



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/12181

Our File Reference Number: Erf 36, Raithby

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 808 8682

Email address: Ulrich.Vonmolendorff@stellenbosch.gov.za

Sir / Madam

APPLICATION FOR DEPARTURE: ERF 36, WATSON WAY, RAITHBY

1. The above application refers.

2. The duly authorised decision maker has decided on the above application as follows:

- (a) That the application for a **permanent departure** in terms of Section 15(2)(b) of the Stellenbosch Municipality Zoning Scheme By-Law, 2019 in order in order to relax the common building lines respectively the one (adjacent to Erf 37, Raithby) from **5m to 0m** for the purpose of a garage and to extend the existing lean-to-roof from **5m to 4.7m** and also the one (adjacent to Erf 35 Raithby) in order to extend both existing structures the carport and the second dwelling unit from **5m to 2m** on Erf 36, Watson Way, Raithby, as indicated on Drawing No.3.1.1, Drawn by Jaco Studio, Dated 2020/08/24.

BE APPROVED in terms of Section 60 of the said Bylaw and subject conditions of approval in terms of Section 66 of the said Bylaw;

3. Conditions of Approval

3.1 The approval applies only to the proposal in question and shall not be construed as authority to depart from any other Council requirements or legal provisions;

3.2 Building plans must be submitted to this municipality for approval, prior to any building work commencing on site.

4. **Reasons for the above decision are as follows:**

- (a) The proposal is in keeping with the current land use of the subject property.
- (b) The proposal does not have a negative impact on the character of the area.
- (c) It is a logical extension to the residential activity and will add value to the existing building.

5. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.

6. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:

(a) The personal particulars of the Appellant, including:

- (I) First names and surname;
- (II) ID number;
- (III) Company of Legal person's name (if applicable)
- (IV) Physical Address;
- (V) Contact details, including a Cell number and E-Mail address;

(b) Reference to this correspondence and the relevant property details on which the appeal is submitted.

(c) The grounds of the appeal which may include the following grounds:

- (i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);
- (ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.

(d) whether the appeal is lodged against the whole decision or a part of the decision;

(e) if the appeal is lodged against a part of the decision, a description of the part;

- (f) if the appeal is lodged against a condition of approval, a description of the condition;
- (g) the factual or legal findings that the appellant relies on;
- (h) the relief sought by the appellant; and
- (i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;
- (j) That the appeal includes the following declaration by the Appellant:

- (i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
- (ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.

7. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address: landuse.appeals@stellenbosch.gov.za
8. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.
9. The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking details for the General Account can also be accessed on the municipal website (<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).
10. An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
 - (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
 - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.

(c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.

(d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.

11. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

12. Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

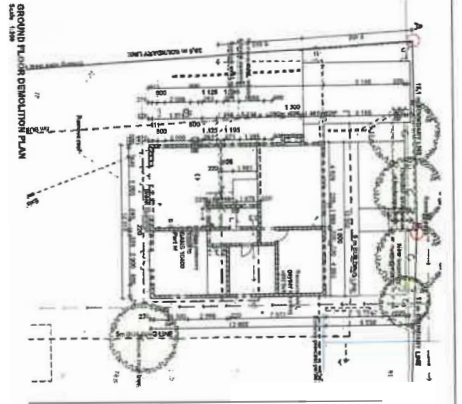
Yours faithfully



FOR DIRECTOR: PLANNING AND ECONOMIC DEVELOPMENT

14/07/2021

DATE:

