



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/13656

Our File Reference Number: Erf 372, Jamestown

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 – 808 8682

Email address: Ulrich.Vonmolendorff@stellenbosch.gov.za

PER E-MAIL: [REDACTED]

Sir / Madam

APPLICATION FOR SUBDIVISION: ERF 372, JAMESTOWN

1. The above application refers.

2. The duly authorised decision maker has decided on the above application as follows:

2.1 That the application in terms of Stellenbosch Municipal Land Use Planning By-Law, promulgated by notice number 354/2015, dated October 2015, on Erf 372, Jamestown, namely:

2.1.1 **Subdivision** in terms of the said By-law, into four portions as follows;

- i. Portion A (225 m² in extent)
- ii. Portion B (192 m² in extent)
- iii. Portion C (184 m² in extent)
- iv. Portion D (344 m² in extent)

BE APPROVED in terms of Section 60 of the said bylaw, subject to conditions in terms of Section 66 of the said Bylaw.

2.2 Conditions of Approval:

- a. The approval applies only to the proposed subdivision under consideration as indicated on Subdivisional Plan, drawn by AHG Town and Regional Planners, dated 30 September 2021 and street numbering plan (See **Annexure C**); and shall not be construed as authority to depart from any other legal prescriptions or requirements from Council.
- b. The development must be undertaken in accordance with the Subdivisional Plan, drawn by AHG Town and Regional Planners, dated 30 September 2021 and street numbering plan, attached as **Annexure C**.

- c. The approval granted shall not exempt the applicant from complying with any other legal prescriptions or requirements that might have a bearing on the proposed use.
- d. The Surveyor General approved diagrams of the newly created units must be submitted to this Local Authority (Stellenbosch Municipality) for clearance and record purposes.
- e. Development contributions are payable in accordance with the prevailing and applicable Council Tariffs at the time of payment prior to the transfer of the first property or submission of any building plans, whichever occurs first, or as may be agreed on in writing with the Director Infrastructure Services.
- f. Should the full extent of permissible development rights, as approved herein-above, not be implemented initially or development is phased, a pro rata Development Charges will be levied in accordance with the extent to which the development rights will be implemented, provided that the remaining development contributions will be levied for the remaining permissible development rights when implemented in future. Remaining Development Charges will be levied in accordance with the prevailing and applicable Council Tariffs at the time of payment prior to the transfer of the first property or submission of any building plans, whichever occurs first, or as may be agreed on in writing with the Director Infrastructure Services.
- g. Each Erf must have its own water and sewer connection, generally in accordance with the conceptual layout 1167/11B by Bart Senekal. This will be for the developers cost. Detail engineering drawings must be submitted for formal approval prior to construction as per memo dated 17/02/2022 attached as **Annexure G**.

2.3 The reasons for the above decision are as follows:

- i. The proposed subdivision size is not out of character with the current surrounding properties sizes, therefore will not compromise the existing character of the surrounding landscape.
- ii. Sufficient services and safe access could be provided to the proposed subdivided units.

2.4 Matters to be noted:

- a. Building plans be approved by the Municipality prior to any building work commencing.
- b. All electrical requirements be directed to Eskom.
- c. The decision maker is delegated to simultaneously approve new street numbering together with a subdivisional plan as requested in the street naming and numbering policy. No separate delegation is required to approve new street numbering together with a subdivision application.

- d. It is the responsibility of the applicant to inform external departments of the new street numbering such as the Surveyor-General, Telkom, Post Office, the South African Police Service, Emergency Services, National Place Names Committee and map producers, etc. after the registration of the properties.
3. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.
4. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:
 - (a) The personal particulars of the Appellant, including:
 - (I) First names and surname;
 - (II) ID number;
 - (III) Company of Legal person's name (if applicable)
 - (IV) Physical Address;
 - (V) Contact details, including a Cell number and E-Mail address;
 - (b) Reference to this correspondence and the relevant property details on which the appeal is submitted.
 - (c) The grounds of the appeal which may include the following grounds:
 - (i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);
 - (ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.
 - (d) whether the appeal is lodged against the whole decision or a part of the decision;
 - (e) if the appeal is lodged against a part of the decision, a description of the part;
 - (f) if the appeal is lodged against a condition of approval, a description of the condition;
 - (g) the factual or legal findings that the appellant relies on;

