



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/11579

Our File Reference Number: Erf 2118, Klapmuts

Your Reference Number: 3681-P

Enquiries: Ulrich von Molendorff

Contact No: 021 808 8682

Email address: Ulrich.Vonmolendorff@stellenbosch.gov.za

PER E-MAIL: [REDACTED]

Sir/Madam

APPLICATION FOR THE EXTENSION OF A VALIDITY PERIOD: ERF 2118, KLAPMUTS

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:

2.1 The application made in terms of Section 15.2(i) of the Stellenbosch Municipality Planning By-Law, 2015, for the extension of the validity period of an approval granted on Erf 2118, Klapmuts.

BE APPROVED in terms of Section 60 of the said Bylaw and subject to the following conditions of approval in terms of Section 66 of the said Bylaw:

3. Conditions of approval in terms of Section 66 of the said Bylaw:

3.1 The approval applies only to the proposal under consideration and shall not be construed as authority to depart from any other legal prescriptions or requirements from Council.

3.2 The approval is valid for an additional 5 years from the date of final notification and will lapse if not exercised within the period of approval.

3.3 That the conditions of the original approval as imposed in the letter of Council's approval, dated 08/05/2015, Application No LU/3787 for **Erf 2118 only**, be complied with. (**See Annexure B**)

4. The reasons for the above decision are as follows:

4.1 The approval to extend the validity period will not lead to any changes in the approved development proposal or to any additional development rights.

4.2 The developer is in the process of complying with Council's conditions of approval.

4.3 Circumstances prevailing at the time of the original approval have not materially changed.

5. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.

6. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:

(a) The personal particulars of the Appellant, including:

(I) First names and surname;

(II) ID number;

(III) Company of Legal person's name (if applicable)

(IV) Physical Address;

(V) Contact details, including a Cell number and E-Mail address;

(b) Reference to this correspondence and the relevant property details on which the appeal is submitted.

(c) The grounds of the appeal which may include the following grounds:

(i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);

(ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.

- (d) whether the appeal is lodged against the whole decision or a part of the decision;
- (e) if the appeal is lodged against a part of the decision, a description of the part;
- (f) if the appeal is lodged against a condition of approval, a description of the condition;
- (g) the factual or legal findings that the appellant relies on;
- (h) the relief sought by the appellant; and
- (i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;
- (j) That the appeal includes the following declaration by the Appellant:
 - (i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
 - (ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.


7. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address: landuse.appeals@stellenbosch.gov.za
8. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The LU Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.
9. The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking details for the General Account can also be accessed on the municipal website (<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).
10. An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:

- (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
- (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
- (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
- (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.

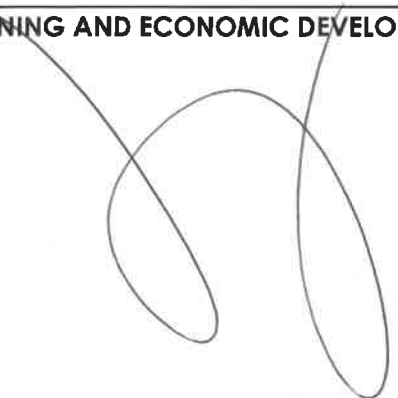
11. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

12. Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully



FOR DIRECTOR: PLANNING AND ECONOMIC DEVELOPMENT



24/11/2021
DATE: _____

ANNEXURE B

**EXISTING LUPO APPROVAL:
LUPO APPROVAL: 2015-05-08**

(4)

Enquiries C Charles
 Your ref. -
 Our Ref. Erven 2106, 2107, 2108, 2109, 2110, 2113,
 2114, 2115, 2117, 2118, 2133-2142, 2166 and
 2167, Klapmuts
 Application No LU/3787
 Date 2015-05-08
 Telephone 021-808 8699
 Fax 021-886 6899

REGISTERED MAIL

TV3 Architects and Planners
 1st Floor
 La Gratitude Office Building
 97 Dorp Street
STELLENBOSCH
 7600

M.J. VAN HULLEN
15/5/2015

FILE NR:	OUTGOING POST
2167 KL W	3787
SCAN NR:	
COLLABORATOR NR:	

