



Application Number: LU/12277

Our File Reference Number: Erf 318, Klapmuts

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 808 8682

Email address: Ulrich.Vonmolendorff@stellenbosch.gov.za

PER EMAIL: [REDACTED]

APPLICATION FOR PERMISSION IN TERMS OF THE ZONING SCHEME TO ALLOW AN ADDITIONAL USE (TECHNICAL APPROVAL) AND DEPARTURE ON ERF 318, KLAPMUTS

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:
 - 2.1 That the application in terms of Section 15(2)(g) of the Stellenbosch Municipal Land Use Planning Bylaw 2015 for permission in terms of the zoning scheme to allow an additional use (technical approval) for the construction of a second dwelling unit on Erf 318, Merchant Street, Klapmuts- Stellenbosch.
 - 2.2 That the application in terms of Section 15(2)(b) of the Stellenbosch Municipal Land Use Planning Bylaw 2015 for a departure to relax the common building lines from 2,5m to 1,5m to accommodate the proposed second dwelling unit on the property on Erf 318, Merchant Street, Klapmuts – Stellenbosch.

BE APPROVED in terms of Section 60 of the said Bylaw and subject to conditions of approval
 - 2.3 The approval is subject to the following conditions imposed in terms of Section 66 of said Bylaw:
 - 2.3.1 The approval only applies to the application under consideration, as indicated on Drawing No. 20/08/42 A, Drawn by Masterplan Projects Architecture, dated: Aug 2020, attached as **Annexure B**, and shall not be construed as authority to depart

from any other legal prescriptions or requirements from Council or other legislation or Bylaws or Regulations that may be applicable.

2.3.2 Building plans must be generally in accordance with the site plan and floor layout plan as indicated on drawing No. 20/08/42 A, Drawn by: Masterplan Projects Architecture, dated Aug 2020, and attached as **Annexure B**.

2.3.3 Sufficient on-site parking must be provided in accordance with the provisions of the Zoning Scheme Bylaw as illustrated on the site to the satisfaction of the Municipality.

2.3.4 Compliance with conditions in the Memorandum of Infrastructure Services, dated 26/09/2022 attached as **Annexure D**.

2.3.5 Development charges are payable in accordance with prevailing and applicable Council Tariffs.

2.4 The reasons for the above decision are as follows:

2.4.1 The scale and nature of the proposed development will not compromise the existing character of the surrounding landscape.

2.4.2 The proposal will result in a sensible increase in density which will have minimal impact on the amenities of the adjoining property owners.

3. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.

4. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:

(a) The personal particulars of the Appellant, including:

(I) First names and surname;

(II) ID number;

(III) Company of Legal person's name (if applicable)

(IV) Physical Address;

(V) Contact details, including a Cell number and E-Mail address;

- (b) Reference to this correspondence and the relevant property details on which the appeal is submitted.
- (c) The grounds of the appeal which may include the following grounds:
 - (i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);
 - (ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.
- (d) whether the appeal is lodged against the whole decision or a part of the decision;
- (e) if the appeal is lodged against a part of the decision, a description of the part;
- (f) if the appeal is lodged against a condition of approval, a description of the condition;
- (g) the factual or legal findings that the appellant relies on;
- (h) the relief sought by the appellant; and
- (i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;
- (j) That the appeal includes the following declaration by the Appellant:
 - (i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
 - (ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.

5. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address:
landuse.appeals@stellenbosch.gov.za

6. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.
7. The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking details for the General Account can also be accessed on the municipal website (<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).
8. An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
 - (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
 - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
 - (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
 - (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.
9. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.
10. Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully



For: DIRECTOR PLANNING AND ECONOMIC DEVELOPMENT

1/12/2022
DATE:

ANNEXURE B: SITE DEVELOPMENT PLAN

MASTERPLAN PROJECTS ARCHITECTURE

AREA SCHEDULE	AREA (m ²)
ERF	713.68
EXISTING HOUSE	40.49
EXISTING STORAGE	26.40
NEW ADDITIONS	151.75
PERGOLA STOEP	11.94
FIRST FLOOR AREA	58.44
TOTAL COVERED AREA	230.59
PERCENTAGE COVERAGE	32.31 %

