



# STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/13705

Our File Reference Number: Erf 4045, Stellenbosch

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 – 808 8682

Email address: [Ulrich.Vonmolendorff@stellenbosch.gov.za](mailto:Ulrich.Vonmolendorff@stellenbosch.gov.za)

**PER E-MAIL:** [REDACTED]

Sir / Madam

## **APPLICATION FOR TECHNICAL APPROVAL AND PERMANENT DEPARTURE ON ERF 4045, STELLENBOSCH**

1. The above application refers.
2. The duly authorised decision maker hereby decides on the above application as follows.
3. That the application is in terms of Stellenbosch Municipal Land Use Planning By-Law, promulgated by notice number 354/2015, dated October 2015, on Erf 4045, Stellenbosch for the following;
  - 3.1 **Permission/ Technical Approval** in terms of Section 15 (2) (g) of the said by-law in order to accommodate a new second dwelling.
  - 3.2 **Permanent Departure** in terms of Section 15 (2) (b) of the said by-law, to relax street building line from 3m to 0m to allow for the proposed extensions (veranda & braai).

**BE APPROVED** in terms of Section 60 of the by law and subject to the following conditions in terms of Section 66 of the said Bylaw:

#### **4. Conditions of approval**

- 4.1 The approval applies only to the application under consideration as indicated on drawing No: KW-1287, drawn by K Browsers (Santiago Designs CC), dated 27 Jan 2021 and shall not be construed as authority to depart from any other legal prescriptions or requirements from Council.
- 4.2 The development shall be implemented substantially in accordance with the drawing No: KW-1287, drawn by K Browsers (Santiago Designs CC), dated 27 Jan 2021 attached as **Annexure C**.

- 4.3 The approval granted shall not exempt the applicant from complying with any other legal prescriptions or requirements that might have a bearing on the proposed use.
- 4.4 Building plans must be generally in accordance with the layout plans as referenced drawing No: KW-1287, drawn by K Browsers (Santiago Designs CC), dated 27 Jan 2021.
- 4.5 The conditions imposed by the Director: Engineering Services (Electrical) as contained in their memo dated 17 January 2023, attached as **Annexure F**, be complied with.

**5. The reasons for the above decision are as follows:**

- 5.1. The application will not negatively affect the residential aesthetic of the property or surrounding environment.

6. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.

7. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:

7.1. The personal particulars of the Appellant, including:

- i. First names and surname
- ii. ID number
- iii. Company of Legal person's name (if applicable)
- iv. Physical Address
- v. Contact details, including a Cell number and E-Mail address

7.2 Reference to this correspondence and the relevant property details on which the appeal is submitted.

7.3 The grounds of the appeal which may include the following grounds:

- i. that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000)
- ii. grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.

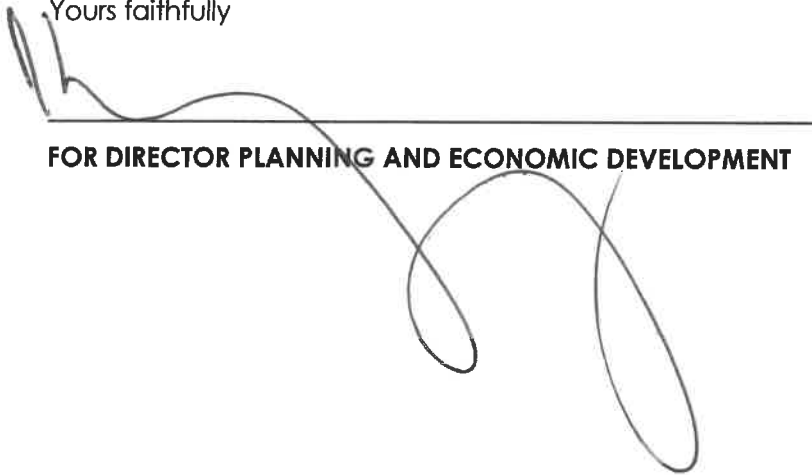
- 7.4 Whether the appeal is lodged against the whole decision or a part of the decision.
- 7.5 If the appeal is lodged against a part of the decision, a description of the part.
- 7.6 If the appeal is lodged against a condition of approval, a description of the condition.
- 7.7 The factual or legal findings that the appellant relies on.
- 7.8 The relief sought by the appellant.
- 7.9 Any issue that the appellant wishes the Appeal Authority to consider in making its decision.
- 7.10 That the appeal includes the following declaration by the Appellant:
- i. The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
  - ii. That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.
8. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of e-mail at the following address: [landuse.appeals@stellenbosch.gov.za](mailto:landuse.appeals@stellenbosch.gov.za).
9. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.
10. The approved tariff structure and the banking details for the General Account can be accessed and viewed on the municipal website. For any enquiries the office can be contacted at [landuse.appeals@stellenbosch.gov.za](mailto:landuse.appeals@stellenbosch.gov.za).
11. An applicant who lodges an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
- (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
  - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
  - (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.