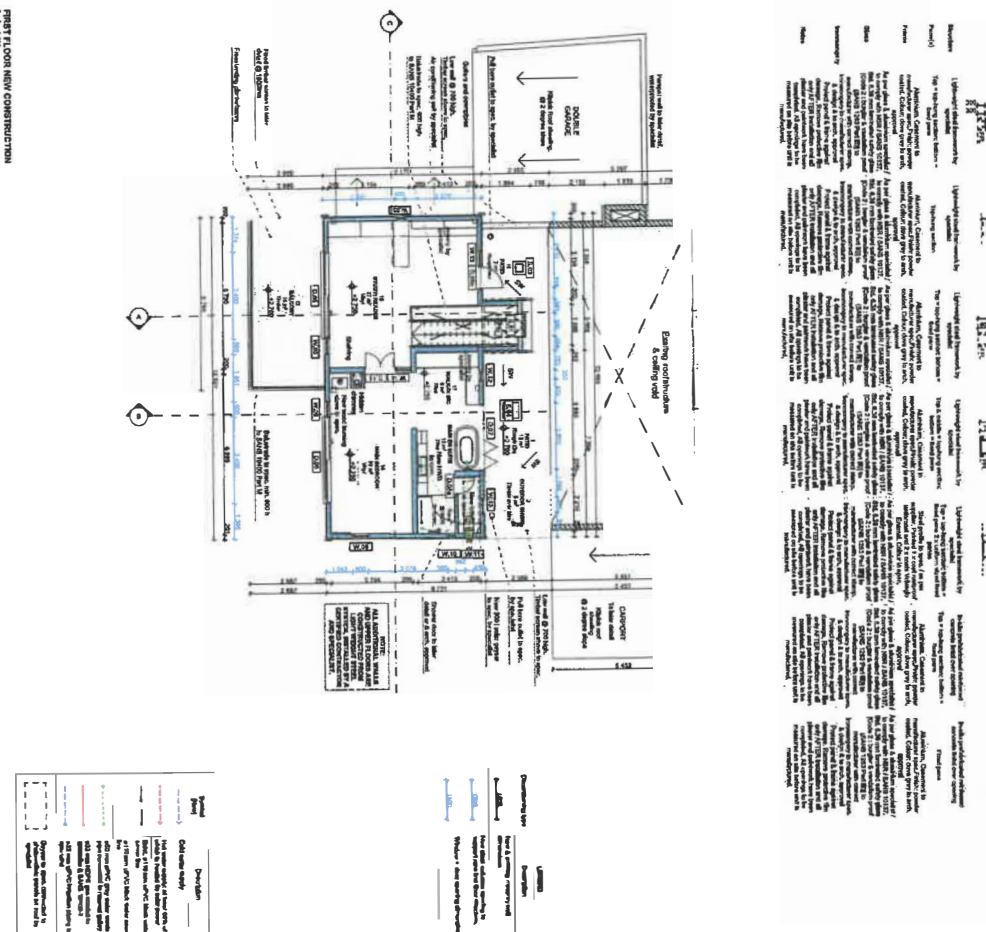
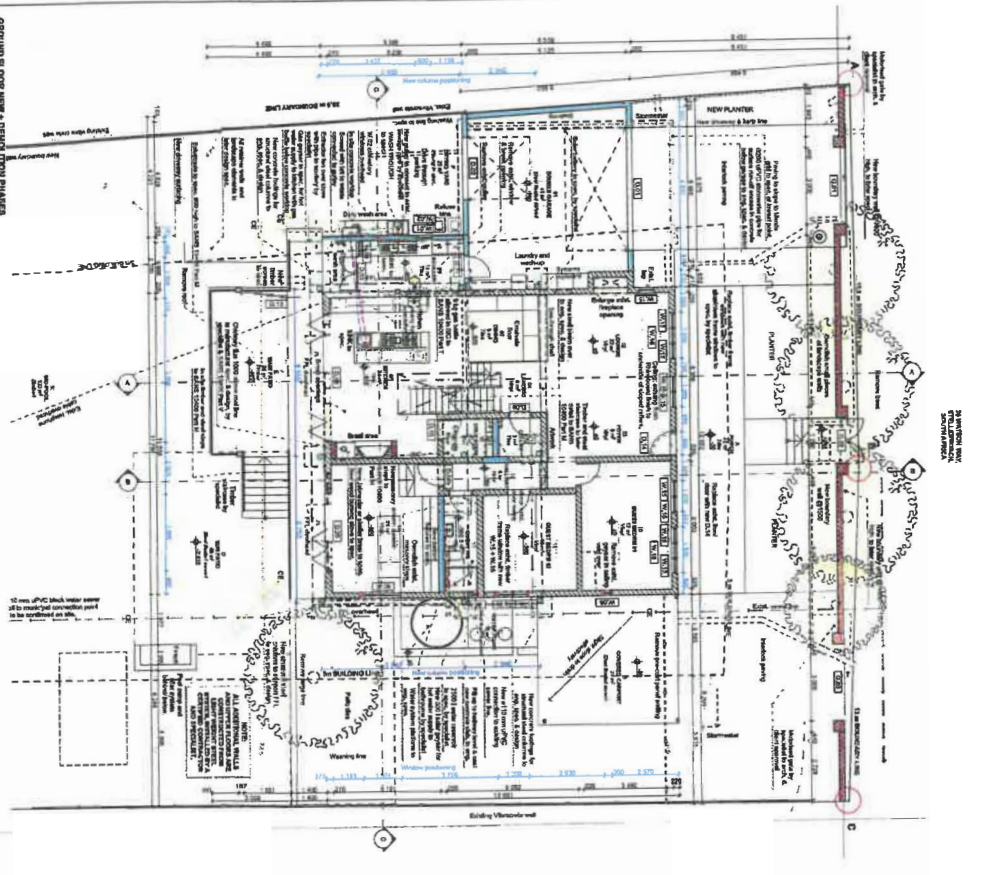