- (h) the relief sought by the appellant; and
 - (i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;
 - (j) That the appeal includes the following declaration by the Appellant:
 - (i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
 - (ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.
5. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address: landuse.appeals@stellenbosch.gov.za
6. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.
7. The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking details for the General Account can also be accessed on the municipal website (<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).
8. An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
- (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
 - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.

- (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
- (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.
9. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.
10. Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

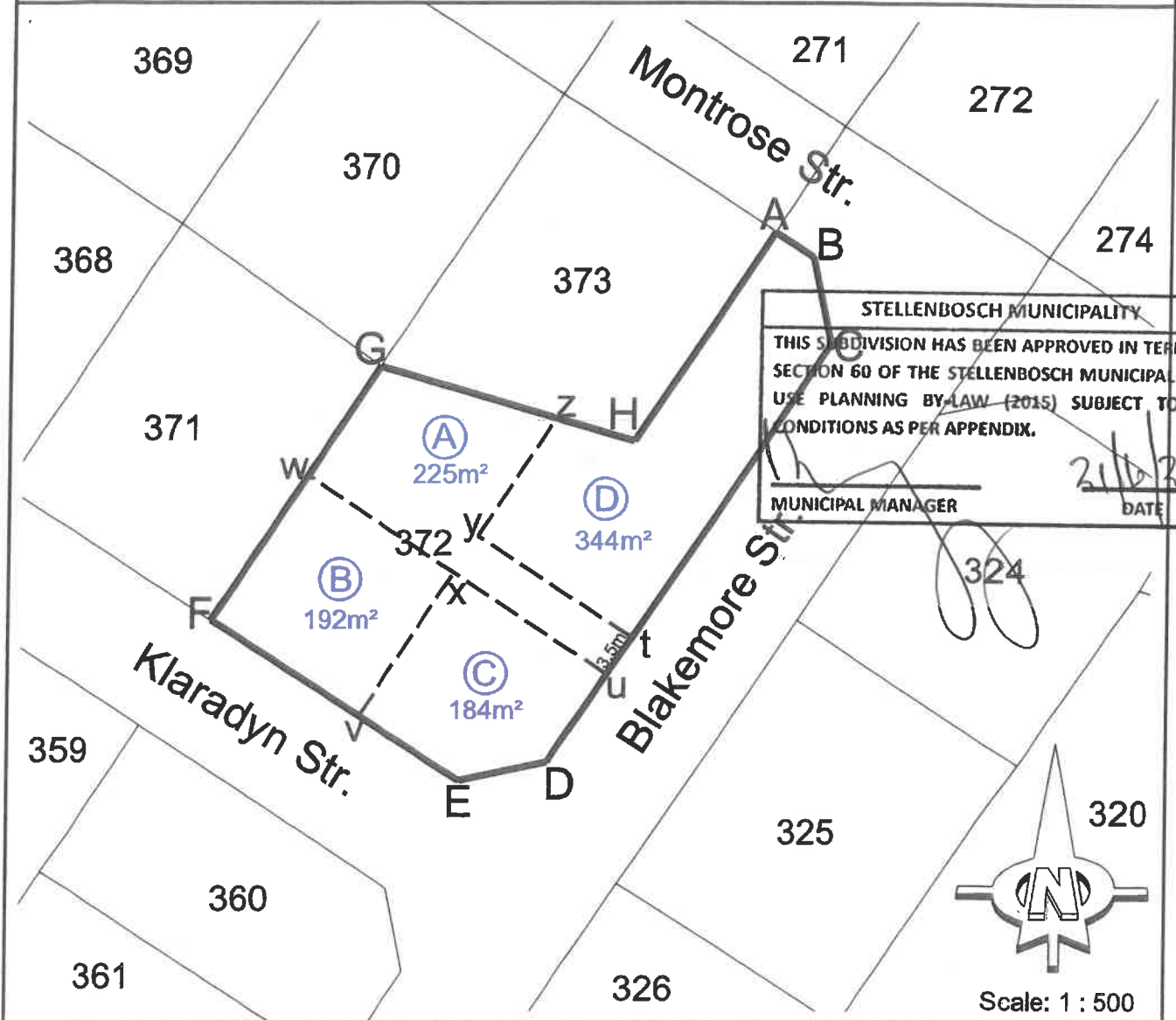
