



Application Number: LU/12702

Our File Reference Number: Erf 263, Stellenbosch

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 808 8682

Email address: [Ulrich.Vonmolendorff@stellenbosch.gov.za](mailto:Ulrich.Vonmolendorff@stellenbosch.gov.za)

**PER E-MAIL** [REDACTED]

Sir,

**APPLICATION FOR AMENDMENT OF THE CONDITIONS OF APPROVAL ON ERF 263, STELLENBOSCH**

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:

That the application in terms of Section 15(2) of the Stellenbosch Municipal Land Use Planning By-Law (2015), on Erf 263, Stellenbosch, namely:

- 2.1 The amendment of condition 3(i) of approval, dated 07/03/2019 to replace the approved Site Development Plan with a new Site Development Plan.

**BE APPROVED** in terms of Section 60 of the said Bylaw and subject to conditions of approval. The approval is subject to the following conditions imposed in terms of Section 66 of the said Bylaw:

- 2.2 The approval only applies to the amendment of condition and shall not be construed to depart from any other legal prescriptions or requirements from Council, attached as **Annexure H**.
- 2.3 The development must be undertaken generally in accordance with the site development plan, as indicated on drawing no: E4218/D/201, E4218/D/202, E4218/D/203, E4218/D/204, E4218/D/205 & E4218/D/301, dated 25/02/2022, drawn by Dennis Moss Partnership attached as **Annexure H**.
- 2.4 The approval granted shall not exempt the applicant from complying with any other legal prescriptions or requirements that might have a bearing on the proposed use.

- 2.5 The building plans shall be substantially in accordance with the approved SDP and that the landscaping plan of greenery and tree planning be done to the satisfaction of the Head: Parks of Stellenbosch Municipality. Should this not be done within 1 year of the occupation certificate being issued, that the greening be done by the Municipality for the account of the owner;
- 2.6 The conditions imposed by the Director: Engineering Services in its memo dated 18 May 2022 be adhered to attached as **Annexure F**;
- 2.7 The conditions imposed by the Manager: Electrical Engineering in its memo dated 06/08/2021 be adhered to attached as **Annexure F**;
- 2.8 All visitors parking bays be indicated on the building plans and form part of the communal area to be available for the visitors only;

3. The reasons for the above decision are as follows:

- 3.1 The amended Site Development Plan is consistent with the decision rules and complies with the conditions of approval.
- 3.2 The Site Development Plan is consistent with the development rules and complies with conditions of approval.

4. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.

5. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:

(a) The personal particulars of the Appellant, including:

- (I) First names and surname;
- (II) ID number;
- (III) Company of Legal person's name (if applicable)
- (IV) Physical Address;
- (V) Contact details, including a Cell number and E-Mail address;

(b) Reference to this correspondence and the relevant property details on which the appeal is submitted.

- (c) The grounds of the appeal which may include the following grounds:
  - (i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);
  - (ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.
- (d) whether the appeal is lodged against the whole decision or a part of the decision;
- (e) if the appeal is lodged against a part of the decision, a description of the part;
- (f) if the appeal is lodged against a condition of approval, a description of the condition;
- (g) the factual or legal findings that the appellant relies on;
- (h) the relief sought by the appellant; and
- (i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;
- (j) That the appeal includes the following declaration by the Appellant:
  - (i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
  - (ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.

6. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address:  
[landuse.appeals@ Stellenbosch.gov.za](mailto:landuse.appeals@ Stellenbosch.gov.za)
7. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The LU Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.

8. The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking details for the General Account can also be accessed on the municipal website (<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).
9. An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
- (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
  - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
  - (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
  - (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.
10. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.
11. Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully

  
For: **DIRECTOR PLANNING AND ECONOMIC DEVELOPMENT**

9/9/2022  
DATE:



**STELLENBOSCH**  
STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNICIPALITY • UMASIPALA • MUNISIPALITEIT

## **ANNEXURE F**



**STELLENBOSCH MUNICIPALITY**  
STELLENBOSCH · PNIEL · FRANSCHHOEK

# **MEMORANDUM**

**DIREKTEUR: INFRASTRUKTUURDIENSTE**  
**DIRECTORATE: INFRASTRUCTURE SERVICES**

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**To ▫ Aan:** Director: Planning + Economic Development  
**Att Aandag** Salome Newman  
**From ▫ Van:** Manager: Development (Infrastructure Services)  
**Author ▫ Skrywer:** Tyrone King  
**Date ▫ Datum:** 18 May 2022  
**Our Ref ▫ Ons Verw:** Civil LU 2191  
**Your Ref:** LU/12702  
**Re ▫ Insake:** Erf 263, Stellenbosch – revised layout and flat units changed form 31 to 27

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The application is recommended for approval, subject to the following:

- 1. Civil Engineering Services**
  - 1.1 All conditions of our approval conditions Memo dated 25 Aug. 2021 remain valid, unless it is in contradiction with anything in this Memo, in which case the conditions of this Memo will govern.
  - 1.2 Stacking distance must be 13.5m minimum from the roads edge.
  - 1.3 Entrance width must be 5m to allow vehicles to pass each other.
- 2. Development Charges (DCs)**
  - 2.1 The following DC's are payable: See **Development Charge Calculation** attached.
  - 2.2 The DC's were calculated by using the 2021/2022 tariff structure. If DC's are paid after 30 June 2022 it will have to be recalculated by using the tariff structure applicable at date of payment.
  - 2.3 The appropriate DC's are payable before building plan approval.

**3. Electrical Engineering**

3.1 Refer to **Annexure: Electrical**

A handwritten signature in black ink, appearing to read 'Tyrone King', written in a cursive style.

**Tyrone King Pr Tech Eng  
MANAGER: DEVELOPMENT (INFRASTRUCTURE SERVICES)**

W:\2.0 DEVELOPMENT\00 Developments\2191 (TK) Erf 263, Stellenbosch (LU-12702) (Alexander Str)\2191 (TK) Erf 263, Stellenbosch (LU-12702)\_revised layout.doc

# Stellenbosch Municipality - Development Charge Calculation




## APPLICATION INFORMATION

Application Number	DC 2191 (TK) Erf 263, Stellenbosch (LU-12702)
Date	Wednesday, 30/Mar/2022
Financial Year	2021/22
Erf Location	Stellenbosch Town
Erf No	263
Erf Size (m <sup>2</sup> )	
Suburb	
Applicant	
Approved Building Plan No.	Drawing No E4218/D/201 Rev 00 Dated 25/02/2022

## SUMMARY OF DC CALCULATION

Unit(s)	Water kl/day	Sewer kl/day	Storm-water ha°C	Solid-Waste t/week	Roads trips/day	Community Facilities person	Totals
Total Increased Services Usage	9.450	8.400	0.168	0.840	57.75	57.8	
Total Development Charges before Deductions	R 256 508.88	R 218 680.67	R 17 172.13	R 44 624.66	R 377 727.66	R 281 781.42	R 1 196 495.41
Total Deductions							
Total Payable (excluding VAT)	R 256 508.88	R 218 680.67	R 17 172.13	R 44 624.66	R 377 727.66	R 281 781.42	R 1 196 495.41
VAT	R 38 476.33	R 32 802.10	R 2 575.82	R 6 693.70	R 56 659.15	R 42 267.21	R 179 474.31
Total Payable (including VAT)	R 294 985.21	R 251 482.76	R 19 747.94	R 51 318.36	R 434 386.80	R 324 048.63	R 1 375 969.72

## APPLICANT INFORMATION

Application Processed by:	Tyrone King
Signature	
Date	As above
Amount Paid:	
Date Payment Received	
Receipt Number	



**Stellenbosch Town**

Land Use Category	Unit Type	Existing Usage		Proposed New Usage		Increased Usage		Development Charge Levied (excl VAT)				Total			
		area (m2)	du m <sup>2</sup> GLA m <sup>2</sup>	du/ha % GLA	area (m2)	du m <sup>2</sup> GLA m <sup>2</sup>	du/ha % GLA	du m <sup>2</sup> GLA m <sup>2</sup>	Water	Sewer	Storm-water		Solid-Waste	Roads	Community Facilities
Infrastructure Type applicable? (yes/no)															
	du m <sup>2</sup> GLA m <sup>2</sup>	area (m2)	du m <sup>2</sup> GLA m <sup>2</sup>	du/ha % GLA	area (m2)	du m <sup>2</sup> GLA m <sup>2</sup>	du/ha % GLA	du m <sup>2</sup> GLA m <sup>2</sup>	Water	Sewer	Storm-water	Solid-Waste	Roads	Community Facilities	Total
Residential	Single Residential - >100m2		0	0		0	0	0	R	R	R	R	R	R	R
	Single Residential - >500m2		0	0		0	0	0	R	R	R	R	R	R	R
	Single Residential - >250m2		0	0		0	0	0	R	R	R	R	R	R	R
	Single Residential - <250m2		0	0		0	0	0	R	R	R	R	R	R	R
	Less Formal Residential - >250m2		0	0		0	0	0	R	R	R	R	R	R	R
	Less Formal Residential - <250m2		0	0		0	0	0	R	R	R	R	R	R	R
	Group Residential - >250m2		0	0		0	0	0	R	R	R	R	R	R	R
	Group Residential - <250m2		0	0		0	0	0	R	R	R	R	R	R	R
	Medium Density Residential - >250m2		0	0		0	0	0	R	R	R	R	R	R	R
	Medium Density Residential - <250m2		0	0		0	0	0	R	R	R	R	R	R	R
High Density Residential - flats		0	0		0	0	0	R	R	R	R	R	R	R	
High Density Residential - student rooms		0	0		27	0	0	R	R	R	R	R	R	R	
Local Business - office	m2 GLA		0	0%		0	0%	0	R	R	R	R	R	R	
Local Business - retail	m2 GLA		0	0%		0	0%	0	R	R	R	R	R	R	
General Business - office	m2 GLA		0	0%		0	0%	0	R	R	R	R	R	R	
General Business - retail	m2 GLA		0	0%		0	0%	0	R	R	R	R	R	R	
Community	m2 GLA		0	0%		0	0%	0	R	R	R	R	R	R	
Education	m2 GLA		0	0%		0	0%	0	R	R	R	R	R	R	
Light Industrial	m2 GLA		0	0%		0	0%	0	R	R	R	R	R	R	
General Industrial - light	m2 GLA		0	0%		0	0%	0	R	R	R	R	R	R	
Warehousing	m2 GLA		0	0%		0	0%	0	R	R	R	R	R	R	
General Industrial - heavy	m2 GLA		0	0%		0	0%	0	R	R	R	R	R	R	
Noxious Industrial - heavy	m2 GLA		0	0%		0	0%	0	R	R	R	R	R	R	
Resort	m2 GLA		0	0%		0	0%	0	R	R	R	R	R	R	
Public Open Space	m2		0	0%		0	0%	0	R	R	R	R	R	R	
Private Open Space	m2		0	0%		0	0%	0	R	R	R	R	R	R	
Natural Environment	m2		0	0%		0	0%	0	R	R	R	R	R	R	
Utility Services	m2 GLA		0	0%		0	0%	0	R	R	R	R	R	R	
Public Roads and Parking	m2		0	0%		0	0%	0	R	R	R	R	R	R	
Transport Facility	m2		0	0%		0	0%	0	R	R	R	R	R	R	
Limited Use	m2		0	0%		0	0%	0	R	R	R	R	R	R	
To be calculated based on equivalent demands															
Special															
		0			0										