| Section | Material | Quantity | Notes |
|---------|----------|----------|------------------------------|
| 1 | Concrete | 10000 | Demolition of concrete slab |
| 2 | Brick | 5000 | Demolition of brick walls |
| 3 | Steel | 2000 | Demolition of steel beams |
| 4 | Timber | 1000 | Demolition of timber floors |
| 5 | Roofing | 500 | Demolition of roof structure |

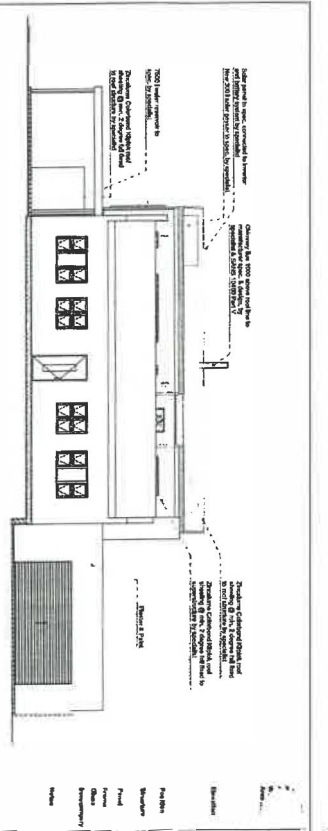
| Section | Material | Quantity | Notes |
|---------|----------|----------|------------------------------|
| 6 | Concrete | 15000 | Demolition of concrete slab |
| 7 | Brick | 7000 | Demolition of brick walls |
| 8 | Steel | 3000 | Demolition of steel beams |
| 9 | Timber | 1500 | Demolition of timber floors |
| 10 | Roofing | 750 | Demolition of roof structure |

GENERAL NOTES

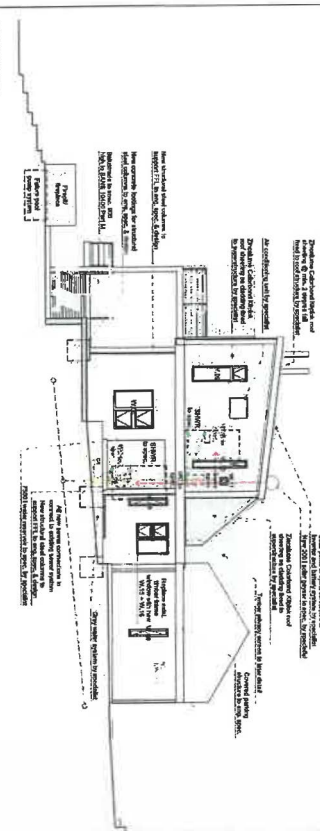
- Demolition work shall be carried out in accordance with the relevant codes of practice.
- All demolition work shall be supervised by a competent person.
- Demolition of concrete shall be carried out using pneumatic hammers.
- Demolition of brickwork shall be carried out using hand tools.
- Demolition of steelwork shall be carried out using oxy-acetylene cutting.
- Demolition of timber shall be carried out using chainsaws.
- All demolition waste shall be removed from the site and disposed of at a licensed waste transfer station.
- The contractor shall be responsible for obtaining all necessary permits for demolition work.
- The contractor shall be responsible for the safety of all workers and the public during demolition work.
- The contractor shall be responsible for the protection of adjacent structures and services during demolition work.
- The contractor shall be responsible for the removal of all debris from the site.
- The contractor shall be responsible for the reinstatement of the site to its original condition.