The design of this drawing is copyright. All work carried out in strict accordance with local authority and NBR regulations. All relevant details, levels and dimensions to be checked on site prior to commencement of the work. The designer accepts no responsibility for errors resulting from the information provided or the design. All dimensions are given in millimeters. The contractor will be held responsible for the correct setting out of the work. Any doubt as to the accuracy of boundary pages to be reported to the client immediately. No portion of building to encroach over boundary lines. All electrical and drainage work to be done by registered tradesman. Any drainage pipes underside of building to be encased in 150mm concrete surround.

Foundations

230mm walls to bear on 700 x 230mm continuous concrete strip
Concrete Surface Bed
Floor finish on 30mm cement screed on 100mm mass concrete surface bed on 250 micron dpm on 50mm sand bed on well compacted filling.

Suspended Reinforced Concrete Slab

Floor finish on 30mm cement screed on 150mm reinforced concrete slab built into blockwork and sfp joints below slab to Structural Engineer's detail.

External Load Bearing Walls

External load bearing walls to be 230mm bricks tied with brickwork to NBRRC
375 micron cranked DPC to all walls and window and door surrounds.

Internal Non-Load Bearing Walls

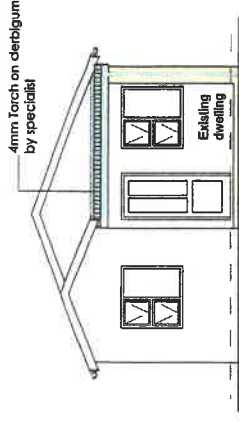
Internal non-load bearing walls to be 90mm blocks

Precast Units

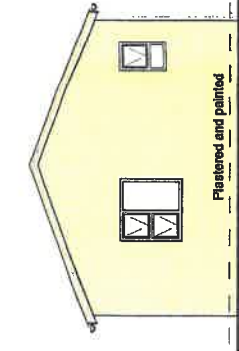
Precast R.C. lintels over all openings and built in 230mm into walls on either side of openings, doors and windows

Client: **MR & MRS THABO**
Project: **PROPOSED ADDITIONS ENF 316, 40 MERCHANT STREET, KUPUPITS**
Drawing: **Drawing No.: 2009 / 42 A**
FOR SUBMISSION

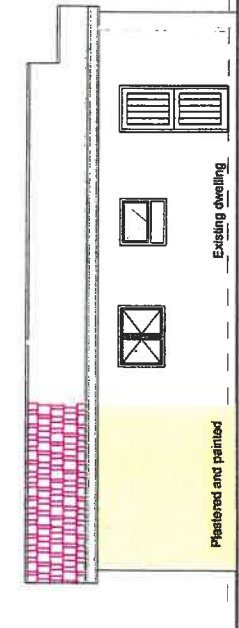
Scale: 1:100
Date: AUG 2020
Drawn: S NIKELO
Checked: PVL



SOUTH ELEVATION
SCALE 1:100



NORTH ELEVATION
SCALE 1:100



WEST ELEVATION
SCALE 1:100

Cement tiles at 20° pitch to match existing on 38x38 battens at 300mm centers on pre-fabricated engineer designed roof trusses at 450 centers, strapped to 11x438mm wallplates.

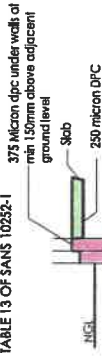
STORMWATER SANS 10400, PART B)
Stormwater downpipes to be tiled with pre cast concrete water channels to road stormwater system.

CEILING (SANS 10400, PART L)
6mm rima board with 76mm covered cornice neatly mitred on 38 x 38 bracing at 480 c/c max.

