



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/12459

Our File Reference Number: Erf 263, Jamestown

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 808 8682

Email address: Ulrich.Vonmolendorff@stellenbosch.gov.za

PER E-MAIL [REDACTED]

Sir/Madam

APPLICATION FOR SUBDIVISION: ERF 263, JAMESTOWN

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:
 - 2.1 That the following application(s) in terms of Section 15(2) of the Stellenbosch Municipal Land Use Planning Bylaw, promulgated by notice number 354/2015, dated 20 October 2015 on Erf 263, Jamestown namely:
 - 2.1.1 The subdivision of Erf 263, Jamestown in terms of Section 15(2)(d) of the said bylaw, into two equal Portions of Portion A ($\pm 312\text{m}^2$) and a Remainder ($\pm 312\text{m}^2$)

BE APPROVED in terms of Section 60 of the said Bylaw and subject to the following conditions of approval in terms of Section 66 of the said Bylaw.

3. The approval is subject to the following conditions imposed in terms of Section 66 of the said Bylaw:

General conditions of approval with no requirement for compliance prior to the registration of a subdivided portion, or before the sale, development or transfer of the land as contemplated in terms of Section 66(11) of the subject By-Law:

- 3.1 The approval only applies to the proposed subdivision under consideration, as indicated on the referenced Plan No. 263-ES1/10-2019 dated 15 October 2019, drawn by Basil G February,

attached as **ANNEXURE B** and shall not be construed as authority to depart from any other legal prescriptions or requirements from Council or other legislation or bylaws or regulations that may be applicable.

3.2 The approval granted shall not exempt the applicant from complying with any other legal prescriptions or requirements that might have a bearing on the proposed use.

3.3 The conditions from the Directorate: Infrastructure Services in their memorandum dated 09 March 2022 and attached as **ANNEXURE D** at all times be adhered to.

3.4 An electronic copy (shp, dwg, dxf) of the approved erf diagrams be submitted to the Directorate Planning and Economic Development for record purposes, which plan must indicate the following information:

- Newly allocated erf/farm numbers
- Co-ordinates
- Survey dimensions

4. The reasons for the above decision are as follows:

4.1 The application only entails the subdivision of two existing dwellings to alienate them on two separate cadastral units.

4.2 The proposal is a moderate form of densification inside an urban edge, which is promoted by the principals of the Stellenbosch Municipal Spatial Development Framework.

4.3 No municipal services could be upgraded to the satisfaction of the municipal engineering department.

4.4 All zoning scheme bylaw parameters will still be complied with.

5. Matters to be noted:

5.1 All electrical requirements be directed to Eskom.

6. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.

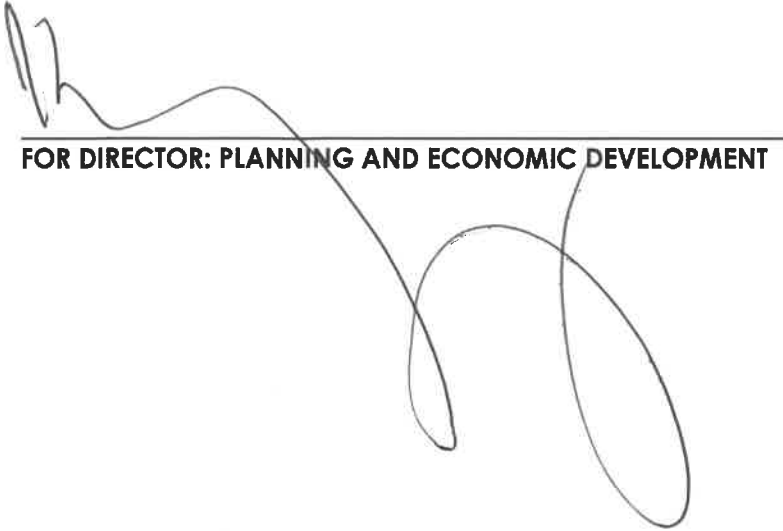
7. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:

- (a) The personal particulars of the Appellant, including:
 - (I) First names and surname;
 - (II) ID number;
 - (III) Company of Legal person's name (if applicable)
 - (IV) Physical Address;
 - (V) Contact details, including a Cell number and E-Mail address;
- (b) Reference to this correspondence and the relevant property details on which the appeal is submitted.
- (c) The grounds of the appeal which may include the following grounds:
 - (i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);
 - (ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.
- (d) whether the appeal is lodged against the whole decision or a part of the decision;
- (e) if the appeal is lodged against a part of the decision, a description of the part;
- (f) if the appeal is lodged against a condition of approval, a description of the condition;
- (g) the factual or legal findings that the appellant relies on;
- (h) the relief sought by the appellant; and
- (i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;
- (j) That the appeal includes the following declaration by the Appellant:
 - (i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
 - (ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to

an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.

8. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address: landuse.appeals@stellenbosch.gov.za
9. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.
10. The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking details for the General Account can also be accessed on the municipal website (<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).
11. An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
 - (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
 - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
 - (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
 - (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.
12. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.
13. Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully



A large, stylized handwritten signature in black ink, consisting of several loops and a long horizontal stroke that extends across the signature line.

FOR DIRECTOR: PLANNING AND ECONOMIC DEVELOPMENT

26/7/2022
DATE

ANNEXURE B
Subdivision Plan



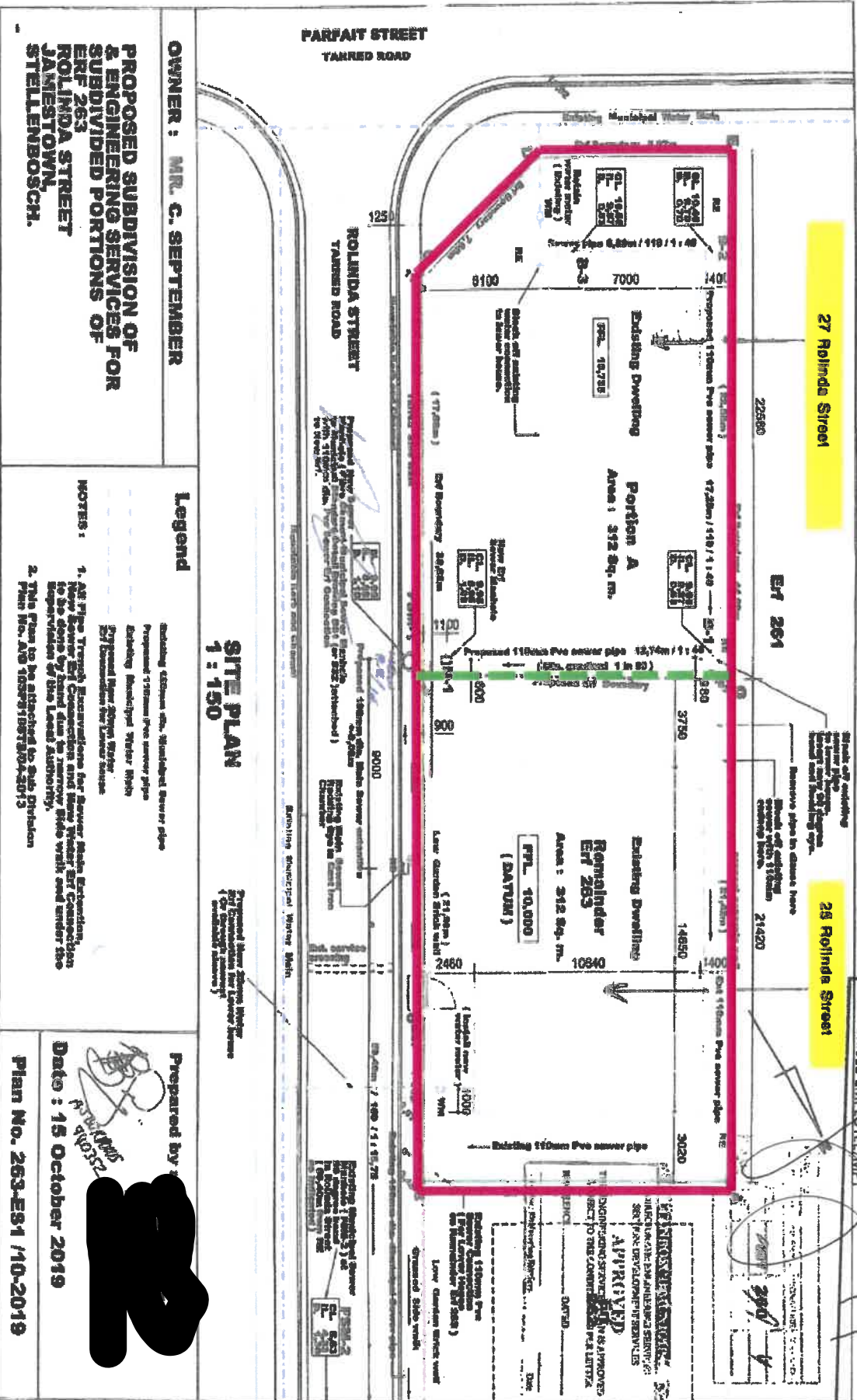
SUBDIVISIONAL PLAN

STELLENBOSCH MUNICIPALITY

THIS SUBDIVISION / CONSOLIDATION HAS BEEN APPROVED IN TERMS OF SECTION 60 OF THE STELLENBOSCH MUNICIPAL LAND USE PLANNING BY-LAW (2015) SUBJECT TO THE CONDITIONS AS PER ATTACHED LETTER DATED

AUTHORISED EMPLOYEE/MP/

26/7/2022



SITE PLAN
1 : 150

OWNER : **M.R. C. SEPTEMBER**

**PROPOSED SUBDIVISION OF
& ENGINEERING SERVICES FOR
SUBDIVIDED PORTIONS OF
ERF 263
ROLINDA STREET
JAMESTOWN,
STELLENBOSCH.**

Legend

- NOTES :**
- All Pipe Through Excavations for Sewer Main Extensions, New Sewer 800 Connections and New 750mm 800 Connections to be done by land due to narrow site width and under the supervision of the Local Authority.
 - This Plan to be attached to Sub Division Plan No. AD 10289187/04/2013

Prepared by:

[Signature]
S. J. J. J. J.

Date : 15 October 2019

Plan No. 263-ES1/10-2019

27 Rolinda Street

25 Rolinda Street

Erf 261

Erf 263

PARFAIT STREET
TARRED ROAD

ROLINDA STREET
TARRED ROAD

OWNER : MR. C. SEPTEMBER

PROPOSED SUBDIVISION OF
& ENGINEERING SERVICES FOR
ERF 263
ROLINDA STREET
JAMESTOWN,
STELLENBOSCH.

SITE PLAN
1:150

Legend

- Existing 150mm dia. Municipal Sewer pipe
- Proposed 110mm Pvc sewer pipe
- Existing Municipal Water Main
- Proposed New 20mm Water Erf Connection for Lower House

NOTES :