\* Complete yellow/green cells.

\*\* du = dwelling unit, GLA=Cross lettable area.

\*\*\* displays red if not equal to existing area.

Total Development Charges before Deductions

% Deductions per service (%)

% Deductions per service (amount)

Additional Deduction per service - from Service Agreement (sum)

VAT

Sub Total after Deductions (including VAT)

Total

R256 508.88	R218 680.67	R17 172.13	R44 624.66	R377 727.66	281 781.42	R1 196 495.41
0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
R 0.00	R 0.00	R 0.00	R 0.00	R 0.00	R 0.00	R 0.00
R256 508.88	R218 680.67	R17 172.13	R44 624.66	R377 727.66	281 781.42	R1 196 495.41
R38 476.33	R32 802.10	R2 575.82	R6 693.70	R56 659.15	42 267.21	R179 474.31
R294 985.21	R251 482.76	R19 747.94	R51 318.36	R324 386.60	324 048.63	R1 375 969.72

**ELETRICITY SERVICES: CONDITIONS OF APPROVAL**  
**Erf 263**

**GENERAL COMMENT:**

1. Development Bulk Levy Contributions are payable

**CONDITIONS**

2. **The electrical consulting engineer responsible for the development shall schedule an appointment with Manager Electricity Services Development Services) before commencing with the construction of the development. As well as to discuss new power requirements if required.**

3. The development's specifications must be submitted to Stellenbosch Municipality (Engineering Services) for approval. i.e.

- a) The design of the electrical distribution system
- b) The location of substations(s) and related equipment.

4. A separate distribution board/s shall be provided for municipal switchgear and metering. (Shall be accessible & lockable). Pre-paid metering systems shall be installed in domestic dwellings.

5. 24-hour access to the location of the substation, metering panel and main distribution board is required by Technical Services. (On street boundary)

6. Appropriate caution shall be taken during construction, to prevent damage to existing service cables and electrical equipment in the vicinity, should damage occur, the applicant will be liable for the cost involved for repairing damages.

7. On completion of the development, Stellenbosch Municipality (Technical Services) together with the electrical consulting engineer and electrical contractor will conduct a take-over inspection.

8. No electricity supply will be switched on (energised) if the Development contributions, take-over Inspection and Certificate(s) of Compliance are outstanding.

9. All new developments and upgrades of supplies to existing projects are subject to **SANS 10400-XA** energy savings and efficiency implementations such as:

- Solar water Heating or Heat Pumps in Dwellings
- Energy efficient lighting systems
- Roof insulation with right R-value calculations .
  - In large building developments;
  - Control Air condition equipment tied to alternative efficiency systems
  - Preheat at least 50% of hotwater with alternative energy saving sources
  - All hot water pipes to be clad with insulation with R-value of 1
  - Provide a professional engineer's certificate to proof that energy saving measures is not feasible.



Signature

Date.....06/08/2021  
Bradley Williams

## Jacques Volschenk

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**From:** Bernabe De La Bat <Bernabe.DeLaBat@stellenbosch.gov.za>  
**Sent:** Tuesday, 26 October 2021 14:12  
**To:** Jacques Volschenk  
**Cc:** Robert Fooy; Barbara-Ann Henning  
**Subject:** RE: Erf 263, Stellenbosch (LU/12702)

Beste Jacques

Ek verwys na jou epos hieronder sowel as jou gewysigde voorlegging vir die ontwikkeling op erf 263 Alexanderstraat.

Ek het geen beswaar teen die gewysigde voorstel nie omdat dit in breë ooreenstem met die skema wat ons reeds goedgekeur/ondersteun het nie substansieël daarvan afwyk nie. My kommentaar ter ondersteuning bly dus onveranderd.

Ek hoop dit help.



*Kind regards*

**Bernabé de la Bat (Pr.Pln)**

A/696/1992

**Manager: Spatial Planning**

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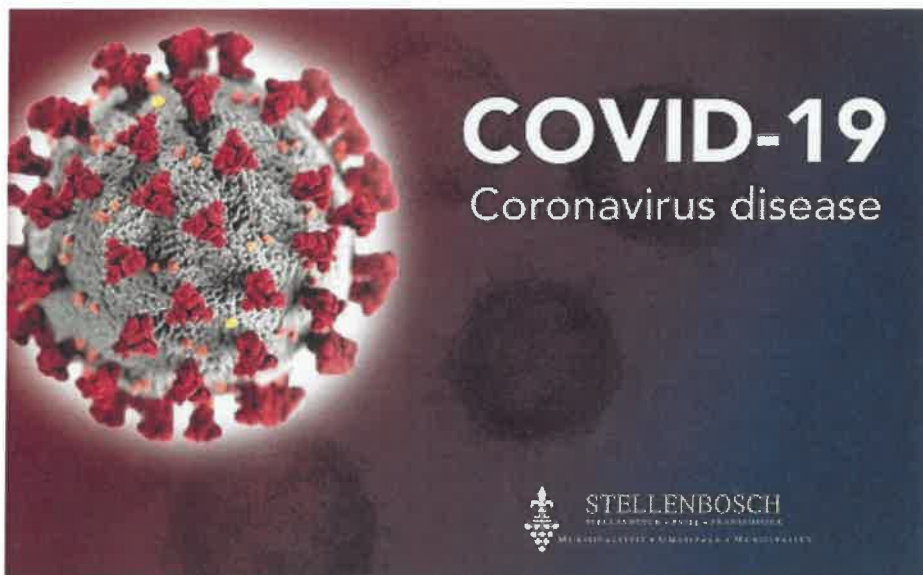
T: +27 21 808 8653

129 Dorp Street, Stellenbosch, 7600

[www.stellenbosch.gov.za](http://www.stellenbosch.gov.za)



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[http://www.stellenbosch.gov.za/main\\_pages/disclaimerpage.htm](http://www.stellenbosch.gov.za/main_pages/disclaimerpage.htm)





**STELLENBOSCH**  
STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNICIPALITY • UMASIPALA • MUNISIPALITEIT

## **ANNEXURE G**



# STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/6894

Erf Number: Erf 263, Stellenbosch

Your Reference Number: E4218

Enquiries: R Fooy / N Petersen

Email: [Robert.Fooy@stellenbosch.gov.za](mailto:Robert.Fooy@stellenbosch.gov.za) / [Nicole.Petersen@stellenbosch.gov.za](mailto:Nicole.Petersen@stellenbosch.gov.za)

Contact No. 021 808 8680 / 8318

Date: 7 March 2019

## REGISTERED MAIL



Sir/Madam

### APPLICATION FOR DEPARTURES AND APPROVAL OF SITE DEVELOPMENT PLAN: ERF 263, ALEXANDER STREET, STELLENBOSCH

1. The application in the above regard, refers.
2. The Municipal Planning Tribunal, on 8 February 2019, **approved in whole**, in terms of Section 60 of the Stellenbosch Municipal Land Use Planning By-law, promulgated by Notice no 354/2015 dated 20 October 2015, the application for the following:
  - (i) The relaxation of the street building line from 7.6m to 0m to make provision for a refuse room.
  - (ii) The relaxation of the street building line from 7.6m to 4.1m for the main building.
  - (iii) The relaxation of the lateral building line adjacent to erf 264 from 4.6m to 0m.
  - (iv) The relaxation of the lateral building line adjacent to erf 448 from 4.6m to 0m.
  - (v) The relaxation of the rear building line from 4.6m to 3.3m.
  - (vi) A departure to exceed the permitted coverage from 25% to 53.7% (floor level 1), 25% to 53.3% (floor level 2), 25% to 52.5% (floor level 3) and 25% to 44.5% (floor level 4).
  - (vii) A departure to exceed the permitted floor factor from 0.4 to 1.95.
  - (viii) A departure to exceed the number of storeys from two storeys to four storeys.
  - (ix) The Site Development Plan.