ENERGY EFFICIENCY

A MINIMUM OF 60% BY VOLUME OF THE ANNUAL AVERAGE HOT WATER HEATING REQUIREMENT SHALL BE PROVIDED BY MEANS OF OTHER ELECTRICAL HEATING INCLUDING BUT NOT LIMITED TO, SOLAR HEATING, HEAT PUMPS, HEAT RECOVERY FROM OTHER SYSTEMS OR PROCESSES.

ALL EXPOSED PIPES TO AND FROM THE HOT WATER CYLINDERS AND CENTRAL HEATING SYSTEMS SHALL BE INSULATED WITH PIPE INSULATION MATERIAL WITH AN R-VALUE IN ACCORDANCE WITH TABLE 19 OF SANS 10252-1

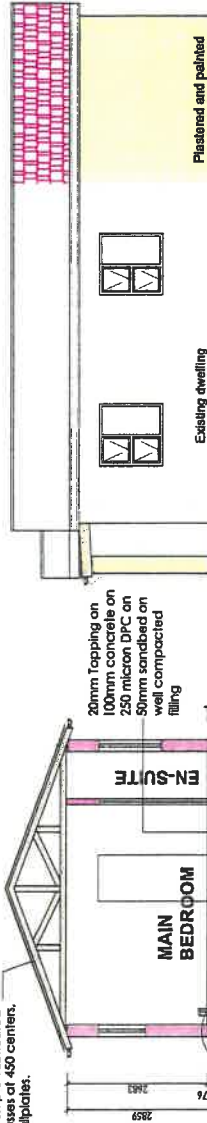


DETAIL A

SCALE 1:50

ALL GLAZING TO COMPLY WITH REQUIREMENTS OF SANS 10137 AND 10400 PART N- ACCESS DOORS AND SIDE LIGHTS, WINDOWS LOWER THAN 1.800m FROM FLOOR, WINDOWS LOWER SHOP FRONT TO BE SAFETY GLASS AND CLEARLY INDICATED AS SUCH ON GLASS AS EYE LEVEL & GLASS > 1m²

FLOORS (SANS 10400, PART L)
25mm screed on 100mm concrete slab (1:3:6) on 250 micron d.p.c. on well compacted fill.



SECTION C-C
SCALE 1:100

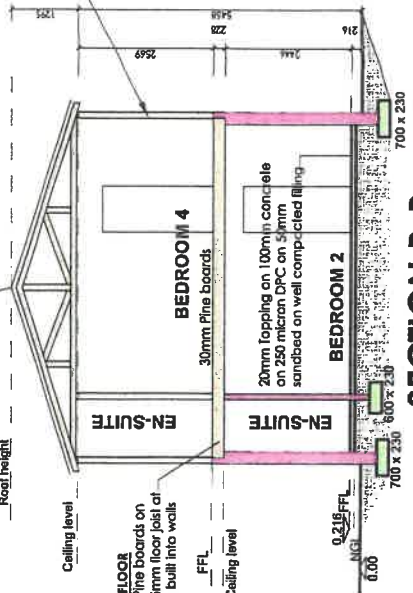
ORIENTATION

ORIENTATION AND SUN PROTECTION COMPLIES TO REGULATION 7A OF SANS 204: 2011
ALL FOUNDATION IN ACCORDANCE WITH NBR PART 'B'
CONCRETE SURFACE BEDS AND BACKFILL IN ACCORDANCE WITH NBR PART 'B'

WALL CONSTRUCTION
12mm NUTEG CLADDING TO 76 X 50mm SAP POSTS AND STRUTS SECURED TO FLOOR WITH 76 X 38mm SAP FLOOR PLATES TIED ONTO FLOOR WITH GALVANISED MILD STEEL HOOP IRON STRAPS BUILT INTO FOUNDATION BRICK WALLS