FINAL NOTIFICATION LETTER

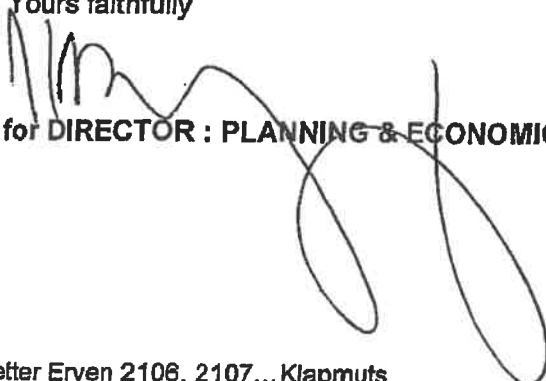
Sir / Madam

APPLICATION FOR SUBDIVISION, REZONING, CONSOLIDATION, CLOSURE OF PUBLIC ROAD, CONSENT USE AND AMENDMENT OF ARCHITECTURAL GUIDELINES ON ERVEN 2106, 2107, 2108, 2109, 2110, 2113, 2114, 2115, 2117, 2118, 2133 - 2142, 2166 AND 2167, KLAPMUTS

My letter dated 08 May 2015, refers.

I wish to advise that the appeal process has now been concluded and that the decision as per Council's previous letter is therefore now considered final. Accordingly, you may now act on the decision, subject to compliance with the conditions detailed in my letter dated 08 May 2015.

Yours faithfully



for DIRECTOR : PLANNING & ECONOMIC DEVELOPMENT

Final letter Erven 2106, 2107... Klapmuts

File

SIMONSBURG EMPLOYEES DEVELOPMENT COMPANY (PTY) LTD
REG NO: 2002/030813/07

Ref: Admin/Klapmuts15/Cor/Mun0012/KL2106

8 May 2015

Stellenbosch Municipality
STELLENBOSCH



Attention: Director: Planning & Economic Development

RE: APPLICATION FOR SUBDIVISION, REZONING, CONSOLIDATION, CLOSURE OF PUBLIC ROAD, CONSENT USE AND AMENDMENT OF ARCHITECTURAL GUIDELINES ON ERVEN 2106, 2107, 2108, 2109, 2110, 2113, 2114, 2115, 2117, 2118, 2133-2142, 2166 AND 2167, KLAPMUTS

We refer to the above mentioned approval.

We hereby confirm that we will not appeal the approval in terms of Article 62 of the Municipal Financial Systems Act.

Regards


FJ Klomp (Pr Eng)
On behalf of Simonsberg Employees Development (Edms.) Bpk.

FILE NR:	
SCAN NR:	E 2106 KL
COLLABORATOR NR:	367916

file

2

Enquiries	C Charles / U von Molendorff
Your ref.	-
Our Ref .	Erven 2106, 2107, 2108, 2109, 2110, 2113, 2114, 2115, 2117, 2118, 2133-2142, 2166 and 2167, Klapmuts
Application No	LU/3787
Date	2015-05-08
Telephone	021-808 8699 / 8682
Fax	021-886 6899

REGISTERED MAIL

TV3 Architects and Planners
1st Floor
La Gratitude Office Building
97 Dorp Street
STELLENBOSCH
7600

FILE NR:	OUTGOING POST
KL 2106	LU 3787
SCAN NR:	
COLLABORATOR NR:	368427

Sir / Madam

APPLICATION FOR SUBDIVISION, REZONING, CONSOLIDATION, CLOSURE OF PUBLIC ROAD, CONSENT USE AND AMENDMENT OF ARCHITECTURAL GUIDELINES ON ERVEN 2106, 2107, 2108, 2109, 2110, 2113, 2114, 2115, 2117, 2118, 2133 - 2142, 2166 AND 2167, KLAPMUTS

Your application in the above regard, refers.

The Director : Planning and Economic Development at a recent meeting resolved as follows:

1. That approval be granted in terms of Section 25 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the subdivision of Erf 2106, Klapmuts ($\pm 10\,520\text{m}^2$) into three portions namely, Portion 1 ($\pm 5000\text{m}^2$), Portion 2 ($\pm 4904\text{m}^2$) and Portion 3 ($\pm 616\text{m}^2$) as per Plan Number 1, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 3 subject to the conditions as per attached Appendix 1.
2. That approval be granted in terms of Section 16 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the rezoning of Portion 2 - $\pm 4904\text{m}^2$ (Portion of Erf 2106, Klapmuts) from Business Zone II to Industrial Zone I as per Plan Number 1, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 3 subject to the conditions as per attached Appendix 1.

