



# STELLENBOSCH

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MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/15502 (TP348/2023)

Our File Reference Number: Erf 385, Jamestown

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 – 808 8682

Email address: [Ulrich.Vonmolendorff@stellenbosch.gov.za](mailto:Ulrich.Vonmolendorff@stellenbosch.gov.za)

**PER E-MAIL:** [REDACTED]

Sir / Madam

## **APPLICATION FOR PERMISSION IN TERMS OF THE ZONING SCHEME FOR AN ADDITIONAL USE (TECHNICAL APPROVAL) ON ERF 385, JAMESTOWN**

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:
  - 2.1 That the application in terms of Section 15(2)(g) of the Stellenbosch Municipal Land Use Planning Bylaw 2015 for permission in terms of the zoning scheme to allow an additional use (technical approval) permitting a second dwelling unit on Erf 385, Jamestown;

**BE APPROVED** in terms of Section 60 of the said Bylaw.

- 2.2 The approval is subject to the following conditions imposed in terms of Section 66 of the said Bylaw:
  - 2.2.1 The approval only applies to the application under consideration, as indicated on the Site layout and notes plan referenced Project No. 22-221 Sheet No. 008, Floor plans and site data plan referenced Project No. 22-221 Sheet No. 001, Elevations and sections plans referenced Project No. 22-221 Sheet No. 002 & 004, Elevations plan referenced Project No. 22-221 Sheet No. 003, and Sections plans referenced Project No. 22-221 Sheet No. 005 & 006, drawn by Red Atlantic Architecture, dated 2023-03-08, attached as **Annexure B** and shall not be construed as authority to depart from any other legal prescriptions or requirements from Council or other legislation or By-laws or Regulations that may be applicable.
  - 2.2.2 The development must be undertaken generally in accordance with the Site layout and notes plan referenced Project No. 22-221 Sheet No. 008, Floor plans and site data plan referenced Project No. 22-221 Sheet No. 001, Elevations and sections plans referenced Project No. 22-221 Sheet No. 002 & 004, Elevations plan referenced Project No. 22-221

Sheet No. 003, and Sections plans referenced Project No. 22-221 Sheet No. 005 & 006, drawn by Red Atlantic Architecture, dated 2023-03-08, attached as **Annexure B**.

- 2.2.3 The approval granted shall not exempt the applicant from complying with any other legal prescriptions or requirements that might have a bearing on the use.
- 2.2.4 Building plans must be generally in accordance with the Site layout and notes plan referenced Project No. 22-221 Sheet No. 008, Floor plans and site data plan referenced Project No. 22-221 Sheet No. 001, Elevations and sections plans referenced Project No. 22-221 Sheet No. 002 & 004, Elevations plan referenced Project No. 22-221 Sheet No. 003, and Sections plans referenced Project No. 22-221 Sheet No. 005 & 006, drawn by Red Atlantic Architecture, dated 2023-03-08, attached as **Annexure B**.
- 2.2.5 Building plans must be submitted for all work and which building plan(s) must be approved and related occupancy certificates be issued prior to the vesting of any of the related approvals
- 2.2.6 The conditions imposed by the Director: Infrastructure Services as contained in their memo dated 21 July 2023, attached as **Annexure D**, must be complied with.