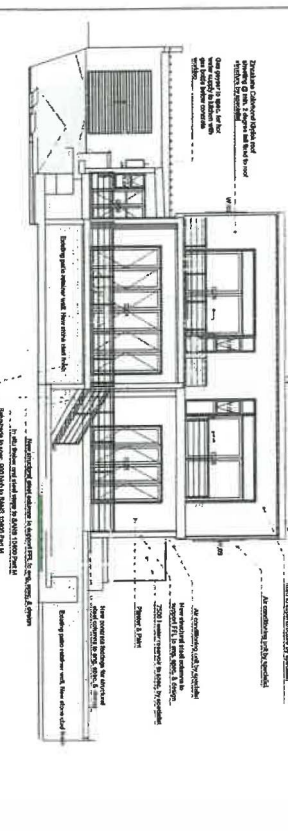
| Section | Material | Quantity | Notes |
|---------|----------|----------|------------------------------|
| 11 | Concrete | 20000 | Demolition of concrete slab |
| 12 | Brick | 10000 | Demolition of brick walls |
| 13 | Steel | 4000 | Demolition of steel beams |
| 14 | Timber | 2000 | Demolition of timber floors |
| 15 | Roofing | 1000 | Demolition of roof structure |



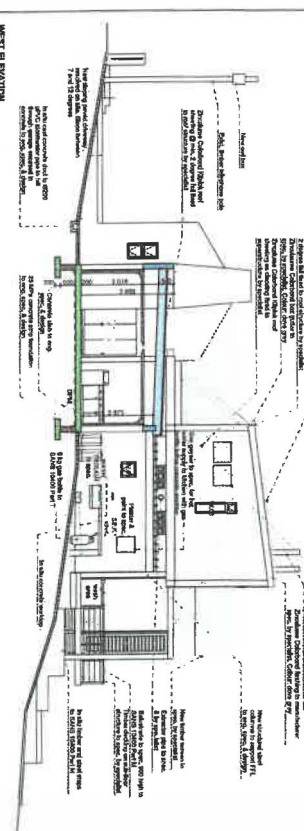
NORTH ELEVATION
Scale: 1/8" = 1'-0"



EAST ELEVATION
Scale: 1/8" = 1'-0"

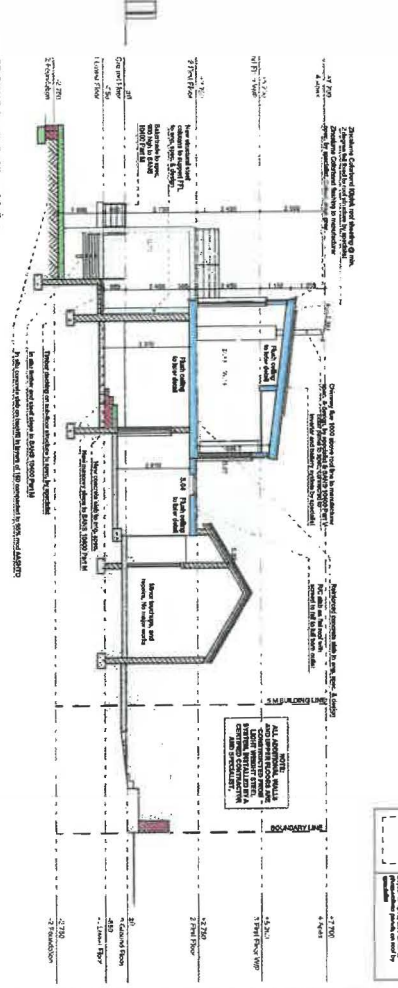


SOUTH ELEVATION
Scale: 1/8" = 1'-0"

