



# STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/12663

Our File Reference Number: Erf 3172, Franschhoek

Your Reference Number: None

Enquiries: Ulrich von Molendorff

Contact No: 021 – 808 8682

Email address: [Ulrich.Vonmolendorff@stellenbosch.gov.za](mailto:Ulrich.Vonmolendorff@stellenbosch.gov.za)

**PER E-MAIL:** [REDACTED]

Sir / Madam

## **APPLICATION FOR DEPARTURE: ERF 3172, FRANSCHHOEK**

1. The above application refers.

2. The duly authorised decision maker has decided on the above application as follows:

2.1 That the departure application in terms of the Stellenbosch Municipal Land Use Planning By-Law, promulgated by notice number 354/2015, dated 20 October 2015 to relax the common building line (adjacent to Erf 3171) from 1m to 0m in order to accommodate the proposed additions to the existing house on Erf 3172, Mooiwater as indicated on drawing no. 18.07A drawn by Masterplan Projects Architecture and dated 21 July 2018.

**BE APPROVED** in terms of Section 60 of the said Bylaw and subject to the following conditions in terms of Section 66 of said Bylaw:

### 2.2 Conditions of approval

2.2.1 The approval shall lapse if not acted upon within a period of five years from the date of approval;

2.2.2 The approval shall be taken to cover only the departure applied for and shall not be construed as authority to depart from any other Council requirements or legal provisions;

- (d) whether the appeal is lodged against the whole decision or a part of the decision;
- (e) if the appeal is lodged against a part of the decision, a description of the part;
- (f) if the appeal is lodged against a condition of approval, a description of the condition;
- (g) the factual or legal findings that the appellant relies on;
- (h) the relief sought by the appellant; and
- (i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;
- (j) That the appeal includes the following declaration by the Appellant:
  - (i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
  - (ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.

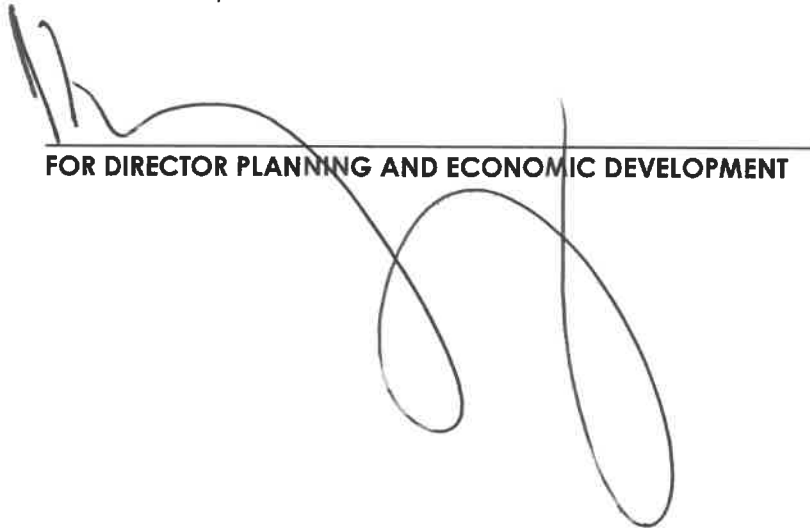
- 5 Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address: [landuse.appeals@stellenbosch.gov.za](mailto:landuse.appeals@stellenbosch.gov.za)
- 6 Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.
- 7 The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking details for the General Account can also be accessed on the municipal website (<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).
- 8 An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:

- (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
- (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
- (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
- (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.

9 Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

10 Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully



A large, stylized handwritten signature in black ink, consisting of several loops and a long horizontal stroke, positioned above a horizontal line.

**FOR DIRECTOR PLANNING AND ECONOMIC DEVELOPMENT**

3/8/2021  
DATE:



**STELLENBOSCH**  
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# ANNEXURE B

**(DEPARTURE TO RELAX THE COMMON BUILDING LINE FROM 1M TO 0M ON ERF 3172,  
MOOIWATER)**

**FLOOR LAYOUT PLAN**

# MASTERPLAN PROJECTS ARCHITECTURE

## CONSTRUCTION NOTES

**GENERAL NOTES.**  
The design of this drawing is copyright.  
All work carried out in strict accordance with local authority and NBR regulations.  
All relevant details, levels and dimensions to be checked on site prior to commencement of the work.  
The designer accepts no responsibility for errors resulting from the misinterpretation of this drawing.  
Figured dimensions to be taken in preference to scaling of drawings.  
All dimensions are given in millimeters.  
The contractor will be held responsible for the correct setting out of the work. Any doubt as to the accuracy of boundary pegs to be reported to the client immediately.  
No portion of building to encroach over boundary lines.  
All electrical and drainage work to be done by registered tradesmen.  
Any drainage pipes underneath of building to be encased in 150mm concrete surround.

**FOUNDATIONS.**  
230mm walls to bear on 800 x 250mm continuous concrete strip foundations. No foundation footing to project beyond site boundary.

**CONCRETE SURFACE BED.**  
Floor finish on 30mm cement screed on 100mm mass concrete surface bed on 250 micron dpm on 50mm sand bed on well compacted filling.