2.3 The reasons for the above decision are as follows:

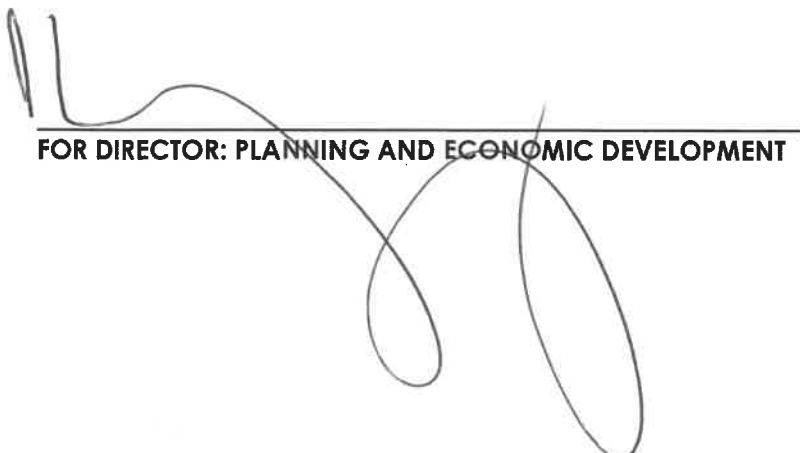
- 2.3.1 The proposal promotes context sensitive and appropriate densification as encouraged by the MSDF.
- 2.3.2 The placement of the proposed main dwelling house and second dwelling unit will adhere to the zoning parameters applicable to the subject property and the design will be sensitive to its surrounding area.

3. Matters to note:

- 3.1 The property is located outside the Stellenbosch Municipality area of supply. All electrical requirements should be directed to ESKOM.

4. You may now act on the above decision subject to compliance with the conditions of approval.

Yours faithfully



FOR DIRECTOR: PLANNING AND ECONOMIC DEVELOPMENT

11/9/2023  
DATE:



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# **ANNEXURE B**

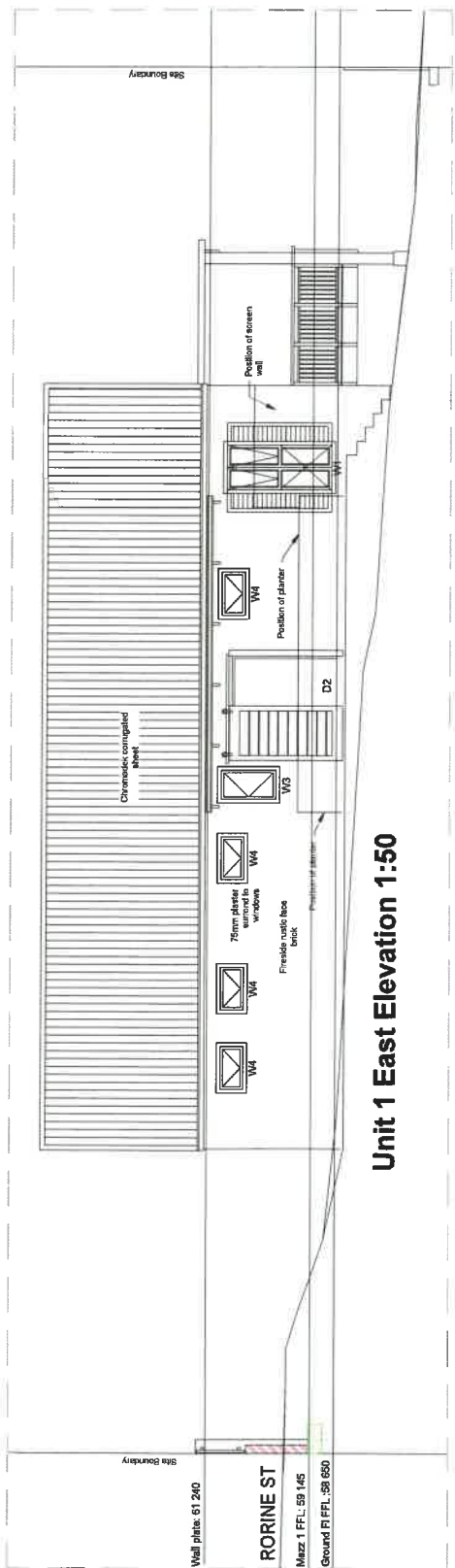
SITE PLANS



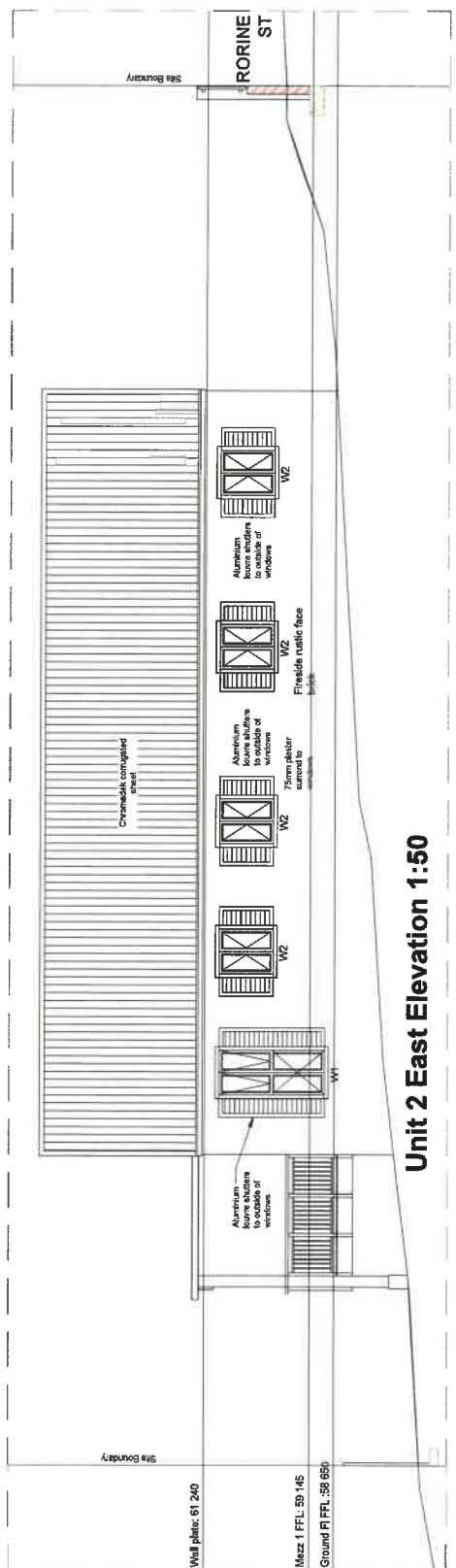




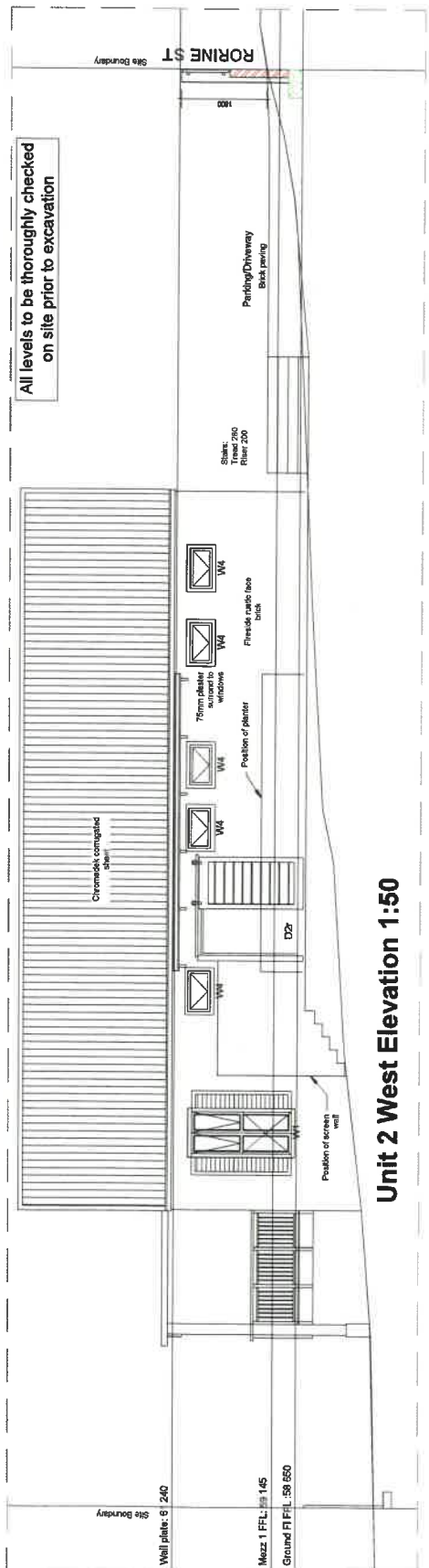
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Unit 1 East Elevation 1:50