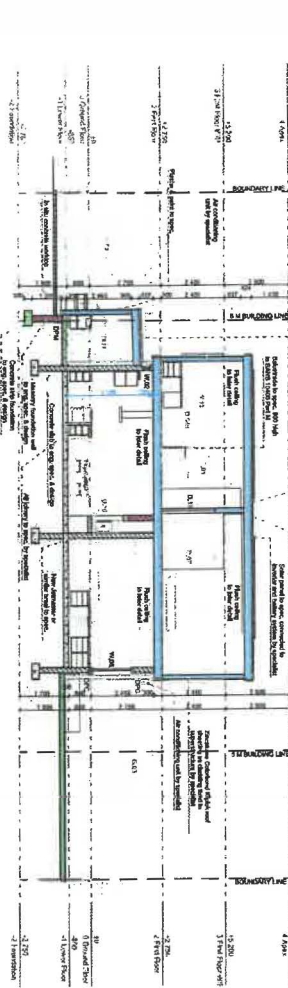


WEST ELEVATION
Scale: 1/8" = 1'-0"

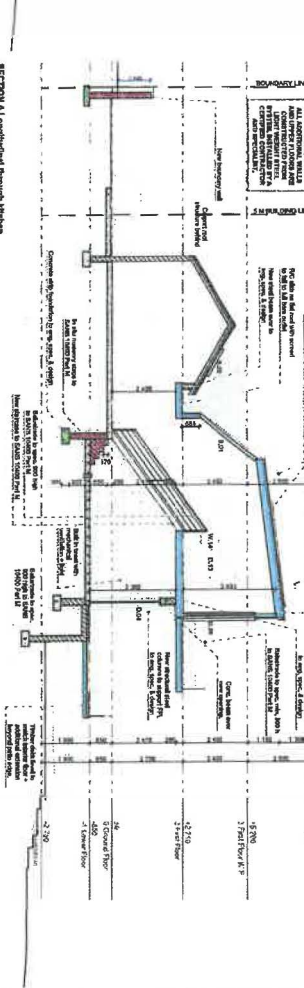
| GENERAL NOTES |
|--|
| 1. All work shall be in accordance with the approved plans and specifications. |
| 2. The contractor shall be responsible for obtaining all necessary permits and approvals. |
| 3. The contractor shall maintain access to all adjacent properties at all times. |
| 4. The contractor shall be responsible for protecting all existing utilities and structures. |
| 5. The contractor shall be responsible for the removal and disposal of all debris. |
| 6. The contractor shall be responsible for the cleanup of the site. |
| 7. The contractor shall be responsible for the final inspection and sign-off. |
| 8. The contractor shall be responsible for the final payment. |
| 9. The contractor shall be responsible for the final delivery of the project. |
| 10. The contractor shall be responsible for the final completion of the project. |



SECTION B Longitudinal through hallway
Scale: 1/8" = 1'-0"



SECTION C Cross through main bedroom
Scale: 1/8" = 1'-0"



SECTION A Longitudinal through kitchen
Scale: 1/8" = 1'-0"

| GENERAL NOTES |
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CLIENT

LIAM VAN DER MERWE & FAMILY

1234 Main Street, Cape Town, South Africa

Cell: +27 82 123 4567 | Email: liam@vanmerwe.co.za

ARCHITECT

JACO VAN DER MERWE

1234 Main Street, Cape Town, South Africa

Cell: +27 82 123 4567 | Email: jaco@vanmerwe.co.za

HOUSE OF YS VAN STADEN

20 Willem Van Alphen, Stellenbosch, Western Cape, 7120, South Africa

PROJECT TITLE

MUNICIPAL APPROVAL

| NO. | REVISION | DATE |
|-----|------------------|-----------|
| 1 | ISSUE FOR PERMIT | 1/10/2024 |
| 2 | REVISIONS | 1/10/2024 |
| 3 | REVISIONS | 1/10/2024 |
| 4 | REVISIONS | 1/10/2024 |
| 5 | REVISIONS | 1/10/2024 |
| 6 | REVISIONS | 1/10/2024 |
| 7 | REVISIONS | 1/10/2024 |
| 8 | REVISIONS | 1/10/2024 |
| 9 | REVISIONS | 1/10/2024 |
| 10 | REVISIONS | 1/10/2024 |