Yours faithfully


FOR DIRECTOR PLANNING AND ECONOMIC DEVELOPMENT

DATE: 21/6/2022

ANNEXURE C: PROPOSED SUBDIVISIONAL PLAN + STREET NUMBERING PLAN

SUBDIVISION



STELLENBOSCH MUNICIPALITY

THIS SUBDIVISION HAS BEEN APPROVED IN TERMS OF SECTION 60 OF THE STELLENBOSCH MUNICIPAL LAND USE PLANNING BY-LAW (2015) SUBJECT TO THE CONDITIONS AS PER APPENDIX.

MUNICIPAL MANAGER _____ DATE 21/10/2022

Notes:

1. The figure ABCDEFGHA represents Erf 372, Jamestown, measuring 947 m² in extent
2. Proposed subdivision Erf 372:
 - 2.1 The figure GzytuwG represent the proposed portion A measuring 225 m² in extent.
 - 2.2 The figure wxvFw represent the proposed portion B measuring 192 m² in extent.
 - 2.3 The figure xuDEvX represent the proposed portion C measuring 184 m² in extent.
 - 2.4 The figure ABCtyzHA represent the proposed portion D (Remainder) measuring 344 m² in extent.
3. All sizes and dimensions are approximate and subject to final survey

Project:

PROPOSED SUBDIVISION
Erf 372 Jamestown

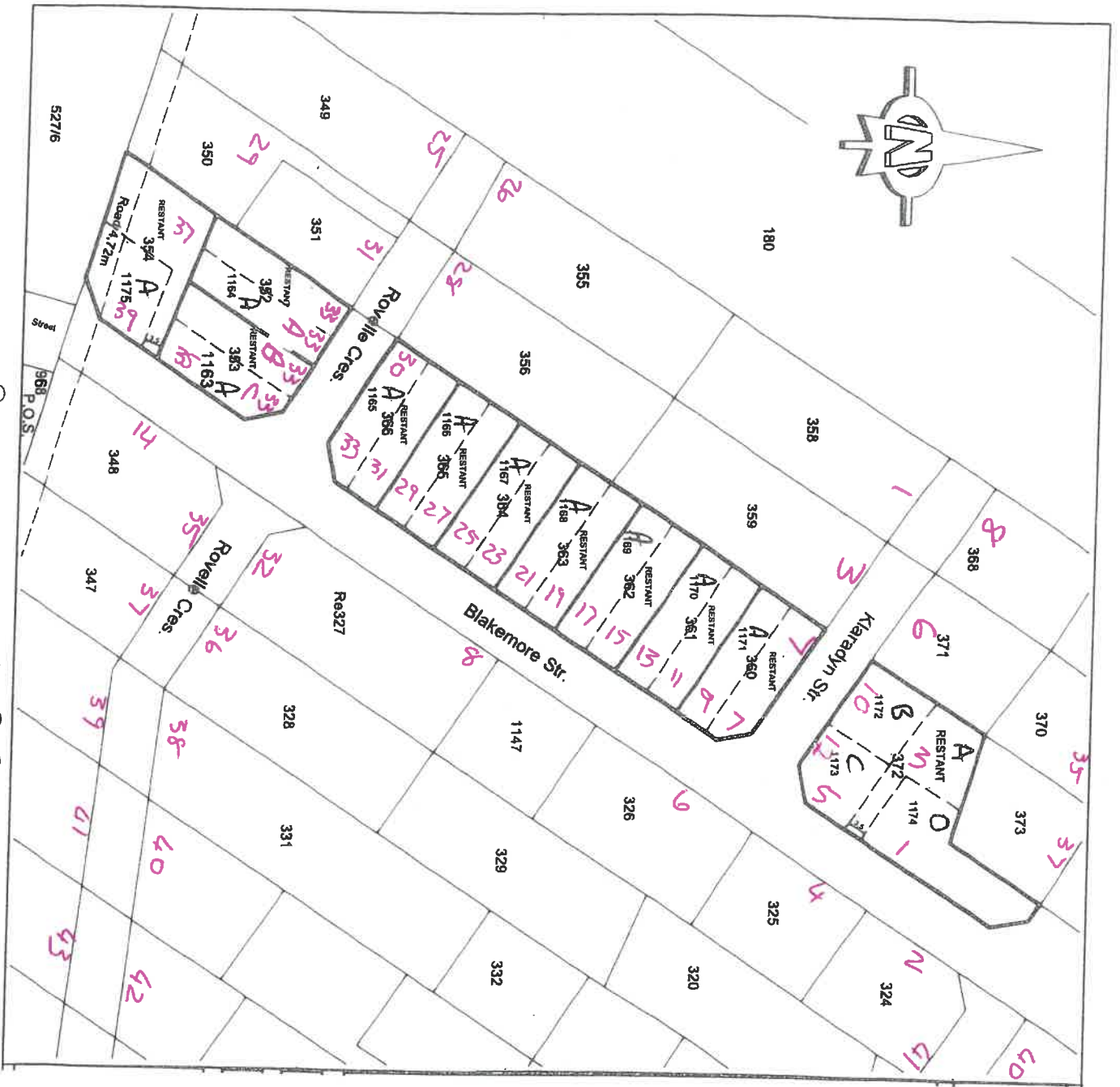
Date: 30 Sept. 2021 Ref:

ahG Town Planning
 Town and Regional Planners

PO Box 2992
 Somerset West
 7129
 E-Mail: _____

TEL: _____
 FAX: _____
 CELL: _____

STREET NUMBERING PLAN



STELLENBOSCH MUNICIPALITY

THIS SUBDIVISION HAS BEEN APPROVED IN TERMS OF SECTION 60 OF THE STELLENBOSCH MUNICIPAL LAND USE PLANNING BY-LAW (2015) SUBJECT TO THE CONDITIONS AS PER APPENDIX.

MUNICIPAL MANAGER

21/6/2022
DATE

ANNEXURE G: COMMENT FROM THE DIRECTOR: ENGINEERING SERVICES



STELLENBOSCH MUNICIPALITY
STELLENBOSCH·PNIEL·FRANSCHHOEK

MEMORANDUM

DIREKTEUR: INFRASTRUKTUURDIENSTE
DIRECTORATE: INFRASTRUCTURE SERVICES

To ▫ Aan: Director: Planning + Economic Development
Att Aandag Nolusindiso Momoti
From ▫ Van: Manager: Development (Infrastructure Services)
Author ▫ Skrywer: Tyrone King
Date ▫ Datum: 17 Feb 2022
Our Ref ▫ Ons Verw: Civil LU 2265
Your Ref: LU/13656
Re ▫ Insake: Erf 372, Jamestown: Subidvision – 4 erven

FILE NR:

SCAN NR:

LABORATOR NR:

E372 JT

728545

STELLENBOSCH MUNICIPALITY
PLANNING AND DEVELOPMENT SERVICES

20 APR 2022

RECEIVED

The application is recommended for approval, subject to the following:

1. Civil Engineering Services

1.1 Each erf must have its own water and sewer connection, generally in accordance with the conceptual layout 1167/11B by Bart Senekal. This will be for the developers cost. Detail engineering drawings must be submitted for formal approval prior to construction.