3. **The above approvals are subject to the following conditions in terms of Section 66 of the above-mentioned by-law;**

- (i) The approval only applies to the proposed development in question, as indicated on Drawing Nos. SDP001 dated 22 September 2017, 100 and 101 dated 19 September 2017, drawn by Dennis Moss Partnership, and shall not be construed as authority to depart from any other legal prescriptions or requirements from Council;
- (ii) The building plans shall be substantially in accordance with the approved SDP;
- (iii) A service agreement be entered into between the owner and the Municipality prior to a building plan being submitted;
- (iv) All visitors parking bays be indicated on the building plans and form part of the communal area to be used by visitors only;
- (v) Any water that accumulates in the basement must be stored onsite and used for irrigation purposes and form part of the grey water system to the satisfaction of the Municipality (Director: Planning and Economic Development);
- (vi) No occupation certificate will be issued should the development not comply with the conditions of approval as imposed by the internal departments as part of the approval or the building plan approval process;
- (vii) The approval will lapse if not implemented within 5 years from date of final notification of the application.

4. **REASONS FOR THE DECISION**

- (i) The property is located in a mixed-use area where higher density development is promoted and encouraged by Council due to its proximity to the Central Business District and the University;
- (ii) The proposed development is not regarded to be out of scale or character with its surroundings;
- (iii) The proposal is compatible with the surrounding land uses and built environment;
- (iv) The specific residential offering will ensure that the units are occupied permanently and not only for eight months of the years as in the case of student accommodation;
- (v) The proposal promotes Council policy as noted in the SDF and IDP of densification within the urban edge;
- (vi) The proposal is consistent with the principles of the Stellenbosch Conservation Strategy;
- (vii) The proposal complies with the land use planning principles (spatial justice, spatial sustainability, efficiency, spatial resilience and good administration) referred to in section 59 of the Land Use Planning Act, 3 of 2014;
- (viii) The residential development is in walking distance of the CBD and university which will reduce the number of vehicular trips generated by the building.

5. You are hereby informed of your right to appeal to the Appeal Authority in terms of section 79(2) of the said legislation.
6. If you intend to appeal, the appeal form, which can be obtained from our Advice Centre; Land Use Management, Ground floor, Plein Street, Stellenbosch or the municipal website at [www.stellenbosch.gov.za/planning\\_portal](http://www.stellenbosch.gov.za/planning_portal), must be completed and should be directed to the Appeal Authority and received by the Municipal Manager at PO Box 17, Stellenbosch, 7599 or faxed to 021 886 6749, or hand delivered to the Office of the Municipal Manager, third floor, Plein Street, Stellenbosch within 21 days of registration of this decision letter together with proof of payment of the appeal fee (*only applicable to applicant appeals*). See the approved tariff structure on the municipal website.
7. In the event of an applicant appeal, you as applicant are requested to simultaneously serve notice of the appeal on any person who commented on the application and any other persons as the Municipality may determine (see attached list). Proof of serving the notification must be submitted to the Municipality, within 14 days of serving the notification.
8. The notice must be served in accordance with section 35 of the said legislation and in accordance with the additional requirements as may be determined by the Municipality. The notice must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
9. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.
10. Kindly note the above decision is suspended and may therefore not be acted on until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully

**FOR DIRECTOR: PLANNING AND ECONOMIC DEVELOPMENT**



STELLENBOSCH MUNICIPALITY  
 THIS SITE DEVELOPMENT PLAN IS APPROVED IN  
 TERMS OF SECTION 60 OF THE STELLENBOSCH  
 MUNICIPAL LAND USE PLANNING BY-LAW (2015),  
 SUBJECT TO THE CONDITIONS AS PER APPENDIX.  
 MUNICIPAL MANAGER DATE



WEST ELEVATION



SECTION A-A



ALEXANDER STREET ELEVATION

**ABSTRACT**

General Contractor: J. J. van der Merwe  
 General Planning: J. J. van der Merwe  
 Architect: J. J. van der Merwe  
 Structural Engineer: J. J. van der Merwe  
 Electrical Engineer: J. J. van der Merwe  
 Mechanical Engineer: J. J. van der Merwe  
 Water Engineer: J. J. van der Merwe  
 Sewerage Engineer: J. J. van der Merwe  
 Land Use Planner: J. J. van der Merwe  
 Surveyor: J. J. van der Merwe  
 Quantity Surveyor: J. J. van der Merwe  
 Valuer: J. J. van der Merwe  
 Environmental Engineer: J. J. van der Merwe  
 Traffic Engineer: J. J. van der Merwe  
 Acoustic Engineer: J. J. van der Merwe  
 Fire Engineer: J. J. van der Merwe  
 Energy Auditor: J. J. van der Merwe  
 Sustainability Consultant: J. J. van der Merwe  
 Project Manager: J. J. van der Merwe  
 Client: J. J. van der Merwe

**DESMIS ROSE PARTNERSHIP**  
 ARCHITECTS

**TASHMORE (PTY) LTD**  
 PROJECT NO: 2015/001  
**ALEXANDER STREET APARTMENTS**  
**ERF 263**  
**STELLENBOSCH**

**ELEVATIONS & SECTION**

**FOR DISCUSSION**

PROJECT NO:	2015/001
CLIENT:	TASHMORE (PTY) LTD
DATE:	15-08-2017
SCALE:	AS SHOWN
STATUS:	FOR DISCUSSION

This drawing is the property of Desmis Rose Partnership Architects and is not to be used for any other purpose without the written consent of Desmis Rose Partnership Architects.



STELLENBOSCH MUNICIPALITY  
 THIS SITE DEVELOPMENT PLAN IS APPROVED IN  
 TERMS OF SECTION 60 OF THE STELLENBOSCH  
 MUNICIPAL LAND USE PLANNING BY-LAW (2015),  
 SUBJECT TO THE CONDITIONS AS PER APPENDIX K.  
 MUNICIPAL MANAGER 7/3/19  
 DATE

DENNIS HOSS PARTNERSHIP  


TASHMORE (PTY) LTD  
 PROJECT  
 ALEXANDER STREET  
 APARTMENTS  
 ERF 263  
 STELLENBOSCH

PROJECT NO.  
 SITE DEVELOPMENT PLAN  
 LANDSCAPE PLAN









PROJECT NO.	DATE	SCALE
DP218	23-09-2017	1:100
DATE	BY	CHKD
23-09-2017	DP	DP
DATE	BY	CHKD

FOR DISCUSSION

This drawing has not been registered in terms of the Registration of Drawings Act 104 of 1963. It is not a contract document and should not be used as such.



**LEGEND**

-  NEW TREES
-  GRASS BLOCK PAVING
-  PAVING
-  STEPPING STONE PATHWAY
-  LAWN
-  SHRUBS & GROUND COVERS
-  FEATURE/FOCAL PLANTS
-  CREEPER ON PERGOLA (BOUGAINVILLE OR SIMILAR)

**STELLENBOSCH MUNICIPALITY**  
 THIS SITE DEVELOPMENT PLAN IS APPROVED IN  
 TERMS OF SECTION 60 OF THE STELLENBOSCH  
 MUNICIPAL LAND USE PLANNING BY-LAW (2015),  
 SUBJECT TO THE CONDITIONS AS PER APPENDIX.  
 MUNICIPAL MANAGER \_\_\_\_\_ DATE 27/1/19