DRAWN BY: JACO VAN DER MERWE
CHECKED BY: JACO VAN DER MERWE
DATE: 1/10/2024

PROJECT NO: 3.1.3

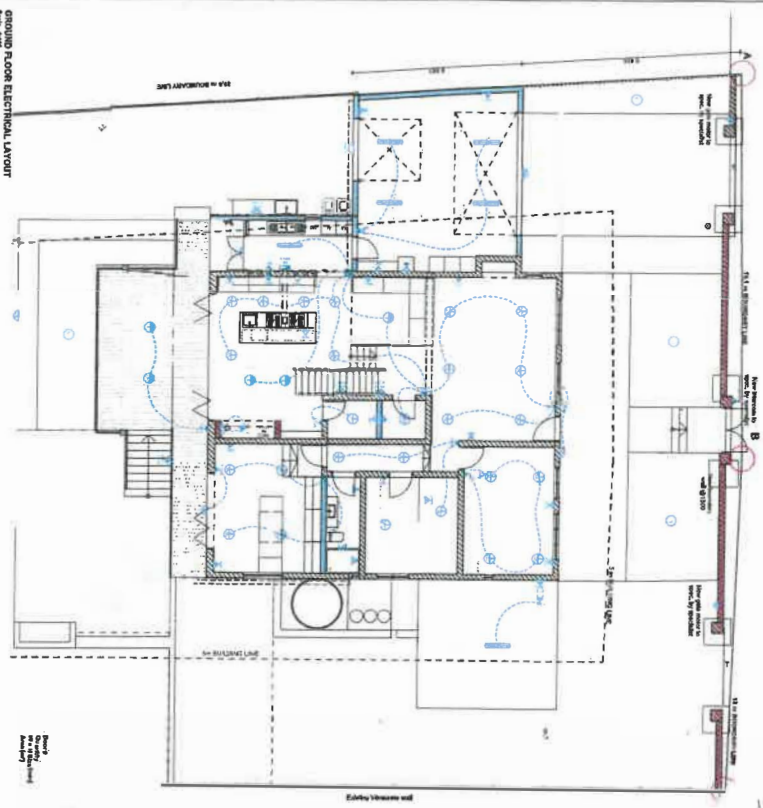
GENERAL NOTES

REVISIONS LIST

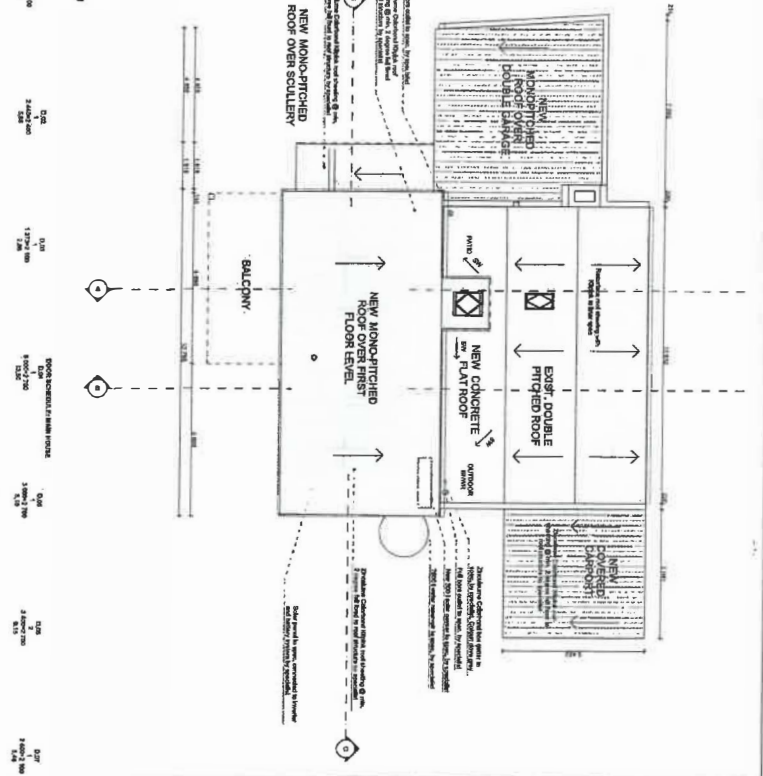
| NO. | DESCRIPTION | DATE |
|-----|--|------------|
| 1 | Issue for tender | 15/03/2024 |
| 2 | Revise to include all notes and drawings | 20/03/2024 |
| 3 | Revise to include all notes and drawings | 25/03/2024 |
| 4 | Revise to include all notes and drawings | 30/03/2024 |
| 5 | Revise to include all notes and drawings | 05/04/2024 |
| 6 | Revise to include all notes and drawings | 10/04/2024 |
| 7 | Revise to include all notes and drawings | 15/04/2024 |
| 8 | Revise to include all notes and drawings | 20/04/2024 |
| 9 | Revise to include all notes and drawings | 25/04/2024 |
| 10 | Revise to include all notes and drawings | 30/04/2024 |

