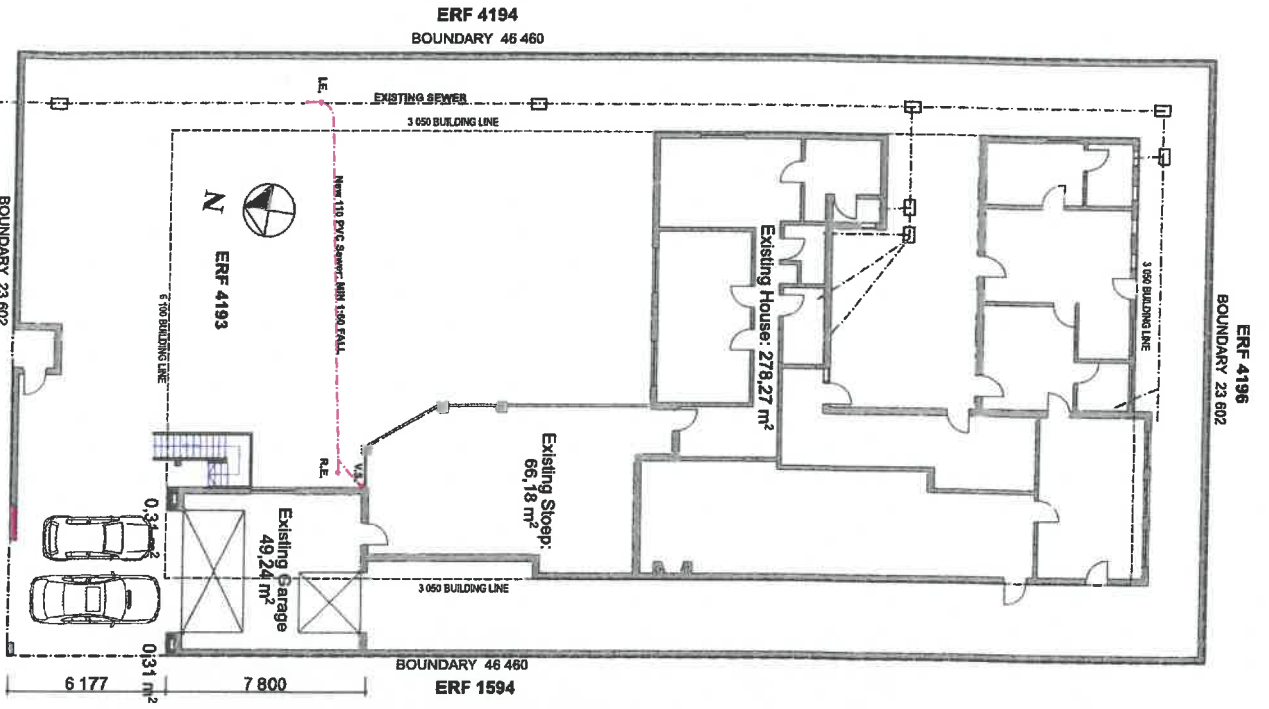
Project/Client: .....

**PROJECT INFORMATION**

NO.	208	DATE	11/06
PROJECT	ERF 4193	PROFESSION	Architect
NO.	1118	DATE	11/06
CLIENT	Van Huissteeën, J.H.	CLIENT ADDRESS	Van Huissteeën, J.H.