**SUBMISSIONS:**  
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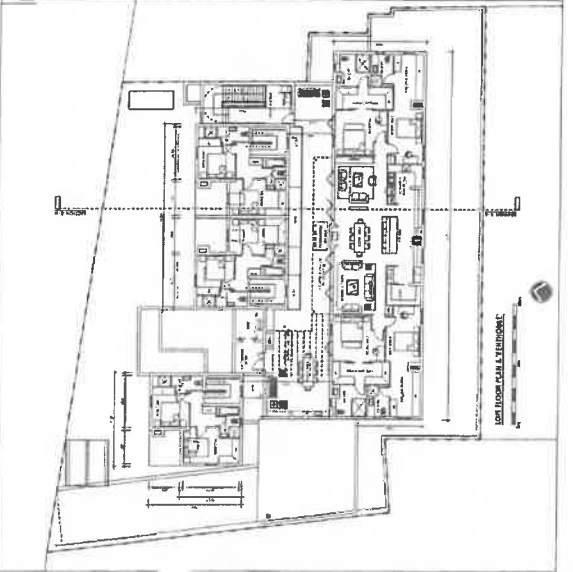
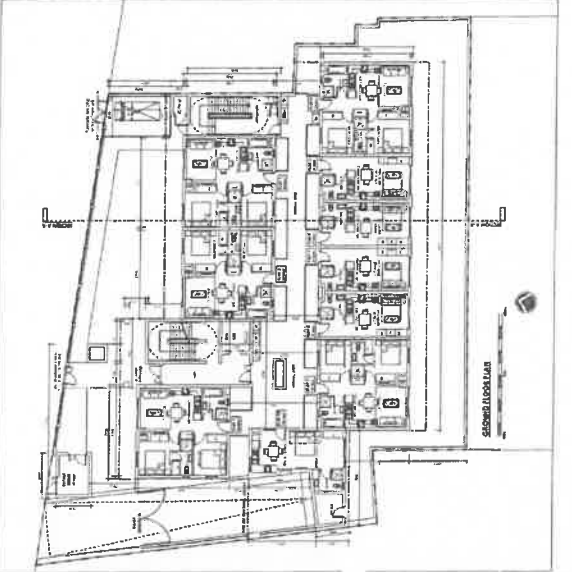
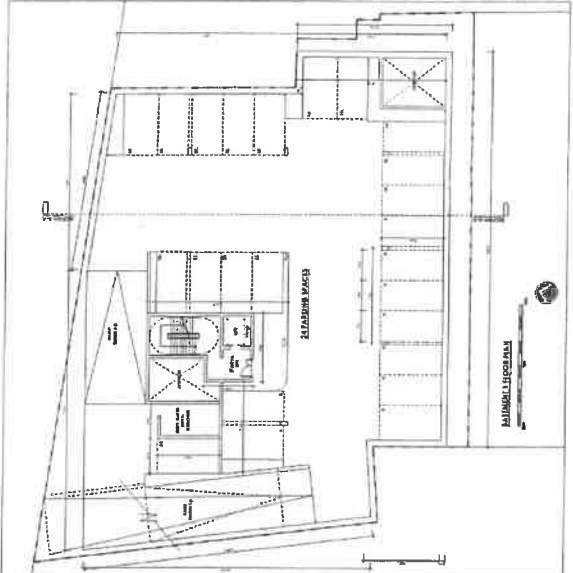
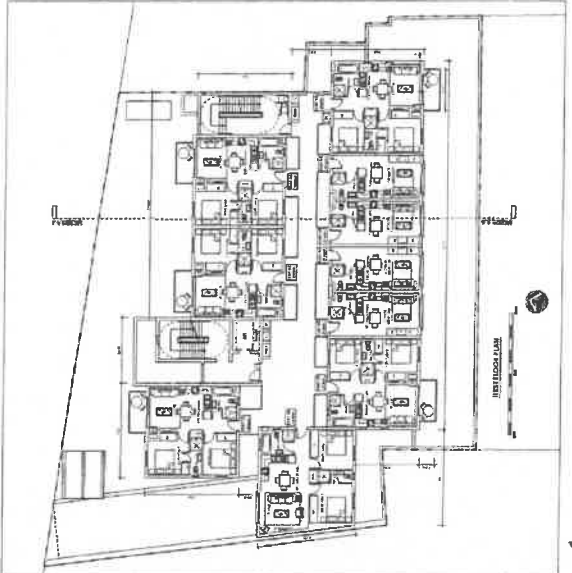
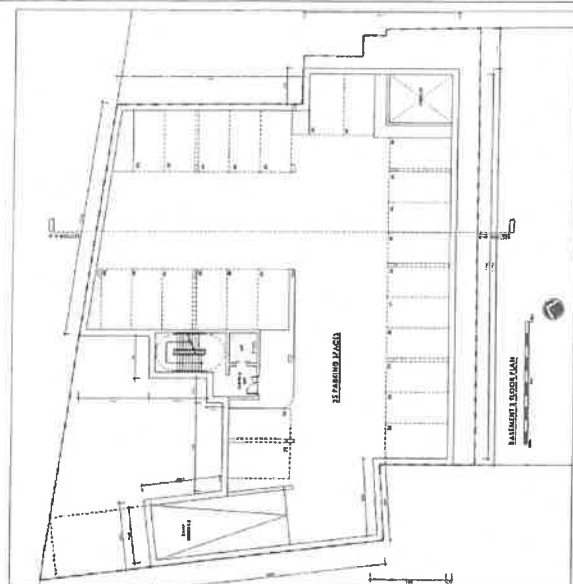
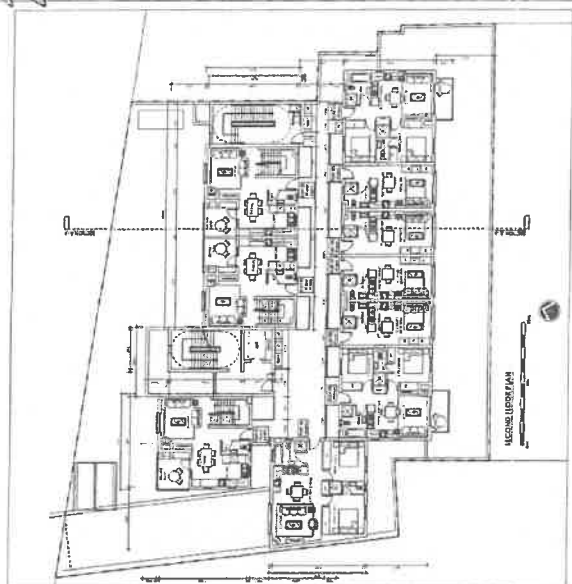


**TASHMORE (PTY) LTD**  
**ALEXANDER STREET APARTMENTS ERF 263**  
**STELLENBOSCH**

**SITE DEVELOPMENT PLAN:  
 FLOORPLANS**

PROJECT NO:	ER/18	DATE:	AS SHOWN
DATE:	18/01/2017	SCALE:	AS SHOWN
BY:	TASHMORE	APP:	ER/18/17

**FOR DISCUSSION**





**STELLENBOSCH**  
STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNICIPALITY • UMASIPALA • MUNISIPALITEIT

## **ANNEXURE H**

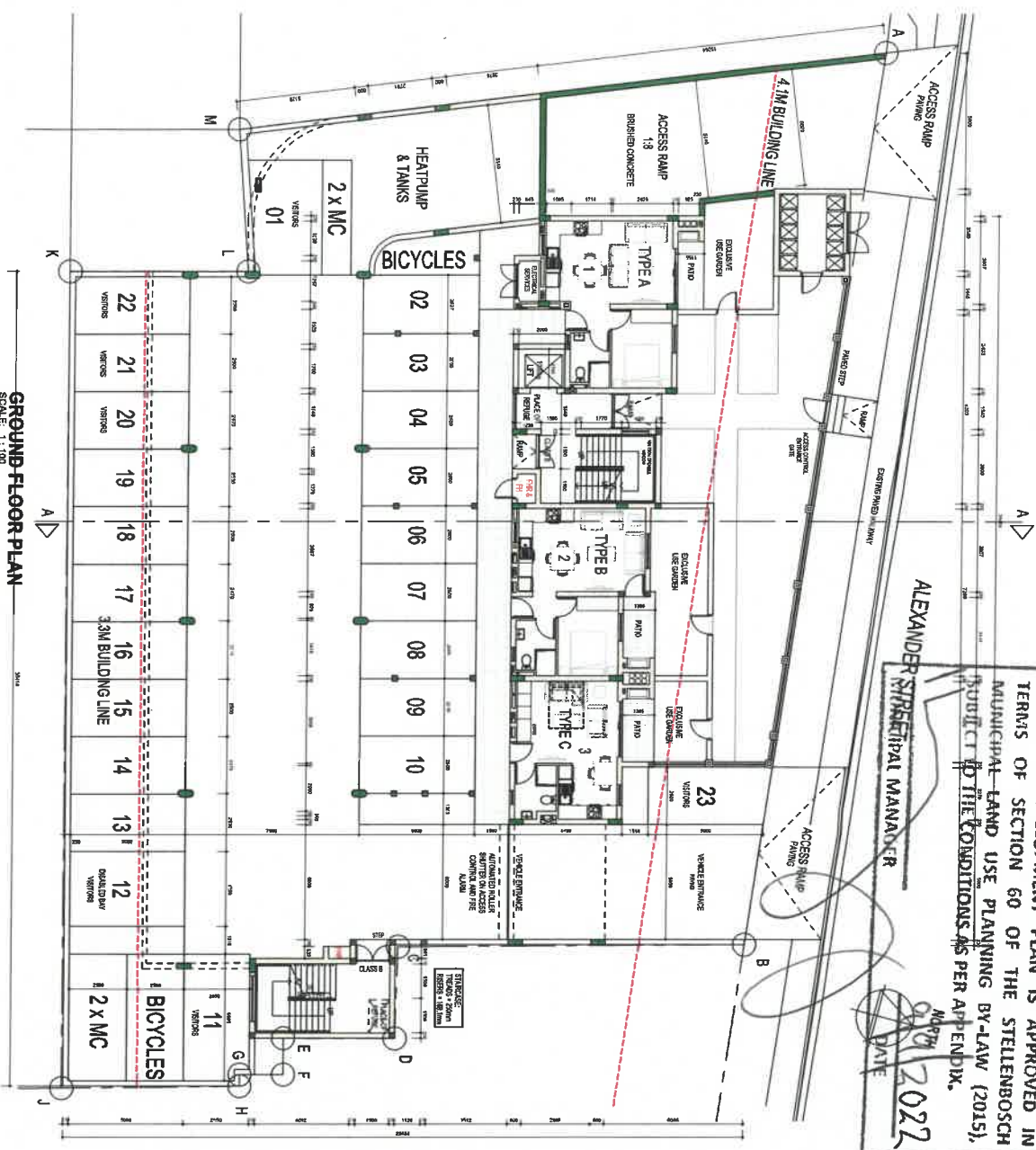
**STELLENBOSCH MUNICIPALITY**

**THIS SITE DEVELOPMENT PLAN IS APPROVED IN TERMS OF SECTION 60 OF THE STELLENBOSCH MUNICIPAL LAND USE PLANNING BY-LAW (2015), SUBJECT TO THE CONDITIONS AS PER APPENDIX A.**