ENGINEERS SPECIFICATIONS

ALL FOUNDATIONS IN ACCORDANCE WITH NBR PART "B"
CONCRETE SURFACE BEDS AND BACKFILL IN ACCORDANCE WITH NBR PART "B"
R.C SLABS AND R.C BEAMS TO BE NBR PART "B"
MASONRY COLUMNS AND FOOTINGS TO BE NBR PART "B"
R.C STAIRCASE TO ENG SPECIFICATIONS NBR PART "M" WITH 1.000m HIGH HANDRAIL
ALL HANDRAILS AND BALUSTRADES FIXING TO ENGINEERS SPECIFICATION.
ALL SUB-SOIL DRAINS TO BE IN ACCORDANCE WITH PART "F" OF NBR



SECTION B-B
SCALE 1:100

ANNEXURE D: COMMENTS FROM THE DIRECTOR: ENGINEERING SERVICES



STELLENBOSCH MUNICIPALITY
STELLENBOSCH·PNIEL·FRANSCHHOEK

MEMORANDUM

DIREKTEUR: INFRASTRUKTUURDIENSTE
DIRECTORATE: INFRASTRUCTURE SERVICES

To ▫ Aan: Director: Planning + Economic Development
Att Aandag Salome Newman
From ▫ Van: Principal Technician: Development (Infrastructure Services)
Author ▫ Skrywer: Abdullah Daniels
Date ▫ Datum: 26 September 2022
Our Ref ▫ Ons Verw: Civil LU 2372
Your Ref: LU/12271
Re ▫ Insake: Erf 318, Klapmuts: Application is made in terms of Section 15(2)(b) of the Stellenbosch Municipal Land Use Planning By-Law, 2019 for a permanent departure to relax both common building lines from 2,5m to 1,5m for purposes of a second dwelling unit and to construct additions to the existing house. Application is made in terms of Section 15(2)(g) of the Stellenbosch Municipal Land Use Planning By-Law, 2019 for permission required in terms of the zoning scheme for technical approval to allow a second dwelling unit on the property.

The application is recommended for approval, subject to the following:

1. Water

- 1.1 The existing water connection must be utilized for the proposed development: no upgrade in the size of the connection will be allowed, unless agreed to by our Water Services Department.

2. Sewer

- 2.1 The existing sewer connection must be utilized for the proposed development: no upgrade in the size of the connection will be allowed, unless agreed to by our Water Services Department.

3. Development Charges (DCs)

- 3.1 The following DC's are payable: R 54 162,21
3.2 See **Development Charge Calculation** attached.
3.3 The DC's were calculated by using the 2022/2023 tariff structure. If DC's are paid after 30 June 2023 it will have to be recalculated by using the tariff structure applicable at date of payment.
3.4 The appropriate DC's are payable before building plan approval.

4. Electrical Engineering

- 4.1 Refer to **Annexure: Electrical**



**ABDULLAH DANIELS
PRINCIPAL TECHNICIAN: DEVELOPMENT (INFRASTRUCTURE SERVICES)**

V:12.0 DEVELOPMENT\00 Developments\2372 (AD) Erf 318 Klapmuts (LU-12271)\2372 (AD) Erf 318 Klapmuts (LU-12271).doc



Stellenbosch Municipality

Development Charge Calculation



APPLICATION INFORMATION	
Application Number:	
Development Name:	
Date:	26 September 2022
Financial Year:	2022/2023
Erf Location (Select from 7 Locations):	Klapmuts
Vehicle Ownership (Select Normal or Low):	Normal
Erf Region (Select Urban or Rural):	Urban
Erf No:	
DC Parameters Reference:	

SUMMARY OF DC CALCULATION									
Service:	Water	Sewer	Stormwater	Solid Waste	Roads & Transport	Community	Totals		
Unit(s):	kl/day	kl/day	ha°C	t/week	trips/day	persons			
Total Increased Services Usage:	0,45	0,4	0,018	0,04	2,5	4			
Total Service Usage Reduction:	0	0	0	0	0,0	0			
Total Service Usage after Reduction:	0,45	0,40	0,01800	0,040	2,5	4			
Total Development Charges before Deductions:	R 3 940,82	R 11 409,21	R 1 121,38	R 3 504,16	R 13 302,00	R 13 820,00	R	47 097,57	
Total Deductions:	R -	R -	R -	R -	R -	R -	R	-	
Total Payable (excluding VAT):	R 3 940,82	R 11 409,21	R 1 121,38	R 3 504,16	R 13 302,00	R 13 820,00	R	47 097,57	
VAT:	R 591,12	R 1 711,38	R 168,21	R 525,62	R 1 995,30	R 2 073,00	R	7 064,64	
Total Payable (including VAT):	R 4 531,95	R 13 120,59	R 1 289,59	R 4 029,78	R 15 297,30	R 15 893,00	R	54 162,21	