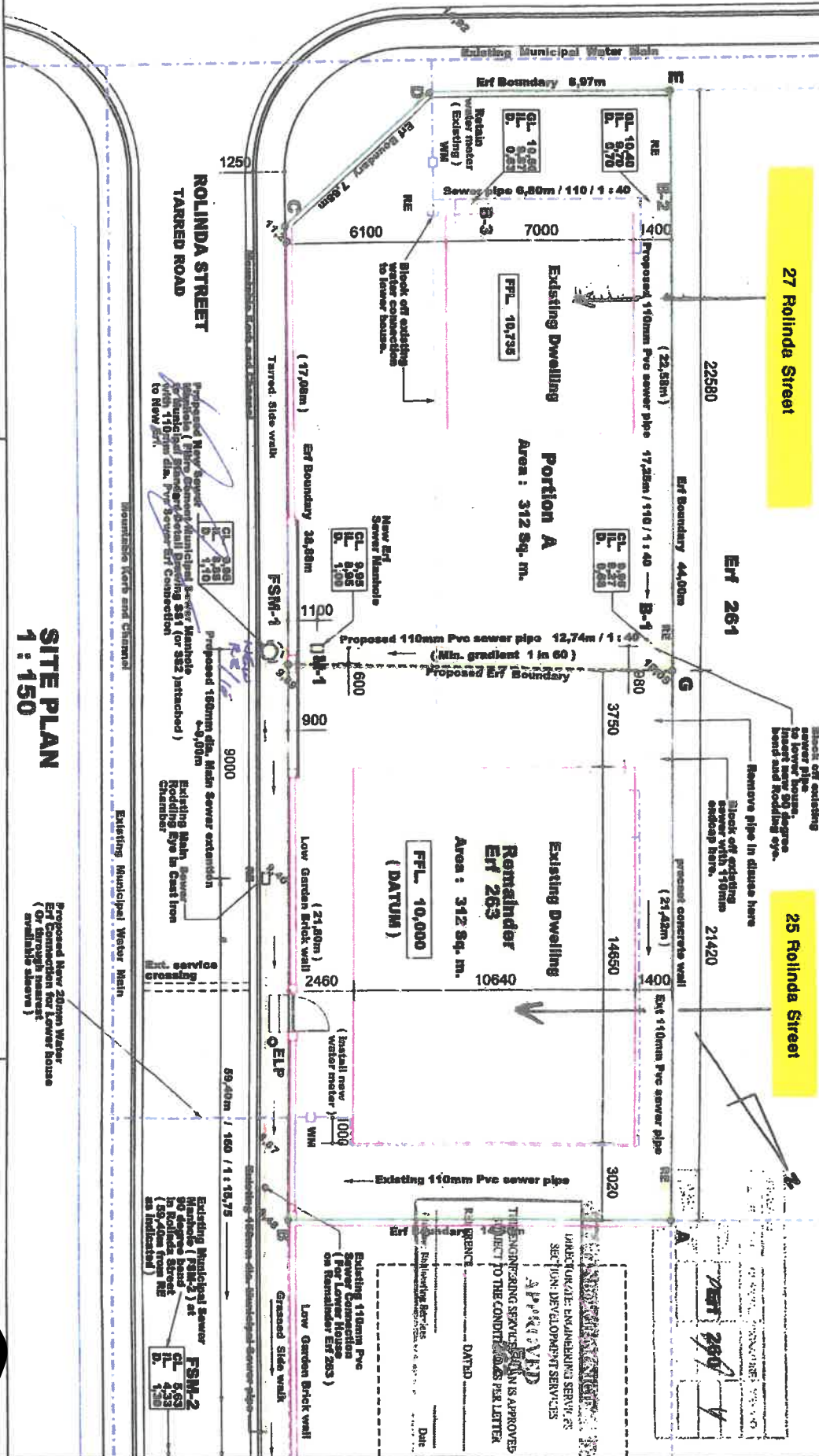
- All Pipe Trench Excavations for Sewer Main Extension, New Sewer Erf Connection and New Water Erf Connection to be done by hand due to narrow side walk and under the supervision of the Local Authority.
- This Plan to be attached to Sub Division Plan No. A/G 1059/1057/2019