(d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.

12. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

13. Kindly note the above decision in the case of any approval, is suspended, and may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully



A large, stylized handwritten signature in black ink, consisting of several loops and curves, positioned above a horizontal line.

**FOR DIRECTOR PLANNING AND ECONOMIC DEVELOPMENT**

1/3/2023  
DATE

## **ANNEXURE C: SITE DEVELOPMENT PLAN**

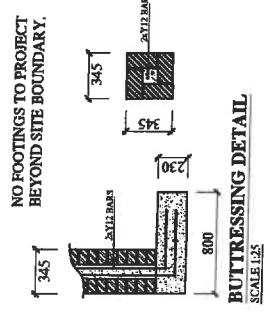
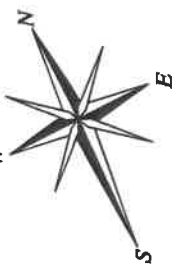
Proposed Alteration, Veranda  
Carport, Boundary Wall and  
Second Dwelling for.....  
Mrs Heather Carol Ruiters  
No 34 Adendorff Street  
Stellenbosch  
Erf 4045

AREA	317,00m <sup>2</sup>
EXIST HOUSE	48,00m <sup>2</sup>
Prop Alteration	8,00m <sup>2</sup>
Proposed Second Dwell	53,00m <sup>2</sup>
Proposed Carport	26,00m <sup>2</sup>
Proposed Verandah	34,00m <sup>2</sup>
TOTAL COV	169,00m <sup>2</sup>
Percentage Covered	53,31%