2. Development Charges (DCs)

- 2.1 The following DC's are payable: See Development Charge Calculation attached.
- 2.2 The DC's were calculated by using the 2021/2022 tariff structure. If DC's are paid after 30 June 2022 it will have to be recalculated by using the tariff structure applicable at date of payment.
- 2.3 The appropriate DC's are payable before a Section 28 Clearance certificate can be issued.
- 2.4 The appropriate DC's are payable before building plan approval (consent use/sectional title).

3. Electrical Engineering

3.1 Refer to Annexure: Electrical



**Tyrone King Pr Tech Eng
MANAGER: DEVELOPMENT (INFRASTRUCTURE SERVICES)**

W:\2.0 DEVELOPMENT\00 Developments\2265 (TK) Erf 372 Jamestown (LU-13656)\2265 (TK) Erf 372 Jamestown (LU-13656).doc

Stellenbosch Municipality - Development Charge Calculation



APPLICATION INFORMATION

Application Number	2265 () Erf 372 Jamestown (LU-13656)
Date	Thursday, 05/May/2022
Financial Year	2021/22
Erf Location	Stellenbosch Town
Erf No	
Erf Size (m ²)	
Suburb	
Applicant	
Approved Building Plan No.	Subdivision plan dated 30 Sept 2021 by AhG

SUMMARY OF DC CALCULATION

	Water	Sewer	Storm-water	Solid-Waste	Roads	Community Facilities	Totals
Unit(s)	kl/day	kl/day	ha°C	t/week	trips/day	person	
Total Increased Services Usage	1.700	1.450	0.049	0.120	12.00	12.0	
Total Development Charges before Deductions	R 46 144.45	R 37 748.45	R 5 008.54	R 6 374.95	R 78 488.86	R 40 254.49	R 214 019.74
Total Deductions							
Total Payable (excluding VAT)	R 46 144.45	R 37 748.45	R 5 008.54	R 6 374.95	R 78 488.86	R 40 254.49	R 214 019.74
VAT	R 6 921.67	R 5 662.27	R 751.28	R 956.24	R 11 773.33	R 6 038.17	R 32 102.96
Total Payable (including VAT)	R 53 066.12	R 43 410.72	R 5 759.82	R 7 331.19	R 90 262.19	R 46 292.66	R 246 122.71

APPLICANT INFORMATION

Application Processed by:	Tyrone King
Signature	
Date	As above
Amount Paid:	
Date Payment Received	
Receipt Number	