Unit 2 East Elevation 1:50



Unit 2 West Elevation 1:50

HOA Approval Stamps

Municipal Approval Stamps

Owner Signature

Project Signature

Project Date

Project Name

Project Address

Project City

Project State

Project Zip

Project Phone

Project Email

DATE: 25-2-21

SCALE: 1:50

PROJECT: House Nel

DESIGNED BY: ERREBS - Jansdown Stellenbosch

DRAWN BY: [Redacted]

PROJECT DESCRIPTION: New Dwelling and Boundary wall

ELEVATIONS

Sheet No.	003	Rev.	01	Project Status	Final
Project Date	2022-02-19	Designed by	ERREBS	Scale	as indicated
Issue Date	2022-02-19	Drawn by	[Redacted]	Page Size	A1







All levels to be thoroughly checked on site prior to excavation

Suspended ceiling on 38 x 38 bracing at max 600mm c/c on 114 x 38 SAP framing. Polyethylene cornice.

250mm cavity walls: 60k internal FFL: 59 145. Cavities to be bricked clear and slabbing walls drained. Precast trade and waterproof at each opening. Gables with brick and bricks reinforced as required.

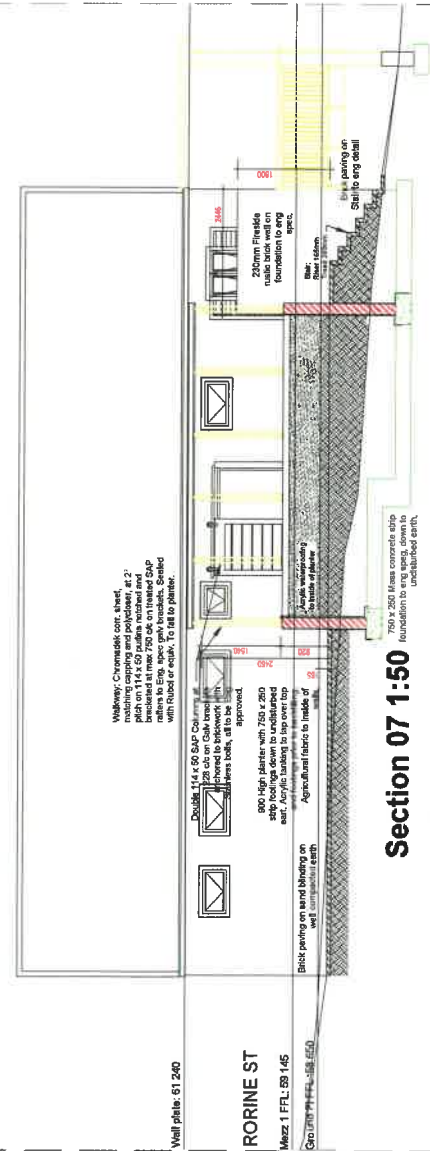
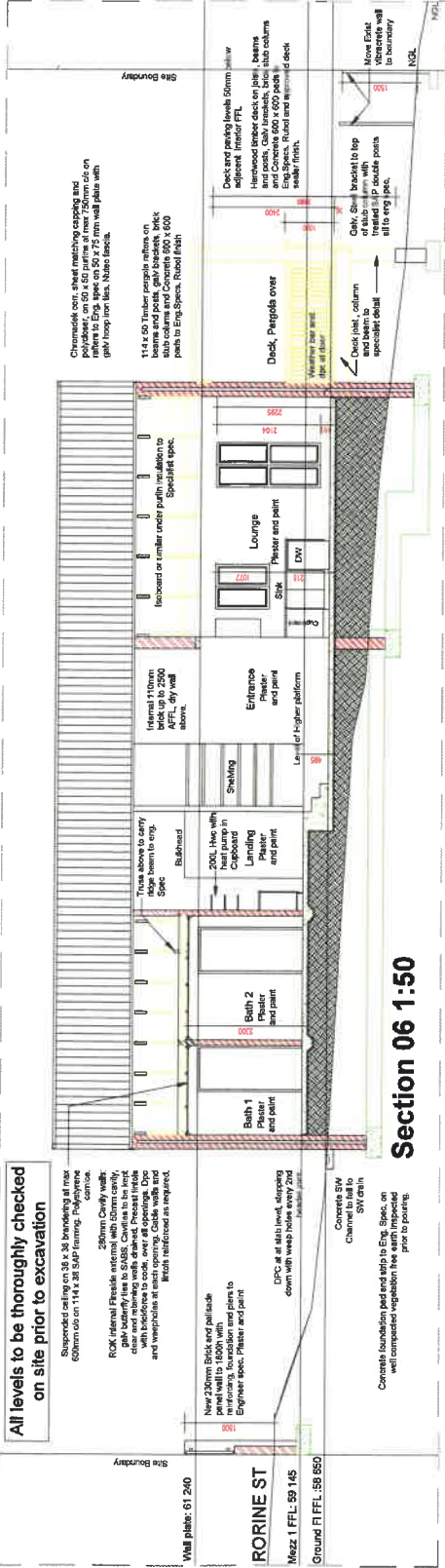
New 250mm brick and cellular pored wall to 8000 with reinforcing, foundation and plans to Engineer spec. Plaster and paint