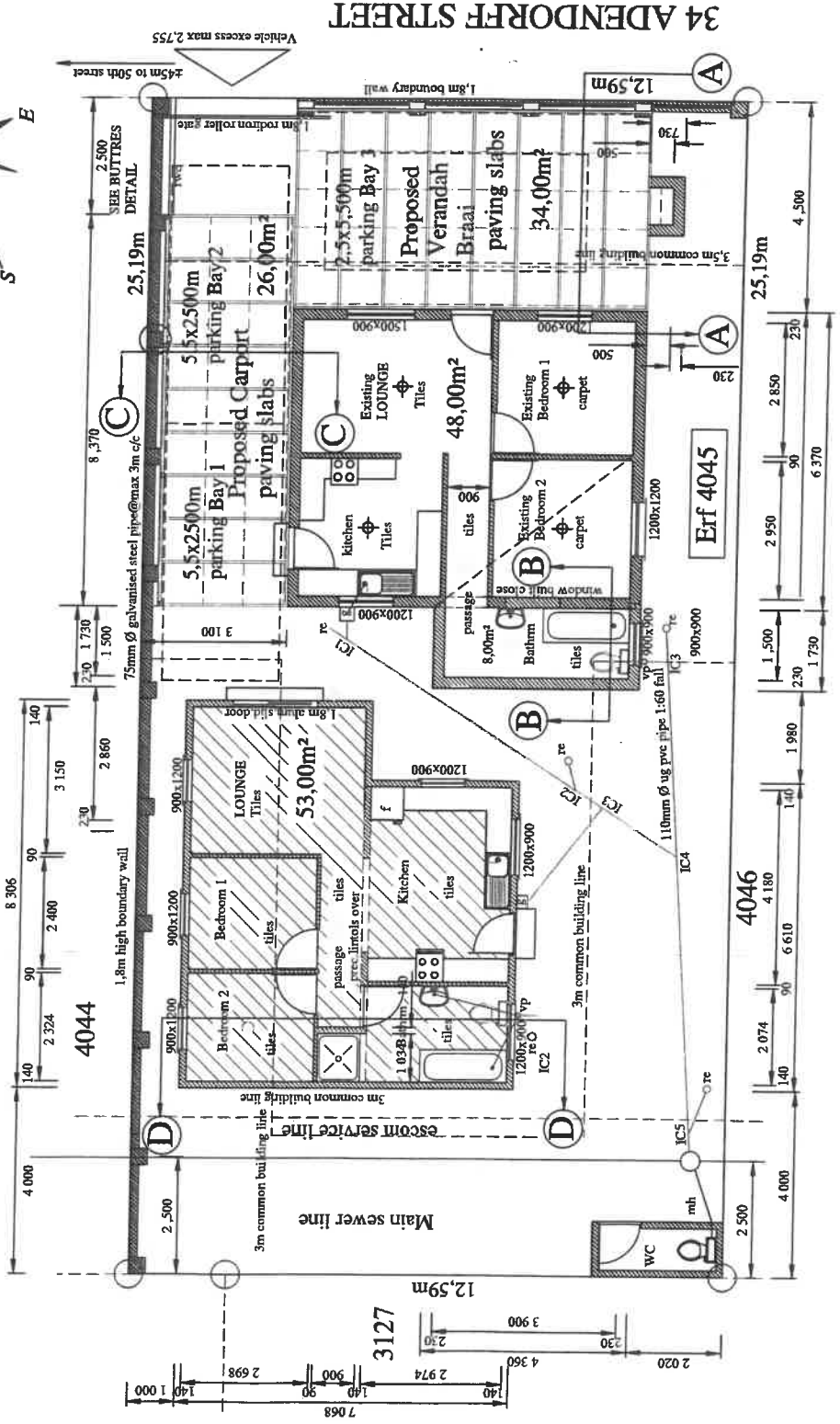
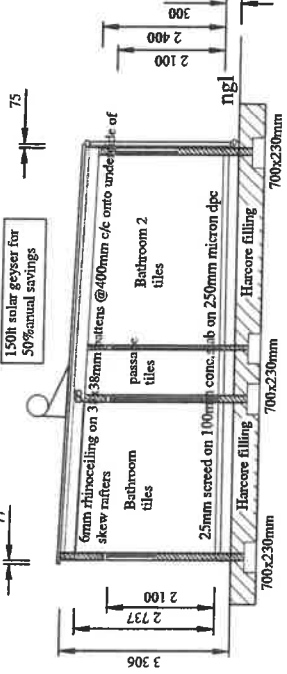
**SANTIAGO DESIGNS C.C.**  
D0409.....  
TEL/FAX: .....  
CELL: .....  
EMAIL: .....  
DRAWN BY: .....  
KW - 1287  
DATE STARTED: 27/01/2021  
DATE COMPLETED: 28 Jan 2021

CONTRACTOR TO CHECK ALL DIMENSIONS AND LEVELS BEFORE SETTING OUT ANY WORK.

FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALE DIMENSIONS



**ROOF CONSTRUCTION**  
FR. ROOF SHEETING @ 3° PITCH, ON 76x50mm FURLINS @ 800mm C/C, ON UNDERLAY SHEETING, ON 228x50mm RAFTERS @ 900mm MAX. C/C, ON 114x38mm WALLPLATE, TIED DOWN WITH 30x1,200mm GALVANISED HOOP-IRON STRAPS EMBEDDED 600mm INTO BRICKWORK.



GROUND FLOOR PLAN 1:100

3127

**Proposed Alteration, Veranda  
Carport, Boundary Wall and  
Second Dwelling for.....  
Mrs Heather Carol Ruiters  
No 34 Adendorff Street  
Stellenbosch  
Erf 4045**

(All walls to comply with sars 10400 part K)