Erven 2106, 2107...,Klapmuts (subdivision, rezoning...)

in file

3. That approval be granted in terms of Section 16 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the rezoning of Portion 3 - $\pm 616\text{m}^2$ (Portion of Erf 2106, Klapmuts) from Business Zone II to Open Space Zone II for private road purposes and the consolidation of Portion 3 with Erf 2166, Klapmuts as per Plan Number 1, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 3 subject to the conditions as per attached Appendix 1.
4. That approval be granted in terms of Section 25 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the subdivision of Erf 2107, Klapmuts ($\pm 18\,952\text{m}^2$) into six portions namely, Portion 1 ($\pm 4542\text{m}^2$), Portion 2 ($\pm 4703\text{m}^2$), Portion 3 ($\pm 4845\text{m}^2$), Portion 4 ($\pm 3104\text{m}^2$), Portion 5 ($\pm 1740\text{m}^2$) and Portion 6 ($\pm 18\text{m}^2$) as per Plan Number 2, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 4 subject to the conditions as per attached Appendix 1.
5. That approval be granted in terms of Section 16 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the rezoning of Portions 1 to 5 (Portions of Erf 2107, Klapmuts) from Business Zone II to Industrial Zone I as per Plan Number 2, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 4 subject to the conditions as per attached Appendix 1.
6. That approval be granted in terms of Section 16 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the rezoning of Portion 6 (Portion of Erf 2107, Klapmuts) from Business Zone II to Open Space Zone II for private road purposes and the consolidation of Portion 6 with Erf 2166, Klapmuts as per Plan Number 2, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 4 subject to the conditions as per attached Appendix 1.
7. That approval be granted in terms of Section 16 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the rezoning of Erven 2108, 2109 and 2110, Klapmuts from Business Zone II to Industrial Zone I as per Plan Number 3, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 5 subject to the conditions as per attached Appendix 1.
8. That approval be granted in terms of Section 16 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the rezoning of Erf 2113, Klapmuts from Institutional Zone III to Industrial Zone I as per Plan Number 3, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 5 subject to the conditions as per attached Appendix 1.
9. That approval be granted in terms of Section 16 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the rezoning of Erven 2114 and 2115, Klapmuts from Business Zone III to Industrial Zone I as per Plan Number 3, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 5 subject to the conditions as per attached Appendix 1.
10. That the application in terms of Section 24 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the subdivision of Erf 2117, Klapmuts ($\pm 3475\text{m}^2$) into two portions namely, Portion 1 ($\pm 1526\text{m}^2$) and Portion 2 ($\pm 1949\text{m}^2$), be refused.

Erven 2106, 2107..., Klapmuts (subdivision, rezoning...)