DATE: 02/12/2022

MAYOR: \_\_\_\_\_

MUNICIPAL MANAGER: \_\_\_\_\_



**GROUND FLOOR PLAN**  
SCALE: 1:100

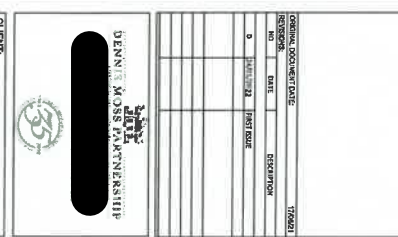
REF NO	DEVELOPER - ASBZ SCHEDULE	UNITS TYPES & NUMBERS	COMMON PROPERTIES
1	28/30pm	TYPE A - ONE BEDROOM - 4 UNITS	TYPE A - ONE BEDROOM - 4 UNITS
2	30/30pm	TYPE B - ONE BEDROOM - 4 UNITS	TYPE B - ONE BEDROOM - 4 UNITS
3	32/30pm	TYPE C - BACKLON - 1 UNITS	TYPE C - BACKLON - 1 UNITS
4	28/30pm	TYPE D - ONE BEDROOM - 4 UNITS	TYPE D - ONE BEDROOM - 4 UNITS
5	28/30pm	TYPE E - ONE BEDROOM - 4 UNITS	TYPE E - ONE BEDROOM - 4 UNITS
6	28/30pm	TYPE F - ONE BEDROOM - 4 UNITS	TYPE F - ONE BEDROOM - 4 UNITS
7	28/30pm	TYPE G - ONE BEDROOM - 4 UNITS	TYPE G - ONE BEDROOM - 4 UNITS
8	28/30pm	TYPE H - ONE BEDROOM - 4 UNITS	TYPE H - ONE BEDROOM - 4 UNITS
9	28/30pm	TYPE I - ONE BEDROOM - 4 UNITS	TYPE I - ONE BEDROOM - 4 UNITS
10	28/30pm	TYPE J - ONE BEDROOM - 4 UNITS	TYPE J - ONE BEDROOM - 4 UNITS
11	28/30pm	TYPE K - ONE BEDROOM - 4 UNITS	TYPE K - ONE BEDROOM - 4 UNITS
12	28/30pm	TYPE L - ONE BEDROOM - 4 UNITS	TYPE L - ONE BEDROOM - 4 UNITS
13	28/30pm	TYPE M - ONE BEDROOM - 4 UNITS	TYPE M - ONE BEDROOM - 4 UNITS
14	28/30pm	TYPE N - ONE BEDROOM - 4 UNITS	TYPE N - ONE BEDROOM - 4 UNITS
15	28/30pm	TYPE O - ONE BEDROOM - 4 UNITS	TYPE O - ONE BEDROOM - 4 UNITS
16	28/30pm	TYPE P - ONE BEDROOM - 4 UNITS	TYPE P - ONE BEDROOM - 4 UNITS
17	28/30pm	TYPE Q - ONE BEDROOM - 4 UNITS	TYPE Q - ONE BEDROOM - 4 UNITS
18	28/30pm	TYPE R - ONE BEDROOM - 4 UNITS	TYPE R - ONE BEDROOM - 4 UNITS
19	28/30pm	TYPE S - ONE BEDROOM - 4 UNITS	TYPE S - ONE BEDROOM - 4 UNITS
20	28/30pm	TYPE T - ONE BEDROOM - 4 UNITS	TYPE T - ONE BEDROOM - 4 UNITS
21	28/30pm	TYPE U - ONE BEDROOM - 4 UNITS	TYPE U - ONE BEDROOM - 4 UNITS
22	28/30pm	TYPE V - ONE BEDROOM - 4 UNITS	TYPE V - ONE BEDROOM - 4 UNITS
23	28/30pm	TYPE W - ONE BEDROOM - 4 UNITS	TYPE W - ONE BEDROOM - 4 UNITS
24	28/30pm	TYPE X - ONE BEDROOM - 4 UNITS	TYPE X - ONE BEDROOM - 4 UNITS
25	28/30pm	TYPE Y - ONE BEDROOM - 4 UNITS	TYPE Y - ONE BEDROOM - 4 UNITS
26	28/30pm	TYPE Z - ONE BEDROOM - 4 UNITS	TYPE Z - ONE BEDROOM - 4 UNITS
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28	28/30pm	TYPE AB - ONE BEDROOM - 4 UNITS	TYPE AB - ONE BEDROOM - 4 UNITS
29	28/30pm	TYPE AC - ONE BEDROOM - 4 UNITS	TYPE AC - ONE BEDROOM - 4 UNITS
30	28/30pm	TYPE AD - ONE BEDROOM - 4 UNITS	TYPE AD - ONE BEDROOM - 4 UNITS
31	28/30pm	TYPE AE - ONE BEDROOM - 4 UNITS	TYPE AE - ONE BEDROOM - 4 UNITS
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33	28/30pm	TYPE AG - ONE BEDROOM - 4 UNITS	TYPE AG - ONE BEDROOM - 4 UNITS
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73	28/30pm	TYPE BU - ONE BEDROOM - 4 UNITS	TYPE BU - ONE BEDROOM - 4 UNITS
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75	28/30pm	TYPE BW - ONE BEDROOM - 4 UNITS	TYPE BW - ONE BEDROOM - 4 UNITS
76	28/30pm	TYPE BX - ONE BEDROOM - 4 UNITS	TYPE BX - ONE BEDROOM - 4 UNITS
77	28/30pm	TYPE BY - ONE BEDROOM - 4 UNITS	TYPE BY - ONE BEDROOM - 4 UNITS
78	28/30pm	TYPE BZ - ONE BEDROOM - 4 UNITS	TYPE BZ - ONE BEDROOM - 4 UNITS
79	28/30pm	TYPE CA - ONE BEDROOM - 4 UNITS	TYPE CA - ONE BEDROOM - 4 UNITS
80	28/30pm	TYPE CB - ONE BEDROOM - 4 UNITS	TYPE CB - ONE BEDROOM - 4 UNITS
81	28/30pm	TYPE CC - ONE BEDROOM - 4 UNITS	TYPE CC - ONE BEDROOM - 4 UNITS
82	28/30pm	TYPE CD - ONE BEDROOM - 4 UNITS	TYPE CD - ONE BEDROOM - 4 UNITS
83	28/30pm	TYPE CE - ONE BEDROOM - 4 UNITS	TYPE CE - ONE BEDROOM - 4 UNITS
84	28/30pm	TYPE CF - ONE BEDROOM - 4 UNITS	TYPE CF - ONE BEDROOM - 4 UNITS
85	28/30pm	TYPE CG - ONE BEDROOM - 4 UNITS	TYPE CG - ONE BEDROOM - 4 UNITS
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87	28/30pm	TYPE CI - ONE BEDROOM - 4 UNITS	TYPE CI - ONE BEDROOM - 4 UNITS
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93	28/30pm	TYPE CO - ONE BEDROOM - 4 UNITS	TYPE CO - ONE BEDROOM - 4 UNITS
94	28/30pm	TYPE CP - ONE BEDROOM - 4 UNITS	TYPE CP - ONE BEDROOM - 4 UNITS
95	28/30pm	TYPE CQ - ONE BEDROOM - 4 UNITS	TYPE CQ - ONE BEDROOM - 4 UNITS
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98	28/30pm	TYPE CT - ONE BEDROOM - 4 UNITS	TYPE CT - ONE BEDROOM - 4 UNITS
99	28/30pm	TYPE CU - ONE BEDROOM - 4 UNITS	TYPE CU - ONE BEDROOM - 4 UNITS
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102	28/30pm	TYPE CX - ONE BEDROOM - 4 UNITS	TYPE CX - ONE BEDROOM - 4 UNITS
103	28/30pm	TYPE CY - ONE BEDROOM - 4 UNITS	TYPE CY - ONE BEDROOM - 4 UNITS
104	28/30pm	TYPE CZ - ONE BEDROOM - 4 UNITS	TYPE CZ - ONE BEDROOM - 4 UNITS
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111	28/30pm	TYPE DG - ONE BEDROOM - 4 UNITS	TYPE DG - ONE BEDROOM - 4 UNITS
112	28/30pm	TYPE DH - ONE BEDROOM - 4 UNITS	TYPE DH - ONE BEDROOM - 4 UNITS
113	28/30pm	TYPE DI - ONE BEDROOM - 4 UNITS	TYPE DI - ONE BEDROOM - 4 UNITS
114	28/30pm	TYPE DJ - ONE BEDROOM - 4 UNITS	TYPE DJ - ONE BEDROOM - 4 UNITS
115	28/30pm	TYPE DK - ONE BEDROOM - 4 UNITS	TYPE DK - ONE BEDROOM - 4 UNITS
116	28/30pm	TYPE DL - ONE BEDROOM - 4 UNITS	TYPE DL - ONE BEDROOM - 4 UNITS
117	28/30pm	TYPE DM - ONE BEDROOM - 4 UNITS	TYPE DM - ONE BEDROOM - 4 UNITS
118	28/30pm	TYPE DN - ONE BEDROOM - 4 UNITS	TYPE DN - ONE BEDROOM - 4 UNITS
119	28/30pm	TYPE DO - ONE BEDROOM - 4 UNITS	TYPE DO - ONE BEDROOM - 4 UNITS
120	28/30pm	TYPE DP - ONE BEDROOM - 4 UNITS	TYPE DP - ONE BEDROOM - 4 UNITS
121	28/30pm	TYPE DQ - ONE BEDROOM - 4 UNITS	TYPE DQ - ONE BEDROOM - 4 UNITS
122	28/30pm	TYPE DR - ONE BEDROOM - 4 UNITS	TYPE DR - ONE BEDROOM - 4 UNITS
123	28/30pm	TYPE DS - ONE BEDROOM - 4 UNITS	TYPE DS - ONE BEDROOM - 4 UNITS
124	28/30pm	TYPE DT - ONE BEDROOM - 4 UNITS	TYPE DT - ONE BEDROOM - 4 UNITS
125	28/30pm	TYPE DU - ONE BEDROOM - 4 UNITS	TYPE DU - ONE BEDROOM - 4 UNITS
126	28/30pm	TYPE DV - ONE BEDROOM - 4 UNITS	TYPE DV - ONE BEDROOM - 4 UNITS
127	28/30pm	TYPE DV - ONE BEDROOM - 4 UNITS	TYPE DV - ONE BEDROOM - 4 UNITS

- General Notes**
- Contractor and Sub-Contractor to check all work on site and ensure that all work complies with the approved plans and specifications. No work shall be carried out until the necessary permits and approvals have been obtained from the relevant authorities.
  - The contractor shall be responsible for the safety of all workers and the public. All workers shall wear appropriate safety gear and follow all safety protocols at all times.
  - All construction materials and equipment must be stored in designated areas and not obstruct access or create safety hazards.
  - The contractor shall maintain clear access to all services and utilities at all times. Any changes to service locations must be approved by the relevant authorities.
  - Water and sewer lines must be clearly marked and protected throughout the construction process. Any damage to these lines must be repaired immediately at the contractor's expense.
  - The contractor shall be responsible for the disposal of all waste materials in accordance with local regulations.
  - All construction work shall be completed within the specified time frame.
  - The contractor shall provide regular progress reports to the project manager.
  - All construction work shall be completed in accordance with the approved plans and specifications.
  - The contractor shall be responsible for the removal and disposal of all construction materials and equipment at the end of the project.
  - The contractor shall maintain the site in a safe and clean condition at all times.
  - The contractor shall be responsible for the protection of all existing structures and services on the site.
  - The contractor shall be responsible for the protection of all trees and landscaping on the site.
  - The contractor shall be responsible for the protection of all archaeological remains on the site.
  - The contractor shall be responsible for the protection of all cultural heritage sites on the site.