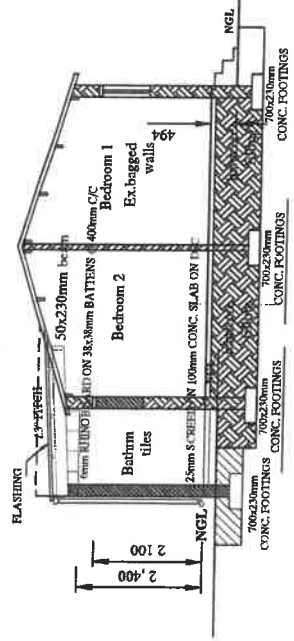
**SPECIFICATIONS**

- WALLS**  
230mm, 140mm, 90mm solid WALLS  
FLASTERED BOTH SIDES ON  
700x230mm CONCRETE FOOTINGS  
SLAB TO BE SOLD TO CONCRETE  
FOOTINGS. NO FOOTINGS TO PROJECT  
BEYOND SITE BOUNDARY.
- FLOORS**  
25mm SCREED ON 100mm CONCRETE  
SLAB, ON 250 MICKRON DFC, (SABS  
APPROVED), ON HARD COMPACTED  
HARDCORE FILLING RIVER SAND.
- CEILINGS**  
6mm RHINO CEILING BOARD ON  
38x38mm BATTENS @ 400mm MAX. C.C.  
ONTO UNDERSIDE OF RAFTERS WITH  
4" NAILS & COVERED CORNICE AROUND  
EDGES.
- FASCIAS**  
DURAPENTA PVC GUTTERS &  
DOWNPIPES WITH WATER-CHANNEL'S  
RUNNING TO THE STREET.

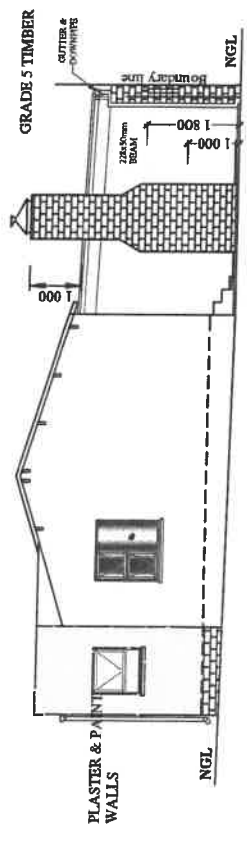
Brickforce every 3rd coarse

**SANTIAGO DESIGNS C.C.**  
K.W. BROWERS  
D0409  
TEL/FAX: [REDACTED]  
CELL: [REDACTED]  
EMAIL: [REDACTED]  
DRAWING NO: [REDACTED]  
K.W - 1287  
DATE STARTED: 27/01/2021  
DATE COMPLETED: 28 Jan 2021  
DRAWN BY: [REDACTED]

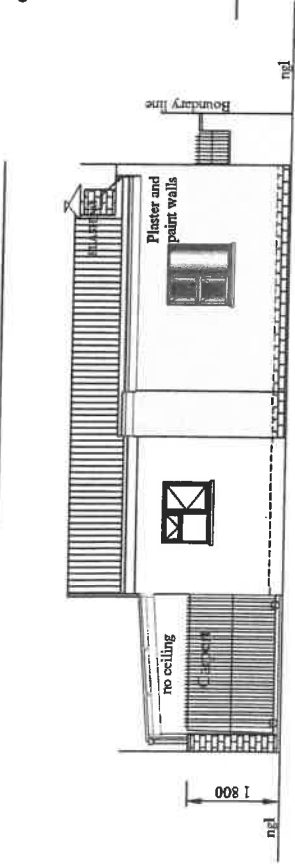
**ROOF CONSTRUCTION**  
IBR ROOF SHEETING @ 3° PITCH, ON 76x50mm PURLINS @ 800mm C.C.  
ON UNDERLAY SHEETING, ON 150x50mm RAFTERS @ 900mm MAX. C.C.  
ON 11.4x38mm WALL PLATE, TIED DOWN WITH 30x1,200mm GALVANISED  
HOOP-IRON STRAPS EMBEDDED 600mm INTO BRICKWORK.  
PARAPET WALL NOT TO EXCEED 500mm IN HEIGHT ABOVE ROOF