11. That the application in terms of Section 17 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the rezoning of Portion 2 ($\pm 1949\text{m}^2$) from Business Zone II to Industrial Zone I, be refused.
12. That approval be granted in terms of Section 16 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the rezoning of Erf 2118, Klapmuts from Institutional Zone I to Residential Zone III and Open Space Zone II (private open space and private road) as per Plan Number 5, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 7 subject to the conditions as per attached Appendix 1.
13. That approval be granted in terms of Section 25 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the subdivision of Erf 2118, Klapmuts ($\pm 18\,746\text{m}^2$) into 83 residential erven ($\pm 12\,376\text{m}^2$), 4 open space erven ($\pm 797\text{m}^2$) and one private road ($\pm 5572\text{m}^2$) as per Plan Number 5, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 7 subject to the conditions as per attached Appendix 1.
14. That approval be granted for the consolidation of Erven 2133 to 2142 and the rezoning in terms of Section 16 of the Land Use Planning Ordinance, 1985 (15 of 1985) of the consolidated erven from Residential Zone I to Subdivisional Area as per Plan Number 6A, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 8 subject to the conditions as per attached Appendix 1.
15. That approval be granted in terms of Section 25 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the subdivision of the consolidated Erven 2133 to 2142 into 20 Residential Zone III properties as per Plan Number 6B, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 9 subject to the conditions as per attached Appendix 1.
16. That approval be granted in terms of the Municipal Ordinance, 1974 (No 20 of 1974) for the closure of Erven 2166 and 2167, Klapmuts as public roads as per Plan Number 7, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 10 subject to the conditions as per attached Appendix 1.
17. That approval be granted in terms of Section 16 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the rezoning of Erven 2166 and 2167, Klapmuts from Transport Zone II to Open Space Zone II for private road purposes as per Plan Number 7, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 10 subject to the conditions as per attached Appendix 1.
18. That approval be granted in terms of Regulation 4.6 of the Scheme Regulations made in terms of Section 8 of the Land Use Planning Ordinance, 1985 (15 of 1985) and promulgated under P.N. 1048/1988 for a consent use in order to allow for warehousing to be conducted on the subdivided portions of Erf 2107, Klapmuts as well as on Erven 2108, 2109, 2110, 2113 and 2115, Klapmuts subject to the conditions as per attached Appendix 1.
19. That the application in terms of Regulation 4.7 of the Scheme Regulations made in terms of Section 8 of the Land Use Planning Ordinance, 1985 (15 of 1985) and promulgated under P.N. 1048/1988 for a consent use in order to allow for warehousing to be conducted on the subdivided portion of Erf 2117, Klapmuts, be refused.

Erven 2106, 2107..., Klapmuts (subdivision, rezoning...)

20. That approval be granted in terms of Section 42 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the amendment of the Simonsberg Park Design Manual and Architectural Guidelines attached as Appendix 11 subject to the conditions as per attached Appendix 1.

Kindly note, this subdivision approval will lapse unless all conditions of approval have been complied with and separate registration of at least one erf therein is effected in the Deeds Registry within five (5) years of Council's final notification letter, which is to follow in due course. Should it be required, any application for extension of validity of the subdivision approval should be lodged well in advance of lapsing of this approval (in case of subdivision only).

Kindly note, this rezoning approval will lapse unless all conditions of approval have been complied with and the property is utilised in accordance with the rezoning hereby granted within two (2) years of the date of Council's final notification letter, which is to follow in due course. Should it be required, any application for extension of validity of the rezoning approval should be lodged well in advance of lapsing of this approval (in case of rezonings only).

Kindly note that the above approval does not guarantee approval of any related building plan application in terms of the National Building Regulations and Building Standards Act, No 103 of 1977 and that building work may therefore only commence once such plans are formally passed.

Kindly also note, you are advised in terms of Section 5 of the Promotion of Administrative Justice Act, No 3 of 2000 that you are entitled to request in writing reasons for the above decision.

Kindly be advised that you may appeal to the Municipal Manager against the above Council decision (including any conditions imposed in case of approval) by giving written notice of such appeal in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000 ("MSA"), and/or the internal appeal process approved by Council at its meeting held on 29 October 2014. In terms of the aforesaid Council decision, an applicant or objector aggrieved by a decision of Council in respect of an application in terms of the Ordinance, Zoning Scheme Regulations or applicable By-Law, may appeal against such decision to the Municipal Manager, by giving written notice of such appeal.

A detailed motivated appeal with reasons therefore (and not only the intention to appeal), clearly stating in terms of which legislation it is made, as well as payment of the appeal fee to the amount of R737,00, should be directed to and received by the Municipal Manager, Stellenbosch Municipality, P O Box 17, Stellenbosch, 7599, or if hand delivered, to the Advice office, Land Use Management, Ground floor, municipal building, Plein Street, Stellenbosch, or faxed to fax number 021 886 6899 within 21 days of the date of registration at the Post Office of this notification letter (with such registration day not included in the appeal period), provided where the last day for lodging an appeal falls either on a Saturday, Sunday or public holiday, it shall be deemed to be the next working day thereafter. Where this letter is collected by hand, the above appeal period will be similarly calculated from the next day after collection. Failure to comply with the above requirements may result in the appeal being ruled invalid by the Appeal Authority. **Kindly be advised that no appeal will be accepted via email.**

Notwithstanding the above, kindly note, you are not permitted to submit a revised proposal as part of such an appeal. Should this be the case, your submission will not be regarded as an appeal, but rather a new application which should be submitted in the normal manner, as only the above decision can be appealed at this stage.