Stellenbosch Town

Land Use Category	Unit Type	Existing Usage				Proposed New Usage			Increased Usage	Development Charge levied (incl VAT)						Total
		du	area (m2)	m ² GLA	% GLA	du	du/ha	du		Water	Sewer	Storm-water	Solid-Waste	Roads	Community Facilities	
Infrastructure Type applicable? (yes/no)										Yes	Yes	Yes	Yes	Yes	Yes	
	m ² GLA	area (m2)	m ² GLA	% GLA	area (m2)	m ² GLA	% GLA	du	Water	Sewer	Storm-water	Solid-Waste	Roads	Community Facilities		
Residential	Single Residential >100m2	du		0		0	0	0	R -	R -	R -	R -	R -	R -	R -	
	Single Residential >500m2	du		0		0	0	-1	R -21 715.04	R -16 921.72	R -2 862.02	R -2 124.98	R -26 162.95	R -13 418.16	R -83 204.88	
	Single Residential >250m2	du		0		1	0	1	R 19 000.66	R 15 620.05	R 2 350.95	R 2 124.98	R 26 162.95	R 13 418.16	R 78 677.75	
	Single Residential <250m2	du		0		3	0	3	R 48 858.83	R 39 050.12	R 5 519.61	R 6 374.95	R 78 488.86	R 40 254.49	R 218 546.87	
	Less Formal Residential >250m2	du		0		0	0	0	R -	R -	R -	R -	R -	R -	R -	
	Less Formal Residential <250m2	du		0		0	0	0	R -	R -	R -	R -	R -	R -	R -	
	Group Residential >250m2	du		0		0	0	0	R -	R -	R -	R -	R -	R -	R -	
	Group Residential <250m2	du		0		0	0	0	R -	R -	R -	R -	R -	R -	R -	
	Medium Density Residential >250m2	du		0		0	0	0	R -	R -	R -	R -	R -	R -	R -	
	Medium Density Residential <250m2	du		0		0	0	0	R -	R -	R -	R -	R -	R -	R -	
High Density Residential - flats	du		0		0	0	0	R -	R -	R -	R -	R -	R -	R -		
High Density Residential - student rooms	du		0		0	0	0	R -	R -	R -	R -	R -	R -	R -		
Commercial	Local Business - office	m ² GLA		0%		0%	0	0	R -	R -	R -	R -	R -	R -	R -	
	Local Business - retail	m ² GLA		0%		0%	0	0	R -	R -	R -	R -	R -	R -	R -	
	General Business - office	m ² GLA		0%		0%	0	0	R -	R -	R -	R -	R -	R -	R -	
	General Business - retail	m ² GLA		0%		0%	0	0	R -	R -	R -	R -	R -	R -	R -	
	Community	m ² GLA		0%		0%	0	0	R -	R -	R -	R -	R -	R -	R -	
Industrial	Education	m ² GLA		0%		0%	0	0	R -	R -	R -	R -	R -	R -	R -	
	Light Industrial	m ² GLA		0%		0%	0	0	R -	R -	R -	R -	R -	R -	R -	
	General Industrial - light	m ² GLA		0%		0%	0	0	R -	R -	R -	R -	R -	R -	R -	
	Warehousing	m ² GLA		0%		0%	0	0	R -	R -	R -	R -	R -	R -	R -	
	General Industrial - heavy	m ² GLA		0%		0%	0	0	R -	R -	R -	R -	R -	R -	R -	
Other	Noxious Industrial - heavy	m ² GLA		0%		0%	0	0	R -	R -	R -	R -	R -	R -	R -	
	Resort	m ² GLA		0%		0%	0	0	R -	R -	R -	R -	R -	R -	R -	
	Public Open Space	m ²				0%	0	0	R -	R -	R -	R -	R -	R -	R -	
	Private Open Space	m ²				0%	0	0	R -	R -	R -	R -	R -	R -	R -	
	Natural Environment	m ²				0%	0	0	R -	R -	R -	R -	R -	R -	R -	
	Utility Services	m ² GLA		0%		0%	0	0	R -	R -	R -	R -	R -	R -	R -	
	Public Roads and Parking	m ²				0%	0	0	R -	R -	R -	R -	R -	R -	R -	
Special	Transport Facility	m ²				0%	0	0	R -	R -	R -	R -	R -	R -	R -	
	Limited Use	m ²				0%	0	0	R -	R -	R -	R -	R -	R -	R -	
To be calculated based on equivalent demands																

* Complete yellow/green cells.

** du = dwelling unit, GLA=Gross lettable area.

*** displays red if not equal to existing area

Total Development Charges before Deductions	R46 144.45	R37 748.45	R5 008.54	R6 374.95	R78 488.86	40 254.49	R214 019.74
% Deductions per service (%)	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	R 0.00
% Deductions per service (amount)	R 0.00	R 0.00	R 0.00	R 0.00	R 0.00	R 0.00	R 0.00
Additional Deduction per service - from Service Agreement (sum)							
Sub Total after Deductions (excluding VAT)	R46 144.45	R37 748.45	R5 008.54	R6 374.95	R78 488.86	40 254.49	R214 019.74
VAT	R6 921.67	R5 662.27	R751.28	R956.24	R11 773.33	6 035.17	R32 102.96
Total	R53 066.12	R43 410.72	R5 759.82	R7 331.19	R90 262.19	46 289.66	R246 122.71

JT 372

GENERAL COMMENT:

1. Outside Stellenbosch area of supply.
2. All Electrical requirements should be directed to Eskom.

CONDITIONS

3. No conditions.

Bradley Williams

Date.....23/03/2022.....



Signature