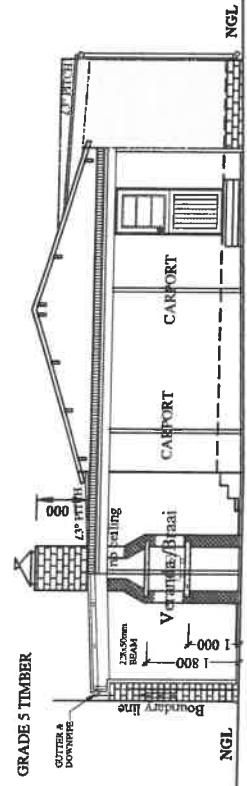
**SECTION B:B**



**SOUTH-EAST ELEVATION 1:100**

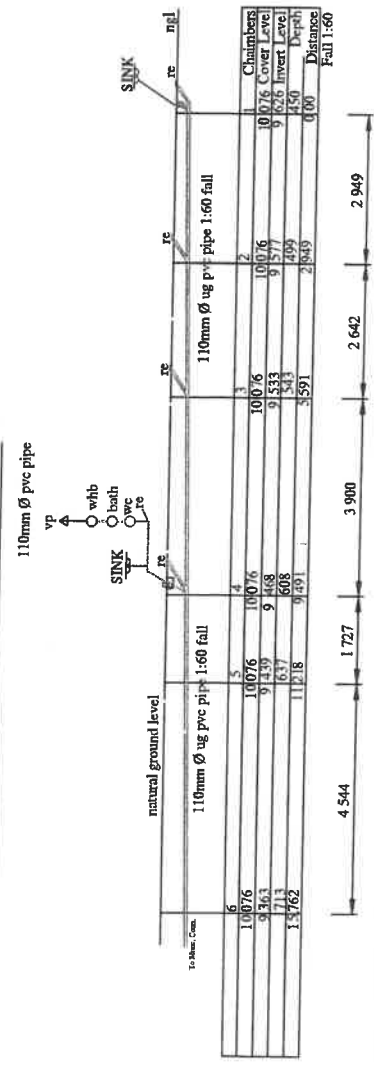


**SOUTH-WEST ELEVATION 1:100**



**NORTH-WEST ELEVATION 1:100**

**Demand management system-**  
-schedule of water efficient shower heads and taps to be used  
-Water efficient duel flush cistern to be used  
-E.G.-Dual flush cistern with a 3 ltr and 6 ltr flush  
Shower heads with maximum flow rate of 6 ltr /min  
Demand or metering taps at wash hand basin



**SECTION 1:100**

**Part P.4.22.5**  
A DRAIN SHALL HAVE A SOIL COVER OVER THE OUTSIDE OF THE DRAIN OF NOT LESS THAN 300MM, OR PRECAST OR CAST-IN-SITU CONCRETE SLABS PLACED OVER THE DRAIN ISOLATED FROM THE CROWN OF THE PIPE BY A SOIL CUSHION NOT LESS THAN 100MM THICK AND THE SLABS SHALL BE WIDE ENOUGH AND STRONG ENOUGH TO PREVENT EXCESSIVE SUPERIMPOSED LOADS BEING TRANSFERRED DIRECTLY INTO PIPES.

To/From	Chambers	Cover Level	Invert Level	Depth	Distance
6	3	10076	9450	626	11218
10076	4	10076	9450	626	11218
9450	5	10076	9450	626	11218
9450	6	10076	9450	626	11218
10544	7	10076	9450	626	11218
10544	8	10076	9450	626	11218
10544	9	10076	9450	626	11218
10544	10	10076	9450	626	11218

110mm Ø u-g pvc pipe 1:60 fall

110mm Ø pvc pipe

VP  
whb  
bath  
cwe

4 544 3 900 2 642 2 949 6 000

SECTION 1:100

*[Handwritten signature]*

Client's Name: MRS H RUITERS

Project Description: SECOND DWELLING

Site Address: 34 ADEENDORFF STREET

Cadastral Description: 4045 STELLENBOSCH

34 ADEENDORFF STREET

### Energy Efficiency in Buildings

#### Occupancy Classification of Building

Occupancy:  Design Occupancy Time:  Hrs per Day  
 Building Total Net Floor Area:  m<sup>2</sup>  
 Building Total Floor Area:  m<sup>2</sup>  
 Days per Week:

#### Climatic Zone of Building

Climatic Zone:

#### Building Orientation

Orientation of windows / longer building axis:

Dominant windows of habitable rooms or longer axis of the building to be orientated within 15 deg's of true north.

#### External Wall Construction

SANS 10400-XA Required R-value

Wall Type ?

Minimum R-value required:  Refer SANS 10400-XA (4.3) & SANS 204 - Table 4 and Advisory Note.