NO	DATE	DESCRIPTION
1	2022/11/24	ISSUED FOR PERMIT
2	2022/11/24	ISSUED FOR PERMIT
3	2022/11/24	ISSUED FOR PERMIT
4	2022/11/24	ISSUED FOR PERMIT

**CLIENT:**  
**K2020086142 (PTY) LTD**

**PROJECT:**  
**ALEXANDER STREET APARTMENTS**  
**ERF 263**  
**STELLENBOSCH**



**DENNIS MOSS ARCHITECTURE**  
2815 UNIVERSITY DRIVE  
KEMPERSBURG, 7442  
TEL: 021 853 5111  
WWW.DENNISMOSS.CO.za

**PROJECT TITLE:**  
**GROUND FLOOR PLAN**

**SCALE:**  
**1:100 @ A1**

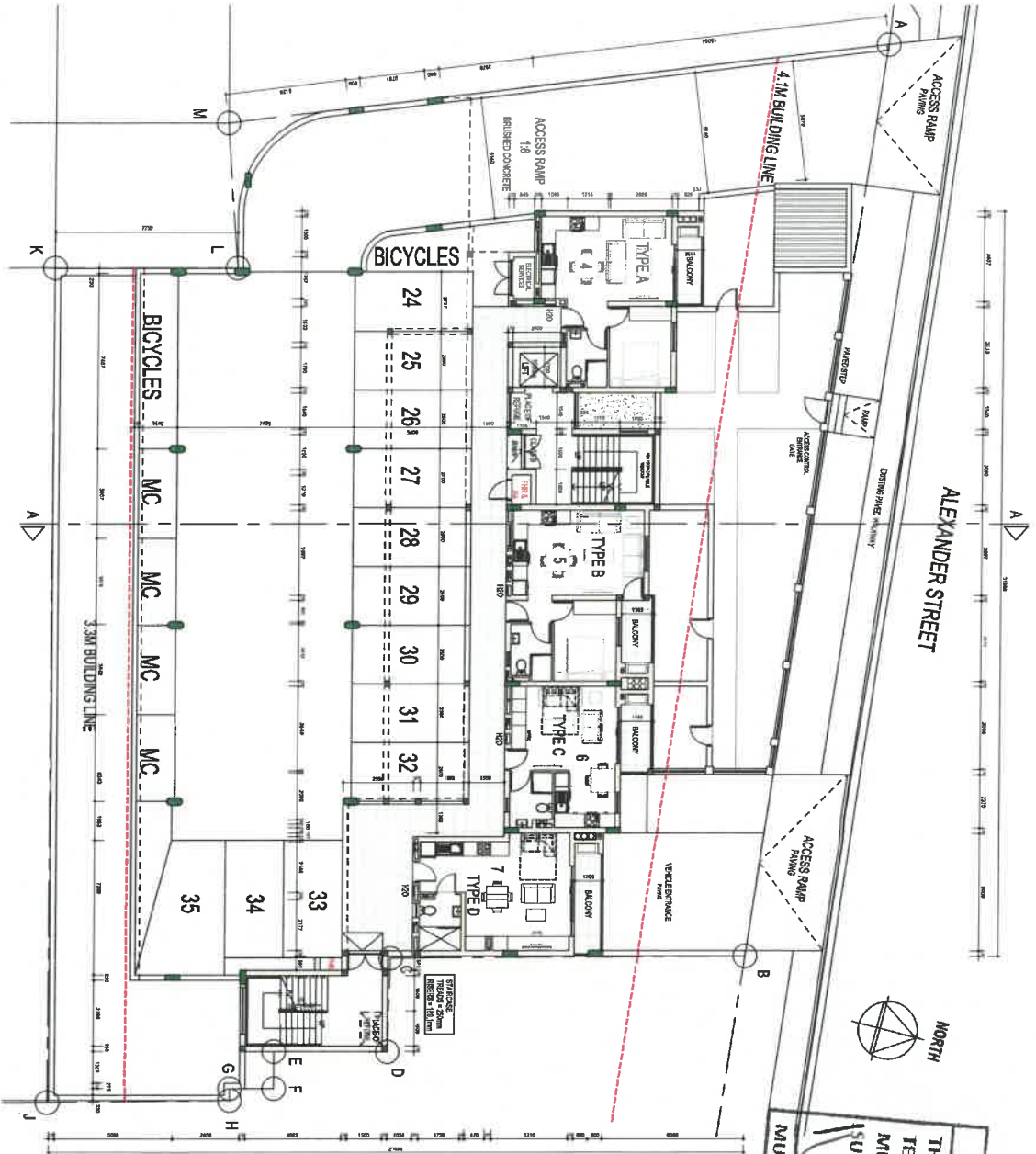
**DATE:**  
**22/09/2022**

**REVISIONS:**

REV	NO	BY	DESCRIPTION
0			ISSUED FOR PERMIT

**SDP SUBMISSION**

This drawing was prepared in accordance with the relevant standards and specifications. It is the responsibility of the client to ensure that all information provided is accurate and complete. The contractor shall be responsible for the interpretation and implementation of this drawing.



**FIRST FLOOR PLAN**  
SCALE: 1:100

**STELLENBOSCH MUNICIPALITY**

**THIS SITE DEVELOPMENT PLAN IS APPROVED IN TERMS OF SECTION 60 OF THE STELLENBOSCH MUNICIPAL LAND USE PLANNING BY-LAW (2015), SUBJECT TO THE CONDITIONS AS PER APPENDIX.**

**MUNICIPAL MANAGER**

*[Signature]*

**09/2022**  
DATE

**General Notes**

1. Contractor and Sub-Contractors to check all works commenced and any discrepancies to be reported to the Architect immediately.
2. All work to be done in accordance with the approved drawings and specifications and in reference to the relevant standards and codes of practice.
3. All work to be done in accordance with the approved drawings and specifications and in reference to the relevant standards and codes of practice.
4. All work to be done in accordance with the approved drawings and specifications and in reference to the relevant standards and codes of practice.
5. All work to be done in accordance with the approved drawings and specifications and in reference to the relevant standards and codes of practice.
6. All work to be done in accordance with the approved drawings and specifications and in reference to the relevant standards and codes of practice.
7. All work to be done in accordance with the approved drawings and specifications and in reference to the relevant standards and codes of practice.
8. All work to be done in accordance with the approved drawings and specifications and in reference to the relevant standards and codes of practice.