DPC at all slab level, sloping down with weeps holes every 2nd vertical joint.

Concrete SW Channel to fall to SW drain

Concrete foundation pad and steps to Eng. Spec. on well compacted vegetation free site prior to pouring.

### Section 06 1:50



HOA Approval Stamps

Municipal Approval Stamps

Owner Signature \_\_\_\_\_ Date \_\_\_\_\_

Author Signature \_\_\_\_\_ Date \_\_\_\_\_

SACAP Ref No: \_\_\_\_\_

14 - Dwelling House

RE ATLANTIC ARCHITECTURE

House No: \_\_\_\_\_

Property description: Er RES36, Jamestown Stellenbosch

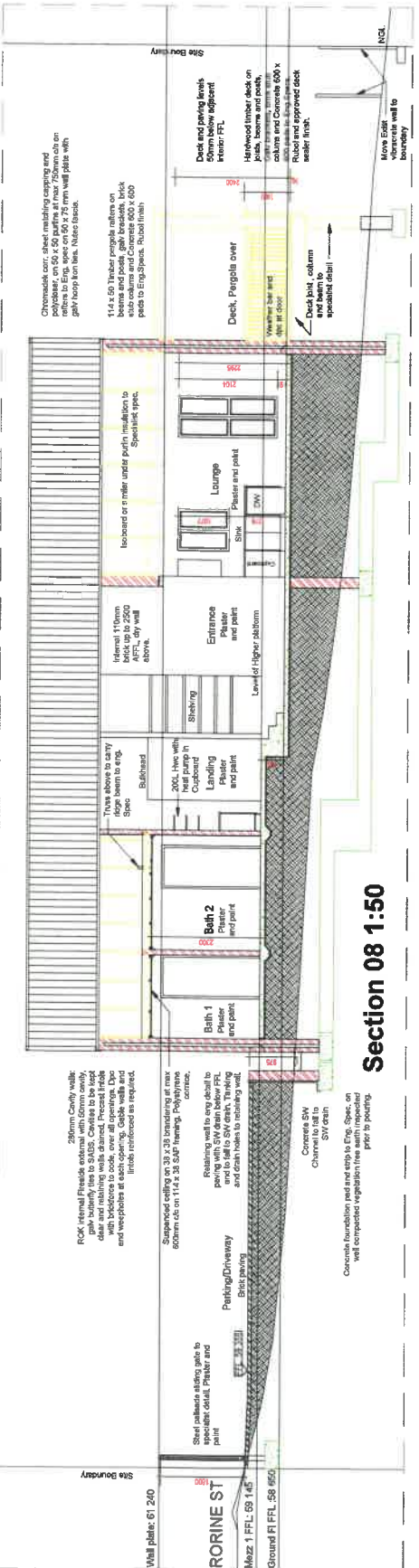
Project description: New Dwelling and Boundary wall