Compliant masonry walling:

SANS 204 Required CR-value

Minimum CR-value required:  Hours

Advisory Note - Applicable to masonry walls only in terms of SANS 204

Double brick wall type:

CR-value:

### Energy Efficiency in Buildings

#### Fenestration - Buildings with Natural Environmental Control

Constants

Conductance (C<sub>g</sub>) constant:

Max. Conductance / Solar Heat Gain

Ground Storey

Net Floor Area of Storey / Room: m<sup>2</sup>

Fenestration Area of Storey / Room: m<sup>2</sup>

% Fenestration Area to Net Floor Area: %

Permissible

Max. Conductance (C<sub>g</sub>) for Storey / Room:

Max. Solar Heat Gain (C<sub>shsec</sub>) for Storey / Room:

Solar Heat Gain (C<sub>shsec</sub>) constant:

#### Achieved Aggregate Conductance / Solar Heat Gain

Ground Storey

Conductance (C<sub>g</sub>) for Storey / Room:

Solar Heat Gain (C<sub>shsec</sub>) for Storey / Room:

Conductance / Solar Heat Gain Available

Conductance (C<sub>g</sub>) for Storey / Room:  Acceptable & refer SANS 204 (4.3.4)

Solar Heat Gain (C<sub>shsec</sub>) for Storey / Room:  Acceptable & refer SANS 204 (4.3.4)

#### Thermal Insulation

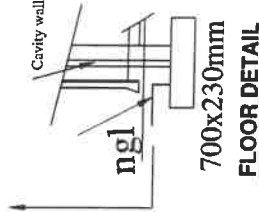
Minimum added R-Value of insulation required:  m<sup>2</sup>K/W

Generic insulation product added ?

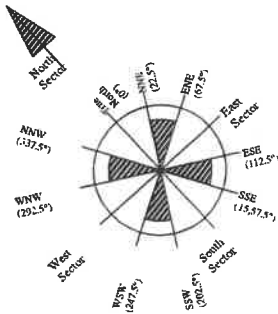
Density of generic insulation added:  kg/m<sup>3</sup>

Thickness of generic insulation required:  mm

Insulation 300mm wide round the perimeter of the house that resists water absorption and have a R-value of 1.



**Hotwater Services**  
 Hotwater Supply : A minimum of 50% of hotwater heating requirements shall be provided by means other than electrical resistance heating, i.e Solar or heatpump.  
 Greyzer:  
 Provide a 150lt Hotwater Cylinder fitted with a Insulation Blanket.  
 The Plumber & Electrician Shall comply with the energy Efficiency Specifications and shall on completion submit a Certificate of Compliance to the Architect!!!



### Energy Efficiency in Buildings

34 ADEENDORFF STREET

#### GLAZING ELEMENTS : FACTOR & CO-EFFICIENT SUMMARY

Storey Level	Glazing Elements		Sector		Shading		Solar Exposure		Energy Constants		Multipliers			
	Identifier No.	No. of Units	Area (m <sup>2</sup> )	Orientation	Projection (P)	Height (H)	Height (G)	PH	Factor (F)	C <sub>g</sub>	C <sub>s</sub>	C <sub>c</sub>	Hearing S <sub>h</sub>	Cooling S <sub>c</sub>
Ground Storey	ALUM 2	1,2 x 0,9	2,16	3,40	0,54	1,400	0,500	0,157	0,660	-0,82	0,80	0,11	0,985	0,975
Ground Storey	ALUM 1	1,2 x 0,9	1,08	3,40	0,54	1,400	0,500	0,157	0,830	-0,38	1,66	-0,01	0,985	0,975
Ground Storey	ALUM 1	1,8 x 2,1	3,78	3,40	0,54	2,600	0,500	0,038	1,080	-0,38	1,66	-0,01	1,000	1,000
Ground Storey	ALUM 3	0,9 x 1,2	3,24	3,40	0,54	2,700	0,500	0,129	1,040	-0,61	1,34	0,03	0,960	0,975
Ground Storey	ALUM 1	1,2 x 0,9	1,08	3,40	0,54	1,400	0,500	0,157	0,860	-0,80	0,66	0,13	0,985	0,975

Hot Water Services

(Use actual measured data where available.)

Type of Accommodation ?