LEGEND

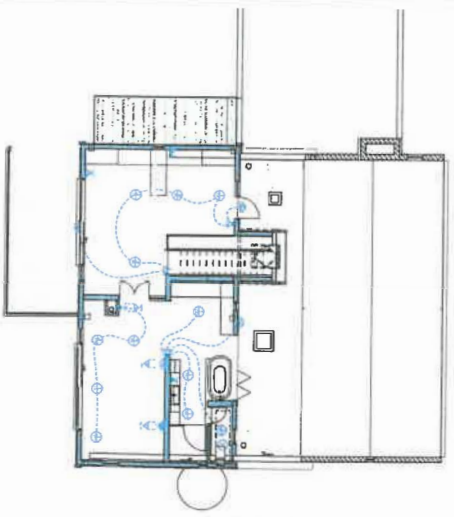
| Symbol | Description |
|-----------------------------|-----------------------|
| (Circle with dot) | Lighting fixture |
| (Circle with cross) | Switch |
| (Circle with slash) | Socket outlet |
| (Circle with triangle) | Alarm bell |
| (Circle with square) | Fire alarm call point |
| (Circle with diamond) | Emergency stop |
| (Circle with star) | Emergency lighting |
| (Circle with circle) | Emergency exit |
| (Circle with X) | Emergency alarm |
| (Circle with plus) | Emergency stop |
| (Circle with minus) | Emergency stop |
| (Circle with asterisk) | Emergency stop |
| (Circle with hash) | Emergency stop |
| (Circle with percent) | Emergency stop |
| (Circle with dollar) | Emergency stop |
| (Circle with ampersand) | Emergency stop |
| (Circle with at) | Emergency stop |
| (Circle with underline) | Emergency stop |
| (Circle with overline) | Emergency stop |
| (Circle with tilde) | Emergency stop |
| (Circle with caret) | Emergency stop |
| (Circle with apostrophe) | Emergency stop |
| (Circle with backslash) | Emergency stop |
| (Circle with forward slash) | Emergency stop |
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| (Circle with forward slash) | Emergency stop |



GROUND FLOOR ELECTRICAL LAYOUT



ROOF PLAN



FIRST FLOOR ELECTRICAL LAYOUT

TABLE 1: ELECTRICAL SYMBOLS

| Symbol | Description |
|-----------------------------|-----------------------|
| (Circle with dot) | Lighting fixture |
| (Circle with cross) | Switch |
| (Circle with slash) | Socket outlet |
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TABLE 2: ELECTRICAL SYMBOLS

| Symbol | Description |
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| (Circle with apostrophe) | Emergency stop |
| (Circle with backslash) | Emergency stop |
| (Circle with forward slash) | Emergency stop |

PROJECT INFORMATION

| | |
|-----------------------------|------------------------------------|
| PROJECT NO. | 3.1.4 |
| PROJECT NAME | NEW MONO-PITCHED ROOF OVER SALLERY |
| PROJECT LOCATION | NEW MONO-PITCHED ROOF OVER SALLERY |
| PROJECT DATE | 15/03/2024 |
| PROJECT STATUS | ISSUED FOR TENDER |
| PROJECT OWNER | NEW MONO-PITCHED ROOF OVER SALLERY |
| PROJECT ARCHITECT | NEW MONO-PITCHED ROOF OVER SALLERY |
| PROJECT ELECTRICAL ENGINEER | NEW MONO-PITCHED ROOF OVER SALLERY |
| PROJECT CONTRACTOR | NEW MONO-PITCHED ROOF OVER SALLERY |