Sheet description: Sections

Project Ref	Scale
2022-05-19	As indicated

Project Date	Designed by	Scale
2022-05-19	Er RES36, Jamestown Stellenbosch	As indicated

Issue Date	Drawn by	Page Size
2022-05-19	Er RES36, Jamestown Stellenbosch	A1



HOA Approval Stamps

Municipal Approval Stamps

Owner Signature \_\_\_\_\_ Date \_\_\_\_\_

Author Signature \_\_\_\_\_ Date \_\_\_\_\_

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## **ANNEXURE D**

COMMENTS FROM INTERNAL DEPARTMENTS



STELLENBOSCH MUNICIPALITY  
STELLENBOSCH·PNIEL·FRANSCHHOEK

MEMORANDUM

DIREKTORAAT: INFRASTRUKTUURDIENSTE  
DIRECTORATE: INFRASTRUCTURE SERVICES

CIVIL ENGINEERING SERVICES JT 385

FILE NO:	OFFICE POST
SCAN NR:	
DATE:	753586

To ▫ Aan: Director: Planning + Economic Development  
 Att Aandag: Salome Newman  
 From ▫ Van: Principal Technician  
 Author ▫ Skrywer: Kurt Titus  
 Date ▫ Datum: 21 July 2023  
 Our Ref ▫ Ons Verw: Civil LU 2520  
 Town Planning Ref: LU/15502  
 Re ▫ Insake: Erf 385, Jamestown:

STELLENBOSCH MUNICIPALITY  
 Development (Infrastructure Services)  
 PLANNING AND DEVELOPMENT SERVICES  
 26 JUL 2023  
**RECEIVED**

Application is made in terms of Section 15(2)(g) of the Stellenbosch Municipal Land Use Planning Bylaw, promulgated by notice number 354/2015, dated 20 October 2015, for additional use (technical approval) to permit a second dwelling unit on Erf 385, Jamestown.

The application is recommended for approval, subject to the following conditions:

- 1.1 The existing water connection must be utilized for both dwellings: no upgrade in the size of the connection or additional connections will be allowed.
- 1.2 The existing sewer connection must be utilized for both dwellings: no upgrade in the size of the connection or additional connections will be allowed.
- 1.3 No private sewer pipes may cross an internal erf boundary.
- 1.4 It will be the responsibility of the applicant to verify the existence of any municipal – and or private services on site – the municipality will not be held liable for any damage to such services, it will be for the applicant's account.
- 1.5 All connection designs are to be in line with the latest version of the Stellenbosch Municipality Design Guidelines and Minimum Standards for Civil Engineering

- 1.6 The Developer will be held liable for any damage to municipal infrastructure, caused as a direct result of the development of the subject property. The Developer will therefore be required to carry out the necessary rehabilitation work, at his/her cost, to the standards of the Directorate: Infrastructure Services, prior to any occupation certificate being given.

*K Titus*

**Kurt Titus: Principal Technician: Development (Infrastructure Services)**

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*Jonathan*

Jamestown 385(LU-15502)

**GENERAL COMMENT:**

1. Outside Stellenbosch area of supply.
2. All Electrical requirements should be directed to ESKOM

**CONDITIONS**

3. No conditions.



SIGNATURE

DATE 12/6/2023