Assumed Hot Water Consumption ?  L

No. of Persons:  Per Day

Assumed Daily Hot Water Consumption:  L

Assumed Annual Hot Water Consumption:  KL - Based on daily design occupancy per week

50 % of Annual Hot Water Consumption:  KL - Minimum volume of hot water to be provided by means other than electrical resistance heating

Daily Hot Water Consumption:  L - To be provided by means other than electrical resistance heating

#### Insulation Requirements

Internal diameter of Hot Water Service Pipe ?  mm

Minimum Required R-value for Pipe Insulation ?  Refer SANS 204 (4.5.2)

Hot Water Vessels / Tanks

Minimum Required R-value for Vessel / Tank ?  Additional insulation to manufacturer's insulation may be required to achieve this value.

#### Roof Assembly

SANS 10400-XA Required R-value

Minimum Total R-value required:  m<sup>2</sup>K/W

Construction Type R-value

Direction of heat flow:

Basic roof assembly:

R-value for roof covering material:  m<sup>2</sup>K/W

R-value for ceiling:  m<sup>2</sup>K/W

Required added R-value for insulation:  m<sup>2</sup>K/W

SANS 204 Required R-value

Construction Type R-value

Roof venting:

Basic roof construction ?



**ANNEXURE F: COMMENT FROM THE DIRECTOR: ENGINEERING SERVICES**



**STELLENBOSCH MUNICIPALITY**  
STELLENBOSCH·PNIEL·FRANSCHHOEK

# MEMORANDUM

**DIREKTEUR: INFRASTRUKTUURDIENSTE**  
**DIRECTORATE: INFRASTRUCTURE SERVICES**

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**To ▫ Aan:** Director: Planning + Economic Development  
**Att Aandag** Nolusindiso Momoti  
**From ▫ Van:** Technician: Development (Infrastructure Services)  
**Author ▫ Skrywer:** Ilze Fillies  
**Date ▫ Datum:** 17 January 2023  
**Our Ref ▫ Ons Verw:** Civil LU 2336  
**Your Ref:** LU/13705  
**Re ▫ Insake:** Erf 4045, Stellenbosch: An application is made in terms of Section 15 (2)(b) of the Stellenbosch Municipality Land Use Planning By-law, 2015 for Permanent Departure to relax the common building line from 3m to 0m to allow for the extensions on Erf 4045, Stellenbosch. Application is made in terms of Section 15 (2)(g) of the Land Use Planning By-law for Permission/Technical Approval in terms of Section 13 of the Stellenbosch Zoning By-Law to accommodate a Second Dwelling unit on Erf 4045, Stellenbosch.

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The application is recommended for approval, subject to the following:

1. **Civil Engineering Services**
  - 1.1 No objection, no municipal services are affected.
  
2. **General**
  - 2.1 This approval is based on the amended building plan KW-1287 Date <sup>27</sup>~~16~~ January 202<sup>1</sup>~~3~~.
  - 2.2 Refer to Annexure: **Building Plan**

**3. Electrical Engineering (Martin Slabber – Supt Dwarsrivier Elect)**

**3.1 Refer to Annexure: Electrical**



**Ilze Fillies**  
**TECHNICIAN: DEVELOPMENT (INFRASTRUCTURE SERVICES)**

N:\2.0 DEVELOPMENT\00 Developments\2336 (TK) Erf 4045 Stellenbosch (LU-13705)\2336 () Erf 4045 Stellenbosch (LU-13705).doc

**GENERAL COMMENT: ERF 4045**

. No Comment

All electrical work to comply to SANS 142 and Municipal By-Laws

**CONDITIONS:**

1. Electricity Supply to new Additional Dwelling should be fed from the main Distribution Board, which is situated outside the main building.
2. If the current electricity supply is not adequate, an application for an increase in electricity supply must be submitted to Stellenbosch Municipality: Electrical Engineering Services.
3.  
All new developments and upgrades of supplies to existing projects are subject to **SANS 10400-XA** energy savings and efficiency implementations such as:
  - Solar water Heating or Heat Pumps in Dwellings
  - Energy efficient lighting systems
  - Roof insulation with right R-value calculations .
  - In large building developments;
  - Control Air condition equipment tied to alternative efficiency systems
  - Preheat at least 50% of hotwater with alternative energy saving source
  - All hot water pipes to be clad with insulation with R-value of 1
4. -Provide a professional engineer's certificate to proof that energy saving measures is not feasible.
5. Appropriate caution shall be taken during construction, to prevent damage to existing electrical equipment in the vicinity. Should damage occur, the applicant will be liable for the cost involved repairing damages?



Date 22/7/2022