**DESIGNER**

**SK01**



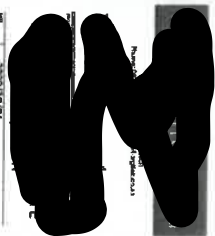
Siteplan

1:200



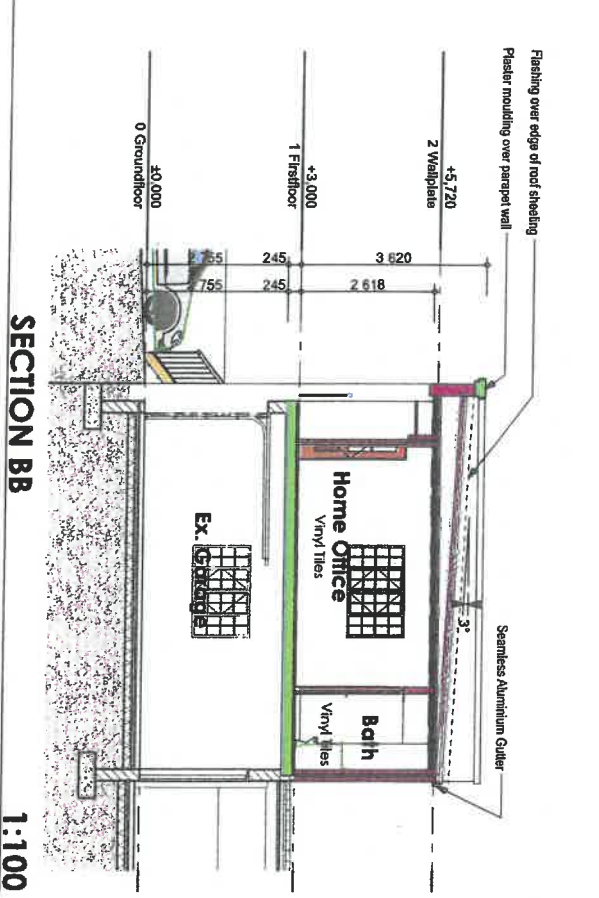
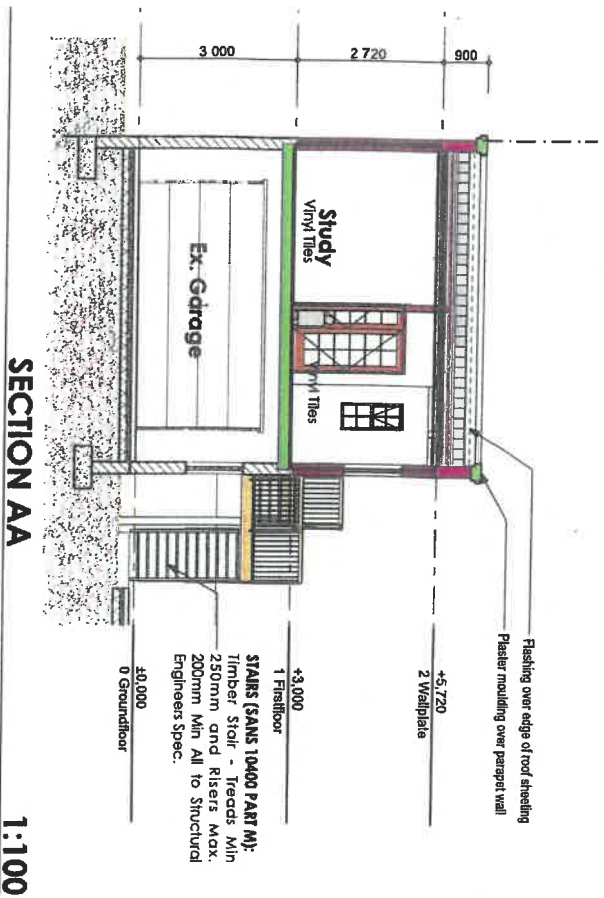
Locality Plan

PLEASE NOTE:  
 1. The drawings are for general information only and are not to be used for construction purposes.  
 2. The drawings are not to be used for any other purpose without the written consent of the architect.  
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208 SK02  
 Plan Type: Van Huyssteen.pjn





**WALL CONSTRUCTION**

**External Walls:** Constructed of well burnt clay bricks. Generally 280 mm (see drawings for dimension) cavity built in two skins with 50 mm cavity between and tied together with 12 g/g galvanized butterfly wire ties, 6 no. ties per sq. metre constructed with DPC membrane at floor level and over all external lintels with weep holes @ 650 centres or at least 2 per lintel. Cavities to be continuously cleaned of any mortar droppings, etc., and to be left open for inspection prior to plastering. Brickwork every 4<sup>th</sup> course above ground floor level and 3 layers above lintels. Cavities below Ground floor level to be filled with ISOBORD

**Internal Walls:** Constructed of well burnt clay bricks. Generally 115 mm (see drawings for dimension) constructed off slab thickenings as per engineers recommendation. Internal load bearing walls will be 230 mm. (see drawings for dimension) All internal walls to be built to 1 brick above ceilings where applicable. Parapet Walls: Tops of all parapet walls to be waterproofed with 'Klodek' waterproofing system or similar. Colour to match walls. Exposed face of parapet walls to be finished in 'Klodek' waterproofing system, external face of parapet to be waterproofed down by min. 150 mm, all straight and neat. Guarantee of 10 years required. Top of parapets to be sloped in towards roof.