Kindly be advised that objectors (if any) are granted a simultaneous right of appeal in terms of the internal appeal process approved by Council at its meeting held on 29 October 2014.

Please note, appellants are not permitted to canvass the Municipal Manager or members of Council before or after the matter is heard.

Important note: Rights of appeal in terms of Section 44(1)(a), (b), (c) or (d) of the Land Use Planning Ordinance, No 15 of 1985 no longer exist, as such an appeal to the Minister of Local Government, Environmental Affairs and Development Planning, Western Cape has been declared unconstitutional by the Constitutional Court in its unanimous judgment* on 4 April 2014, as such matters fall within the exclusive functions of a municipality in terms of the Constitution.

Kindly note the above Council decision is suspended and may therefore not be acted on until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully



for DIRECTOR: PLANNING & ECONOMIC DEVELOPMENT

* In *Minister of Local Government, Environmental Affairs and Development Planning, Western Cape v The Habitat Council and Others; Minister of Local Government, Environmental Affairs and Development Planning, Western Cape v City of Cape Town and Others* [2014]ZACC 9 (Case No.CC117/13).

08 May 2015

The Surveyor-General
Private Bag X 9028
CAPE TOWN
8000

Sir / Madam

APPLICATION FOR SUBDIVISION, REZONING, CONSOLIDATION, CLOSURE OF PUBLIC ROAD, CONSENT USE AND AMENDMENT OF ARCHITECTURAL GUIDELINES ON ERVEN 2106, 2107, 2108, 2109, 2110, 2113, 2114, 2115, 2117, 2118, 2133 - 2142, 2166 AND 2167, KLAPMUTS

Attached please find a copy for your information.

Yours faithfully



for **DIRECTOR: PLANNING & ECONOMIC DEVELOPMENT**



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APPENDIX 1
FILE NO: KL2106

In this approval document:

"Council" means the Stellenbosch Municipality

"the Owner" means the registered owner of the property.

"the property" means Erven 2106, 2107, 2108, 2109, 2110, 2113, 2114, 2115, 2118, 2166 and 2167, Klapmuts

"scheme regulations" has the meaning assigned thereto by Ordinance 15 of 1985.

EXTENT OF APPROVALS:

Approval for subdivision of Erf 2106, Klapmuts ($\pm 10\,520\text{m}^2$) into three portions namely, Portion 1 ($\pm 5000\text{m}^2$), Portion 2 ($\pm 4904\text{m}^2$) and Portion 3 ($\pm 616\text{m}^2$) as per Plan Number 1, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 3.

Approval for the rezoning of Portion 2 - $\pm 4904\text{m}^2$ (Portion of Erf 2106, Klapmuts) from Business Zone II to Industrial Zone I as per Plan Number 1, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 3.

Approval for the rezoning of Portion 3 - $\pm 616\text{m}^2$ (Portion of Erf 2106, Klapmuts) from Business Zone II to Open Space Zone II for private road purposes as per Plan Number 1, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 3.

Approval for the subdivision of Erf 2107, Klapmuts into six portions namely, Portion 1 ($\pm 4542\text{m}^2$), Portion 2 ($\pm 4703\text{m}^2$), Portion 3 ($\pm 4845\text{m}^2$), Portion 4 ($\pm 3104\text{m}^2$), Portion 5 ($\pm 1740\text{m}^2$) and Portion 6 ($\pm 18\text{m}^2$) as per Plan Number 2, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 4.

Approval for the rezoning of Portions 1 to 5 (Portions of Erf 2107, Klapmuts) from Business Zone II to Industrial Zone I as per Plan Number 2, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 4.

Approval for the rezoning of Portion 6 (Portion of Erf 2107, Klapmuts) from Business Zone II to Open Space Zone II for private road purposes and the consolidation of Portion 6 with Erf 2166, Klapmuts as per Plan Number 2, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 4.