NO.	DATE	DESCRIPTION
1	14/07/2022	REVISED
2	14/07/2022	REVISED

**CLIENT:**  
K2020086142 (PTY) LTD

**PROJECT TITLE:**  
ALEXANDER STREET APARTMENTS ERF 263 STELLENBOSCH

**PROJECT NO.:** 11592/21

**DATE:** 14/07/2022

**DESCRIPTION:**

**PROJECT TITLE:**  
ALEXANDER STREET APARTMENTS ERF 263 STELLENBOSCH

**PROJECT NO.:** 11592/21

**DATE:** 14/07/2022

**DESCRIPTION:**

**PROJECT NO.:** 11592/21

**SCALE:** 1:100 @ A1

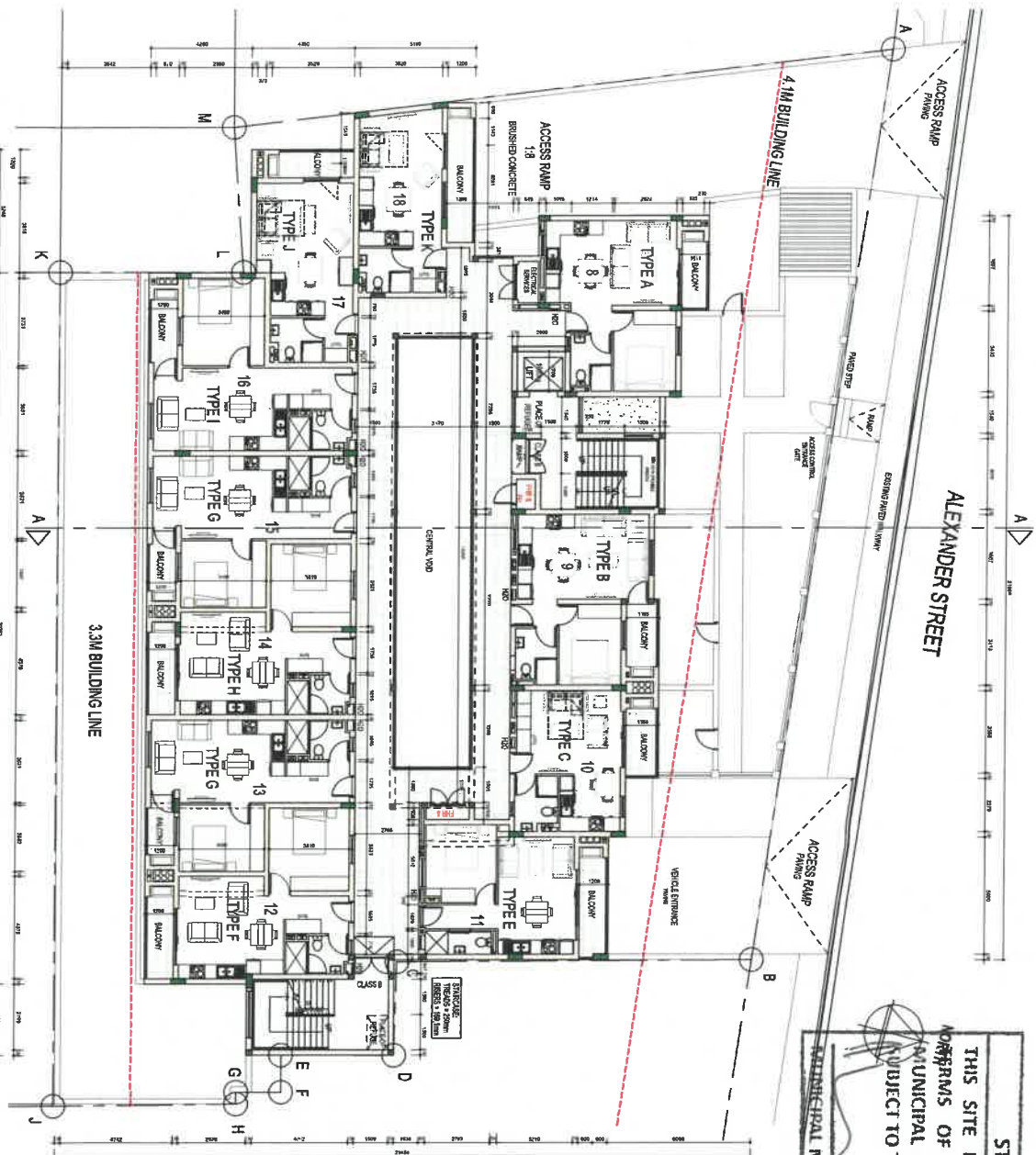
**DATE:** 14/07/2022

**DESCRIPTION:**

**SDP SUBMISSION**

This document and the information contained therein is the property of the Architect and is not to be used for any other purpose without the written consent of the Architect.

**SECOND FLOOR PLAN**  
SCALE: 1:100



**STELLENBOSCH MUNICIPALITY**

**THIS SITE DEVELOPMENT PLAN IS APPROVED IN**  
**FORMS OF SECTION 60 OF THE STELLENBOSCH**  
**MUNICIPAL LAND USE PLANNING BY-LAW (2015),**  
**SUBJECT TO THE CONDITIONS AS PER APPENDIX.**

**MUNICIPAL MANAGER**

*[Signature]*

**DATE** 29/9/2022

- General Notes**
1. Contractor and Sub-Contractor to check all levels, dimensions and any discrepancies. It is to be noted that the Applicant/Professional is not responsible for the accuracy of the site information and any discrepancies.
  2. All dimensions are in millimeters unless otherwise stated.
  3. All dimensions are to be taken from the face of the wall unless otherwise stated.
  4. All dimensions are to be taken from the face of the wall unless otherwise stated.
  5. All dimensions are to be taken from the face of the wall unless otherwise stated.
  6. All dimensions are to be taken from the face of the wall unless otherwise stated.
  7. All dimensions are to be taken from the face of the wall unless otherwise stated.
  8. All dimensions are to be taken from the face of the wall unless otherwise stated.
  9. All dimensions are to be taken from the face of the wall unless otherwise stated.
  10. All dimensions are to be taken from the face of the wall unless otherwise stated.

PROJECT TITLE	SECOND FLOOR PLAN
CLIENT	ALEXANDER STREET APARTMENTS ERF 263 STELLENBOSCH
PROJECT NO.	K2020086142 (PTY) LTD
DATE	29/9/2022
SCALE	1:100 @ A1
PROJECT NO.	62419
DATE	2022/09/22
NOV 00	00
DATE	00
DATE	00

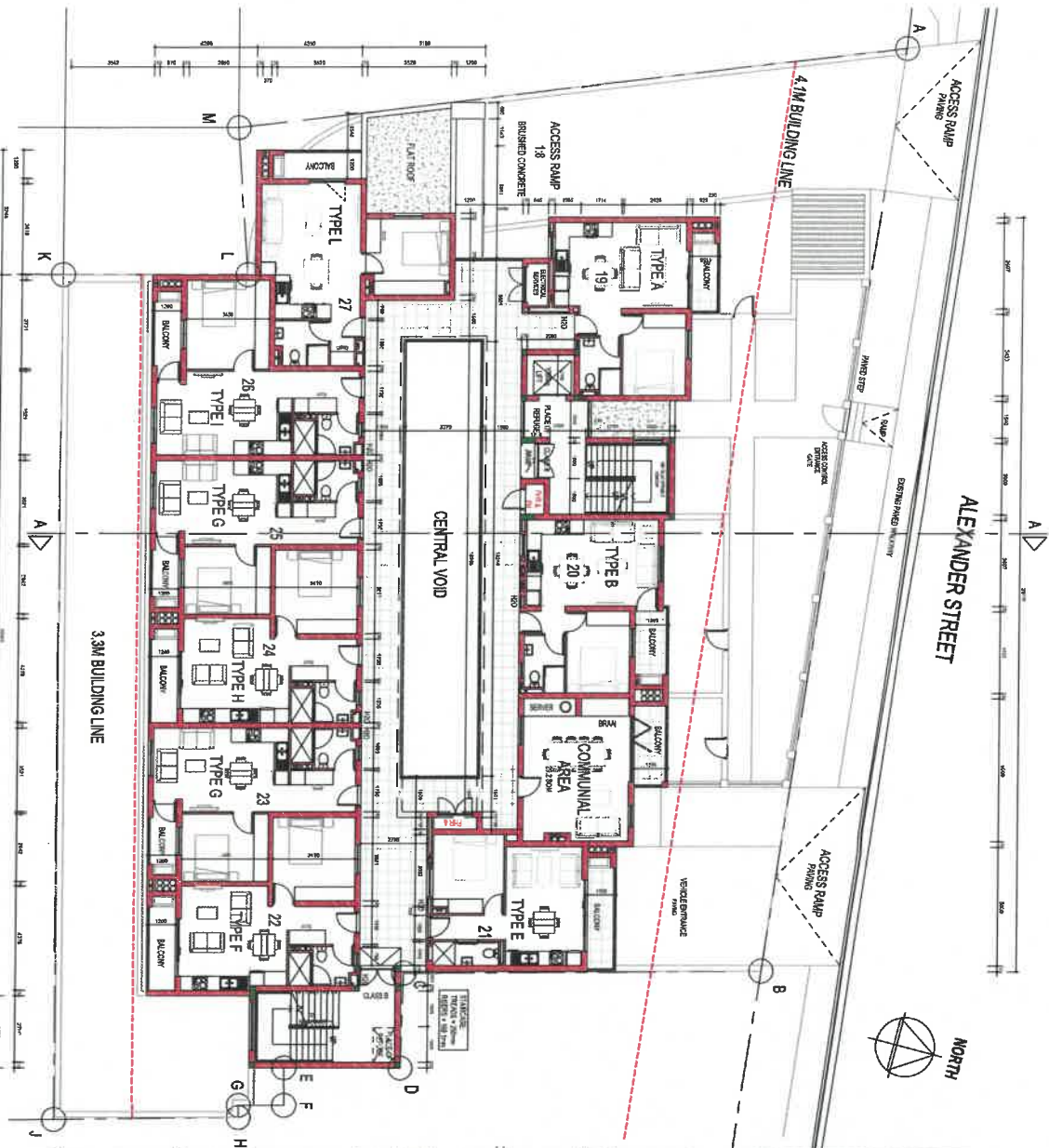


**DENNIS MOSS PARTNERSHIP**  
ARCHITECTS

REVISIONS	NO.	DATE	DESCRIPTION
0	1	2022/09/22	FIRST ISSUE

**SDP SUBMISSION**

This document is the property of Dennis Moss Partnership and is not to be used for any other purpose without the written consent of the firm.



**THIRD FLOOR PLAN**  
SCALE: 1:100

**STELLENBOSCH MUNICIPALITY**

THIS SITE DEVELOPMENT PLAN IS APPROVED IN TERMS OF SECTION 60 OF THE STELLENBOSCH MUNICIPAL LAND USE PLANNING BY-LAW (2015), SUBJECT TO THE CONDITIONS AS PER ANNEXIX.

*[Signature]*  
MUNICIPAL MANAGER

09/2022  
DATE

- General Notes**
1. Contractor and Sub-Contractors to check all walls and dimensions on site before any work commences. All dimensions to be checked to the finished finishwork.
  2. All work to be done in accordance with the approved drawings and specifications. All work to be done in accordance with the approved drawings and specifications.
  3. Approved small scale drawings, including: Building Regulations (SANS 10400) and all amendments of National and Local Authorities concerned are to be obtained and available on site.
  4. National and provincial laws and regulations in accordance of the rules and STAND 10000 (SANS 10400) must be followed.
  5. All work to comply with the requirements of SANS 10400 (SANS 10400) and all amendments of National and Local Authorities concerned are to be obtained and available on site.
  6. All building plans must be stamped with a valid and valid stamp.
  7. All building plans must be stamped with a valid and valid stamp.
  8. All building plans must be stamped with a valid and valid stamp.