Prepared by

[Signature]
25/10/19

Date : 15 October 2019

Plan No. 263-ES1 /10-2019



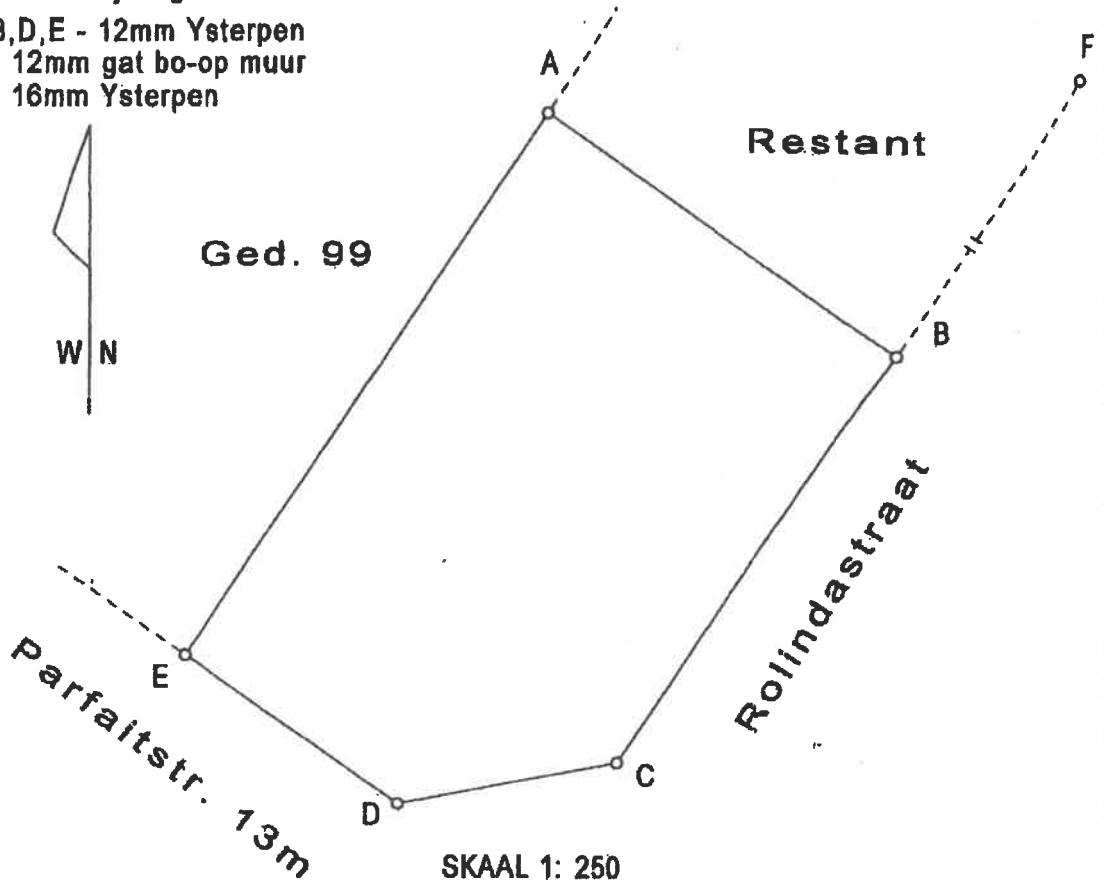
APPROVED
 ENGINEERING SERVICES
 SECTION: DEVELOPMENT SERVICES
 THE ENGINEERING SERVICES ENGINEER IS APPROVED
 SUBJECT TO THE CONDITIONS AS PER LETTER
 OF REFERENCE DATED
 DATE: _____

CERTIFIED COPY FOR REGISTRATION
 FOR SURVEYOR-GENERAL
 DATE 20 FEB 2015

SYE Meter	RIGTINGS -HOEKE	KOORDINATE			L.G. No. 69 / 2015
		Y	Stelsel	X	
	KONSTANTE		+0,00	+3 700 000,00	Goedgekeur <i>K. K. K.</i> nms Landmeter-generaal 20.02.2015
AB	14,49	305 09 00	A	+14 315,57	
BC	17,08	33 41 30	B	+14 303,72	+61 272,92
CD	7,68	79 25 40	C	+14 313,20	+61 287,13
DE	8,97	125 10 00	D	+14 320,75	+61 288,54
EA	22,57	213 39 10	E	+14 328,08	+61 283,37
	Verbindings				
BF	21,80	213 41 30	F	+14 291,63	+61 254,78
	(404) PARADYS	Δ		+10 183,10	+59 563,40
	(60) SIMON	Δ		+6 733,20	+50 785,48

Bakenbeskrywings

- A, B, D, E - 12mm Ysterpen
- C - 12mm gat bo-op muur
- F - 16mm Ysterpen



Die figuur A B C D E

stel voor 312 vierkante meter grond, synde Gedeelte 1168 'n gedeelte van gedeelte 103 van die plaas Blaauw Klip No. 510

Gelee in die Munisipaliteit en Administratiewe Distrik van Stellenbosch Provinsie Wes-Kaap

Opgemeet in Januarie 2015 deur my

N. Loubser
 N. Loubser (PLS 0892) Pr. Landmeter

Hierdie kaart is geheg aan No. gedateer t.g.v.