**FLOOR CONSTRUCTION**  
**Ground Floor:** Floor finish on 40mm screed on 100mm Concrete surface bed on 25mm ISOBORD insulation on 375 Micron DPM on 50 sandbed on Well compacted clean fill. EXCEPT FOR GARAGE FLOOR  
**Exterior Floors:** Floor finish on 25-35mm screed to fall away from building towards drain. Provide min. 85mm step between interior and exterior floor levels to accommodate sloping screed.

**ROOF CONSTRUCTION**  
**Chromadek S-profile Roofshafts:** Colour: Light grey. Pitch as shown, fixed to 75 x 50 timber purlins at 900mm centres, all in accordance with manufacturer's specifications, on Prefabricated Trusses @ +/- 1000 c/c secured with Galvanized hoop iron to min. 3 courses of brickwork on 114x38 wallplate.  
**Insulation:** Underneath all purlins. Provide 'Sisalator' insulation and also above all rhinoboard ceilings provide 2 x layers of 50mm 'ISOTHERM' insulation neatly dressed in between roof trusses.  
**Concrete Roof:** 50 mm layer of 13mm stone on DERBIGUM TORCH-ON Waterproofing taken 150mm up side walls on sloped screed on 170mm Reinforced Concrete slab to Engineer's design resting on slippoint on external walls and loadbearing internal walls.

**CEILING CONSTRUCTION**  
 Smoothly skimmed concrete soffit or Rhinoboard nailed to 50x38 batens @ 450/c (to form squares) nailed to underside roof trusses. Provide 120mm poly/styrene cornice.  
**RAINWATER GOODS**  
 Seamless aluminium gutters (fixed to Nutec Fascias) and downpipes to discharge in rainwater catchpits piped with 100 dia PVC pipes to street. Provide sub-surface Agricultural drain around House - linked to Stormwater drainage  
**PLUMBING & DRAINAGE**  
**Regulations:** All plumbing and drainage to be carried out by licensed plumbers and drain layers in strict accordance with the regulations of the local authority. Contractor to check municipal approved drawings for specific conditions.  
**Water Supply:** to be high pressure PVC or Copper piping taken to boundary including a stopcock. A balanced water system to be controlled through a "Cobra Masterbox" unit. Positioned on external wall with easy access. Class 1 Copper tubing to be used for plumbing inside building.

**Hot Water Cylinders**  
**SOLAR HOT WATER SYSTEM** to be installed - NO WATER TANK VISIBLE ON ROOF Linked to electrical geyser.  
**ELECTRICAL**  
**Regulations:** All Electrical work to be carried out by licensed electrician in strict accordance with the regulations of the local authority. Contractor to check municipal approved drawings for specific conditions.

**WINDOWS**  
 Aluminium: All powder coated Sliding and casement opening sections, (colour Charcoal). See window Schedule.  
**DOORS**  
 Aluminium: All powder coated Sliding or hinged doors (colour Charcoal). See door Schedule.  
 Timber: (Interior) Semi-solid flush doors in Painted meranti frames with door linings. PAINT

**Note:** Ensure plaster is dry before any paintwork commences. Surfaces properly prepared and primed with approved undercoat and final coats applied to manufacturer's specification.  
 Exterior: PLASCON smooth (Acrylic/paint finish in Earthy tones as per (Architect's list of approved colours)  
 Interior: PLASCON smooth (Washable Acrylic/paint finish in Light tones.  
 Paving: Approved brick pavers to be laid on 50 Sandbed on well compacted base

**REVISIONS**

NO.	DATE	DESCRIPTION
1	2008	Issue for tender
2	2008	Issue for contract
3	2008	Issue for contract
4	2008	Issue for contract
5	2008	Issue for contract

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1	2008	Issue for tender
2	2008	Issue for contract
3	2008	Issue for contract
4	2008	Issue for contract
5	2008	Issue for contract