Approval for the rezoning of Erven 2108, 2109 and 2110, Klapmuts from Business Zone II to Industrial Zone I as per Plan Number 3, dated 03 October



2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 5.

Approval for the rezoning of Erf 2113, Klipmuts from Institutional Zone III to Industrial Zone I as per Plan Number 3, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 5.

Approval for the rezoning of Erven 2114 and 2115, Klipmuts from Business Zone III to Industrial Zone I as per Plan Number 3, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 5.

Approval for the rezoning of Erf 2118, Klipmuts from Institutional Zone I to Residential Zone III and Open Space Zone II (private open space and private road) as per Plan Number 5, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 7.

Approval for the subdivision of Erf 2118, Klipmuts ($\pm 18\,746\text{m}^2$) into 83 residential erven ($\pm 12\,376\text{m}^2$), 4 open space erven ($\pm 797\text{m}^2$) and one private road ($\pm 5572\text{m}^2$) as per Plan Number 5, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 7.

Approval for the consolidation of Erven 2133 to 2142, Klipmuts and rezoning of the consolidated erven from Residential Zone I to Subdivisional Area as per Plan Number 6A, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 8.

Approval for the subdivision of the consolidated Erven 2133 to 2142, Klipmuts into 20 Residential Zone III properties as per Plan Number 6B, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 9.

Approval for the closure of Erven 2166 and 2167, Klipmuts as public roads as per Plan Number 7, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 10.

Approval for the rezoning of Erven 2166 and 2167, Klipmuts from Transport Zone II to Open Space Zone II for private road purposes as per Plan Number 7, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 10.

Approval for consent use in order to allow for warehousing to be conducted on the subdivided



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portions of Erf 2107, Klappmuts as well as on Erven 2108, 2109, 2110, 2113 and 2115, Klappmuts.

Approval for the amendment of the Simonsberg Design Manual and Architectural Guidelines attached as Appendix 11.

VALIDITY OF APPROVAL:

The approval for rezoning will be valid for two (2) years after the date of final notification
 The approval for subdivision will be valid for five (5) years after the date of final notification
 The approval for rezoning to Subdivisional Area will be valid for five (5) years after the date of final notification

CONDITIONS IMPOSED:

Rezoning, Subdivision and Consent Use Conditions

CONDITIONS IMPOSED IN TERMS OF SECTION 42(1) OF THE LAND USE PLANNING ORDINANCE 15 OF 1985 IN RESPECT OF THE PROPERTY CONCERNED:

- a) That the approval applies only to the aforementioned extent of approval and shall not be construed as authority to depart from any other legal prescriptions or requirements from Council;
- b) That erf diagrams of the newly created properties must be submitted to this Municipality for clearance and record purposes;
- c) Building plans must be submitted for approval prior to any building work commencing on site;
- d) That the conditions imposed by the Engineering Directorate (attached hereto as Appendix 12) be adhered to;
- e) Council reserves the right to impose further conditions if deemed necessary.

Compiled by:

[Signature]

C Charles
 SENIOR TOWN PLANNER

08/05/2015

Date

Recommended by:

[Signature]

H Dednam
 MANAGER, LAND USE MANAGEMENT

08/05/2015

Date

Resolved by:

[Signature]

D Lombaard
 DIRECTOR: PLANNING AND ECONOMIC DEVELOPMENT

08/05/2015

Date

Figure A, B, C, D represents unregistered Erf 2106 approved portion of Erf 1336 Klappmuts

Zoning	Portion	Area
Business Zone II	1	5000
Industrial Zone I	2	4904
Open Space Zone II (Private Road)	3	616
Total		10520



THE SOUTH AFRICAN QUALITY
 MANAGEMENT SYSTEM
 REGISTERED IN TERMS OF
 THE QUALITY MANAGEMENT ACT
 93 OF 2008
 No. 101/2014
 10/10/2014
 1:1000 (A4)