Die oorspronklike kaart is No. 2725/1980 geheg aan Transport No.1983- -6904

Leer No. Stel.510
 M.S. No. E37/2015
 Komp. BH-8DC/Y42 (1510)

Registrateur van Aktes

LPI C0670000

VRYGESTEL VAN DIE BEPALINGS VAN WET 70 VAN 1970
 ARTIKEL 1(a)

GOEDGEKEUR KRAGTENS ART. 25 VAN ORD. 15/1985
 FERNYNSING LU/3182
 2014-11-05

ANNEXURE D
Engineering comments



11 MAR 2022

MEMORANDUM

DIREKTEUR: INFRASTRUKTUURDIENSTE
DIRECTORATE: INFRASTRUCTURE SERVICES

RECEIVED

To ▫ Aan: Director: Planning + Economic Development
Att Aandag Salome Newman
From ▫ Van: Principal Technician: Development (Infrastructure Services)
Author ▫ Skrywer: Colin Taylor
Date ▫ Datum: 9 March 2022
Our Ref ▫ Ons Verw: Civil LU 2236
Your Ref: LU/12459
Re ▫ Insake: Erf 263, Jamestown: Application made in terms of Section 15 (2)(d) of the Stellenbosch Municipality Land Use Planning By-Law, 2015 for the subdivision of Erf 263, Jamestown into two equal portions of Portion A (±312m²) and a Remainder (±312m²).

The application is recommended for approval, subject to the following:

1. Water Supply

- 1.1 The existing water meter situated on portion A has to be retained and disconnected from the dwelling on the Remainder of Erf 510/103 (work to be done by private plumber).
- 1.2 A new water connection and water meter has to be installed to provide the Remainder of erf 510/103 with water. Cost of installation is for the account of the applicant. Installation will be done by the Municipality on payment of the applicable fees.

FILE NR:

SCAN NR:

E 263 II

COLLABORATOR NR:

726309

2. Waste Water and Sewage

- 2.1 The drawing by Basil February with number 510/103-ES/03-2014 indicating the existing and proposed sewer systems is recommended for approval subject to the condition that it be signed by a registered engineer.
- 2.2 A longitudinal section of the extension of the main sewer has to be submitted for approval.
- 2.3 A manhole has to be constructed at the start of the municipal sewer and not a rodding eye as indicated.
- 2.4 The internal sewer of Portion A has to be disconnected from the sewer of the Remainder of Erf 510/103 and connected to the new sewer manhole on the sidewalk.
- 2.5 Installation must be done by a suitable Contractor appointed by the Owner. The cost of the installation of the sewer connection is for the account of the owner.
- 2.6 A quotation for the sewer connection inspection can be provided by the Water Services Department.
- 2.7 No Clearance certificate will be issued unless the Water Services Department has confirmed in writing that the sewer connection has been installed to their satisfaction.

3. Roads

- 3.1 Each erf must have its own vehicle entrance. Cost of installation is for the account of the applicant.

4. Electrical Engineering

- 4.1 Refer to **Annexure: Electrical**



Colin Taylor Pr Tech Eng
PRINCIPAL TECHNICIAN: DEVELOPMENT (INFRASTRUCTURE SERVICES)

Erf 263 Jamestown (LU-12459).

GENERAL COMMENT:

1. Outside Stellenbosch area of supply.
2. All Electrical requirements should be directed to ESKOM

CONDITIONS

3. No conditions.

.....
SIGNATURE



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DATE...22/2/22.....