**FIRST FLOOR.**  
32mm OSB BOARD on 228 X 50mm SAP floor joists @ 800mm C/C fixed to walls girth, truss hangers

## EXTERNAL LOAD BEARING WALLS.

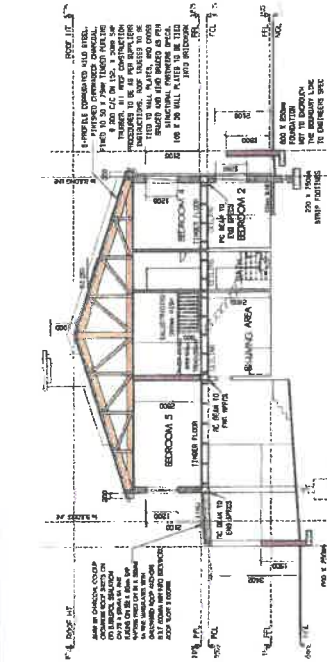
External load bearing walls to be 230mm cavity walls with NFY clay bricks with min. 50mm cavity with 5 hot dipped galv. butterfly wall ties per 1m2 wall area. 375 micron cement DPC to all walls and window and door sills. Mosquitoes to every 3rd brick course 170mm min above FFL as well as over lintels. Foundation pitfall walls to be 280mm with cavity filled with concrete.

## INTERNAL NON-LOAD BEARING WALLS.

External load bearing walls to be 230mm cavity walls with NFY clay bricks with min. 50mm cavity with 5 hot dipped galv. butterfly wall ties per 1m2 wall area. 375 micron cement DPC to all walls and window and door sills. Mosquitoes to every 3rd brick course 170mm min above FFL as well as over lintels. Foundation pitfall walls to be 280mm with cavity filled with concrete.

## PRECAST LINTELS.

Precast R.C. lintels over all openings and built in 230mm into walls on either side of openings, doors and windows



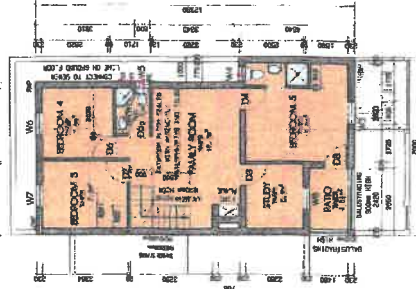
**SOUTH ELEVATION**  
SCALE 1:100

**NORTH ELEVATION**  
SCALE 1:100

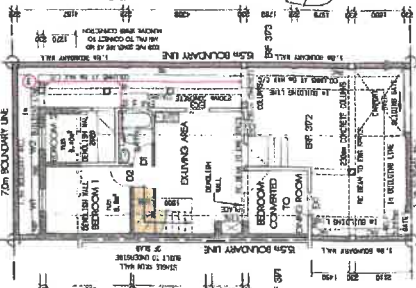
**SECTION A-A**  
SCALE 1:100

**TYPICAL BOUNDARY WALL DETAIL**  
SCALE 1:100

**WEST ELEVATION**  
SCALE 1:100



**FIRST FLOOR PLAN**  
SCALE 1:100



**GROUND FLOOR PLAN**  
SCALE 1:100

FENESTRATION		LIGHTING AND POWER		ROOF ASSEMBLY	
NO. OF WINDOWS	NO. OF DOORS	NO. OF ROOMS	NO. OF LAMP WATTS PER LAMP	NO. OF SHEETS	NO. OF RAFTERS
0	0	DINING ROOM	0	0	0
0	0	LIVING AREA	0	0	0
0	0	BATHROOM	0	0	0
0	0	BEDROOM	0	0	0
0	0	BEDROOM	0	0	0
0	0	BEDROOM	0	0	0
0	0	STUDY	0	0	0
0	0	BEDROOM	0	0	0
0	0	FAMILY ROOM	0	0	0
0	0	BATHROOM	0	0	0
0	0	TOTAL	0	0	0

ROOF PLAN		ROOF ASSEMBLY	
AREA SCHEDULE	EXISTING HOUSE	ROOF AREA	ROOF AREA
- 250m <sup>2</sup>	- 250m <sup>2</sup>	0	0
- 70m <sup>2</sup>	- 70m <sup>2</sup>	11	338
- 5.7m <sup>2</sup>	- 5.7m <sup>2</sup>	0.03	4.51
- 194.2m <sup>2</sup>	- 194.2m <sup>2</sup>		
- 84.4m <sup>2</sup>	- 84.4m <sup>2</sup>		
- 109.5m <sup>2</sup>	- 109.5m <sup>2</sup>		
- 77.7m <sup>2</sup>	- 77.7m <sup>2</sup>		

**MASTERPLAN PROJECTS**  
**ARCHITECTURE**

Client: **MR D DANIELS**

Project: **PROPOSED ALTERATIONS ON 15 SUNFLOWER ROAD, FRANSCHHOEK ERF N° 3171**

Drawing: **MUNICIPAL DRAWING**

Drawing: **18.07A** Date: **21.07.2018** Drawn: **J.O.**