NO.	DATE	DESCRIPTION	1:100/200
1	14/07/2022	FINAL PLAN	

**STELLENBOSCH MUNICIPALITY**

**ENGINEERING**

**REGISTERED ENGINEER**

**REGISTERED ARCHITECT**

**REGISTERED PLANNING**

**REGISTERED SURVEYOR**

**REGISTERED CIVIL ENGINEER**

**REGISTERED ELECTRICAL ENGINEER**

**REGISTERED MECHANICAL ENGINEER**

**REGISTERED CHEMICAL ENGINEER**

**REGISTERED AGRICULTURAL ENGINEER**

**REGISTERED METALLURGICAL ENGINEER**

**REGISTERED INDUSTRIAL ENGINEER**

**REGISTERED ENVIRONMENTAL ENGINEER**

**REGISTERED MARINE ENGINEER**

**REGISTERED AERONAUTICAL ENGINEER**

**REGISTERED AEROSPACE ENGINEER**

**REGISTERED AEROSPACE ENGINEER**

**REGISTERED AEROSPACE ENGINEER**

**CLIENT:**  
K2020086142 (PTY) LTD

**PROJECT TITLE:**  
ALEXANDER STREET APARTMENTS ERF 263 STELLENBOSCH

**DRAWING TITLE:**  
THIRD FLOOR PLAN

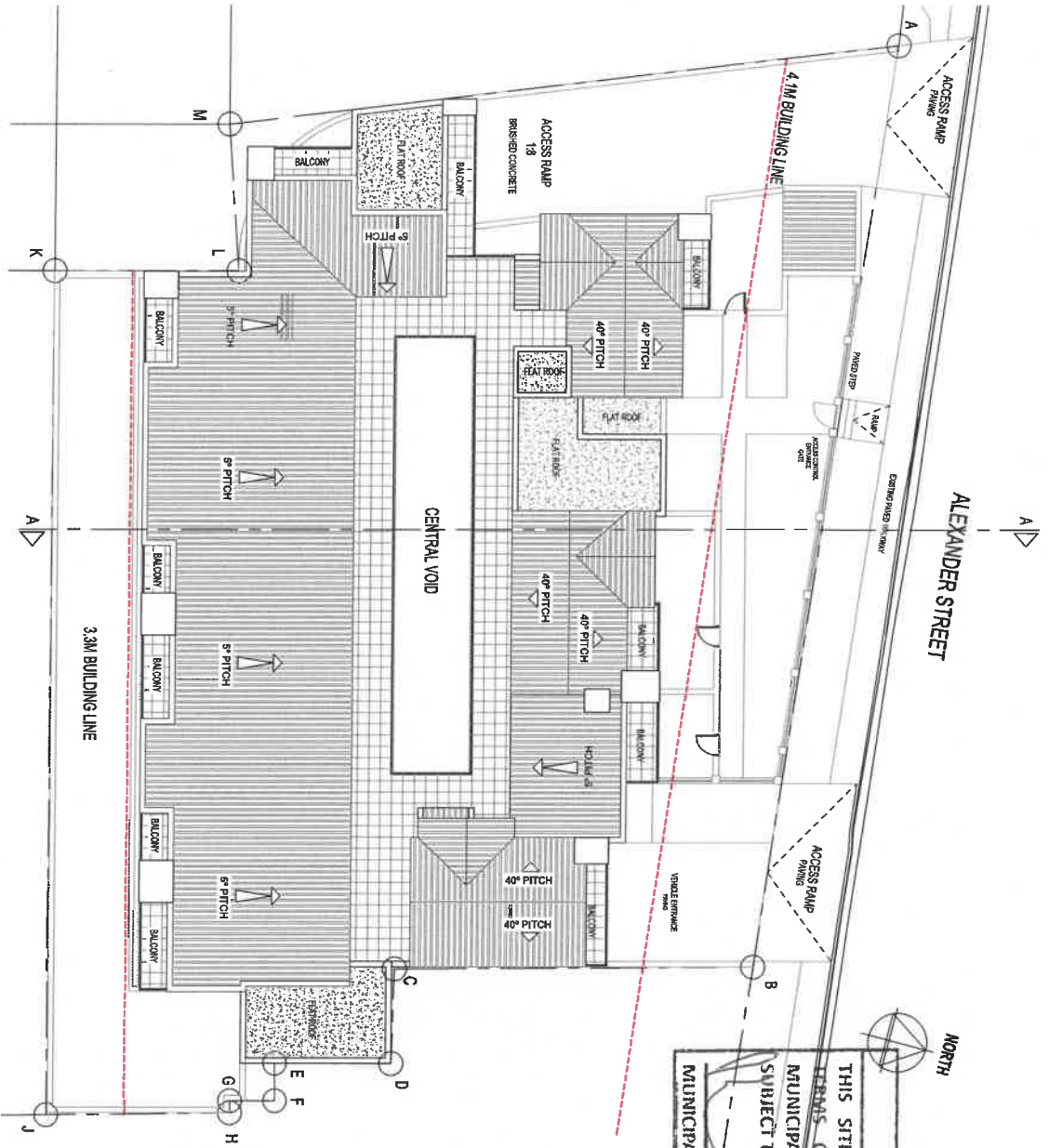
**PROJECT No:** ERF 263  
**SCALE:** 1:100 @ A1

**DRAWING No:** ERF 263 D 03A  
**DATE:** 20/07/2022

**REV:** 01  
**DATE:** 14/07/2022  
**BY:** [Signature]  
**CHKD:** [Signature]

**SDP SUBMISSION**

This drawing and all the information contained therein, is the property of the Architect and shall remain his/her property. It is not to be used for any other purpose without the written consent of the Architect.



**ROOF PLAN**  
SCALE 1:100

**STELLENBOSCH MUNICIPALITY**

THIS SITE DEVELOPMENT PLAN IS APPROVED IN TERMS OF SECTION 60 OF THE STELLENBOSCH MUNICIPAL LAND USE PLANNING BY-LAW (2015), SUBJECT TO THE CONDITIONS AS PER APPENDIX K.

MUNICIPAL MANAGER

DATE 9/09/2022

- General Notes**
1. Contractor and Sub-Contractors to check all levels and dimensions on site before any work is commenced. All dimensions are as shown on the Approved Final Scale Drawing.
  2. All dimensions are in millimeters unless otherwise stated.
  3. All dimensions are to the centerline unless otherwise stated.
  4. All dimensions are to the face of the wall unless otherwise stated.
  5. All dimensions are to the centerline of the pipe unless otherwise stated.
  6. All dimensions are to the face of the slab unless otherwise stated.
  7. All dimensions are to the face of the concrete unless otherwise stated.

**CLIENT:** K2020086142 (PTY) LTD

**PROJECT TITLE:** ALEXANDER STREET APARTMENTS ERF 263 STELLENBOSCH

**DRAWING TITLE:** ROOF PLAN

**PROJECT No:** 24218 **SCALE:** 1:100 @ A1

**DRAWING No:** E24218/005 **DATE:** 29/09/2022

**NO:** 00 **STATUS:** A1 **CHECKED:** [Signature]

**SDP SUBMISSION**

**DRUMS MOSE PARTNERSHIP**

**ORIGINAL DOCUMENT DATE:** 17/09/2022

NO.	DATE	DESCRIPTION
0	17/09/2022	ISSUE FOR PERMIT

This drawing and all the information contained hereon are the property of Drums Mose Partnership and shall not be used for any other project without our consent.





SECTION AA  
SCALE 1:50

STELLENBOSCH MUNICIPALITY  
MUNICIPAL MANAGER

THE SITE DEVELOPMENT PLAN IS APPROVED IN TERMS OF SECTION 60 OF THE STELLENBOSCH MUNICIPAL LAND USE PLANNING BY-LAW (2015), SUBJECT TO THE CONDITIONS AS PER APPENDIX.

01/9/2022  
DATE

- General Notes**
1. Contractor and Sub-Contractors to obtain all laws and dimensions on site before any work is commenced. Any discrepancies to be reported to the Architect immediately.
  2. Provide drawings to be taken in accordance to the approved drawings. All drawings to be submitted to the Architect for approval.
  3. All work to be done in accordance with the Building Regulations and Local Authority consent and to be approved by the Architect.
  4. The Contractor and Sub-Contractors are to be responsible for the safety of all persons on the site. All safety measures to be taken in accordance with the Occupational Safety and Health Act (1993) and the relevant regulations.
  5. All safety measures to be taken in accordance with the Occupational Safety and Health Act (1993) and the relevant regulations. All safety measures to be taken in accordance with the Occupational Safety and Health Act (1993) and the relevant regulations.
  6. All safety measures to be taken in accordance with the Occupational Safety and Health Act (1993) and the relevant regulations. All safety measures to be taken in accordance with the Occupational Safety and Health Act (1993) and the relevant regulations.
  7. All safety measures to be taken in accordance with the Occupational Safety and Health Act (1993) and the relevant regulations. All safety measures to be taken in accordance with the Occupational Safety and Health Act (1993) and the relevant regulations.
  8. No part of construction may be removed without the written consent of the Architect.

NO.	DATE	DESCRIPTION	ISSUED BY
0			

**SDP SUBMISSION**

CLIENT: K2020086142 (PTY) LTD

PROJECT TITLE: ALEXANDER STREET APARTMENTS ERF 263 STELLENBOSCH

PROJECT NO: E218

SCALE: AS INDICATED @ A1

DRAWN BY: E218/D/201

DATE: 2022/02/02

REV: 01

SDP SUBMISSION