APPLICANT INFORMATION	
Application Processed by:	A Daniels
Signature:	
Notes:	DC Calculated for second dwelling total number of bedrooms on erf is equal to 8 rooms.

Kilopmits

Land Use Category	Unit Type	Existing Usage		Proposed New Usage		Increased Usage Amount	Water	Sewer	Stormwater	Development Charges Levied (incl VAT)		Total
		Area (m2)	Unit Amount	Area (m2)	Unit Amount					Result	Amount	
Residential	du											
Single Residential <1000m2	du					0	R	R	R	R	R	R
Single Residential >500m2	du					0	R	R	R	R	R	R
Single Residential >250m2	du					0	R	R	R	R	R	R
Single Residential <250m2	du					0	R	R	R	R	R	R
Second Dwelling	du					1	R	R	R	R	R	R
Low Formal Residential	du					0	R	R	R	R	R	R
Group Residential	du					0	R	R	R	R	R	R
Apartments	du					0	R	R	R	R	R	R
Retirement Village	du					0	R	R	R	R	R	R
Old care home	du					0	R	R	R	R	R	R
Student Accommodation/Commune	rooms					0	R	R	R	R	R	R
Guest Houses	rooms					0	R	R	R	R	R	R
Converted Guest House	rooms					0	R	R	R	R	R	R
Hotel, Residential	rooms					0	R	R	R	R	R	R
General Business	m2 GLA					0	R	R	R	R	R	R
Office	m2 GLA					0	R	R	R	R	R	R
Retail/Shop	m2 GLA					0	R	R	R	R	R	R
Restaurant	m2 GLA					0	R	R	R	R	R	R
Conference Facility/Place of assembly	m2 GLA					0	R	R	R	R	R	R
Hospital/Clinic/Medical Rooms	m2 GLA					0	R	R	R	R	R	R
School/University/College/Day Care	student					0	R	R	R	R	R	R
Industrial - light	m2 GLA					0	R	R	R	R	R	R
Industrial - heavy	m2 GLA					0	R	R	R	R	R	R
Warehousing/Light Manufacturing	m2 GLA					0	R	R	R	R	R	R
Public Open Space	ha					0.0000	R	R	R	R	R	R
Private Open Space	ha					0.0000	R	R	R	R	R	R
Natural Environment	ha					0.0000	R	R	R	R	R	R
Public Roads and Parking	ha					0.0000	R	R	R	R	R	R
To be calculated	n/a					0	R	R	R	R	R	R
(Based on equivalent demands)	n/a					0	R	R	R	R	R	R
Total Area:	0					0						

Development Charges before Deductions	Water	Sewer	Stormwater	Development Charges Levied (incl VAT)	Community	Total
3,941	11,409	1,121	3,504	13,302	13,302	47,088
3,940.02	11,409.21	1,121.38	3,504.16	13,302.00	13,302.00	47,087.57
881.12	1,714.38	188.21	325.62	1,995.30	2,073.00	7,064.64
4,551.95	13,126.59	1,289.59	4,029.78	15,297.30	15,903.00	64,102.21

Total Development Charges before Deductions	Deductions per service (amount)	Additional Deduction per service - from Service Agreement (sum)	Sub Total after Deductions (including VAT)	Total
64,102.21			64,102.21	64,102.21
64,102.21			64,102.21	64,102.21
64,102.21			64,102.21	64,102.21
64,102.21			64,102.21	64,102.21