tv3
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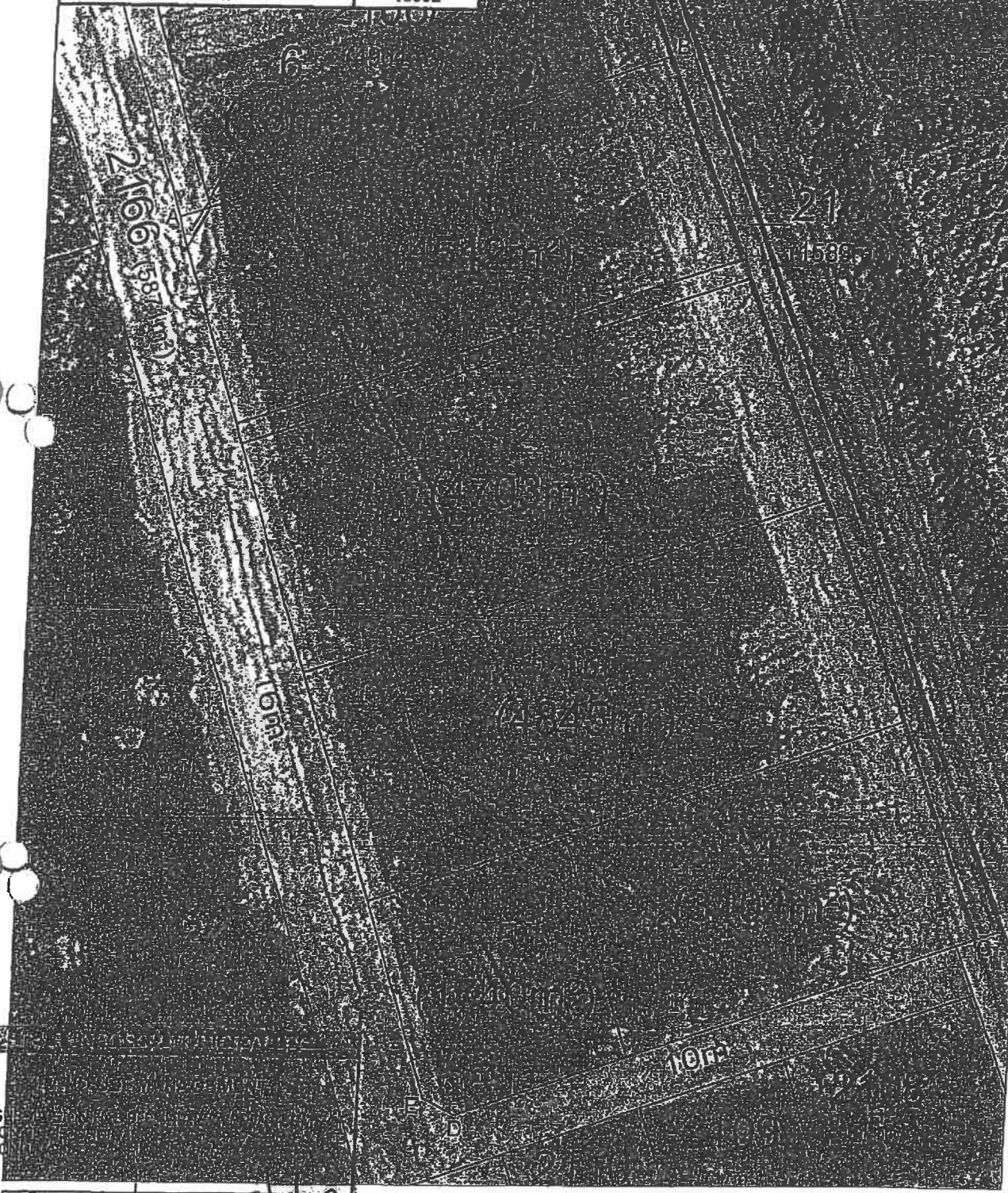
**Proposed Subdivision and
 Rezoning**
 Unregistered Erf 2106 approved
 portion of Erf 1336 Klappmuts



Drawn:	Checked:	Date:	Scale:
WH	MW	03/10/2014	1:1000 (A4)
Project no.:		Revision no.:	
A3074		1	
Drawn:			Plan no.:
Subdivision and Rezoning			1

Figure A,B,C,D, E represents unregistered Erf 2107 approved portion of Erf 1336 Klappmuts

Zoning	Portion	Area
Industrial Zone	1 - 5	18934
Open Space Zone (Private Road)	6	18
Total		18952



THIS SECTION OF THE CO


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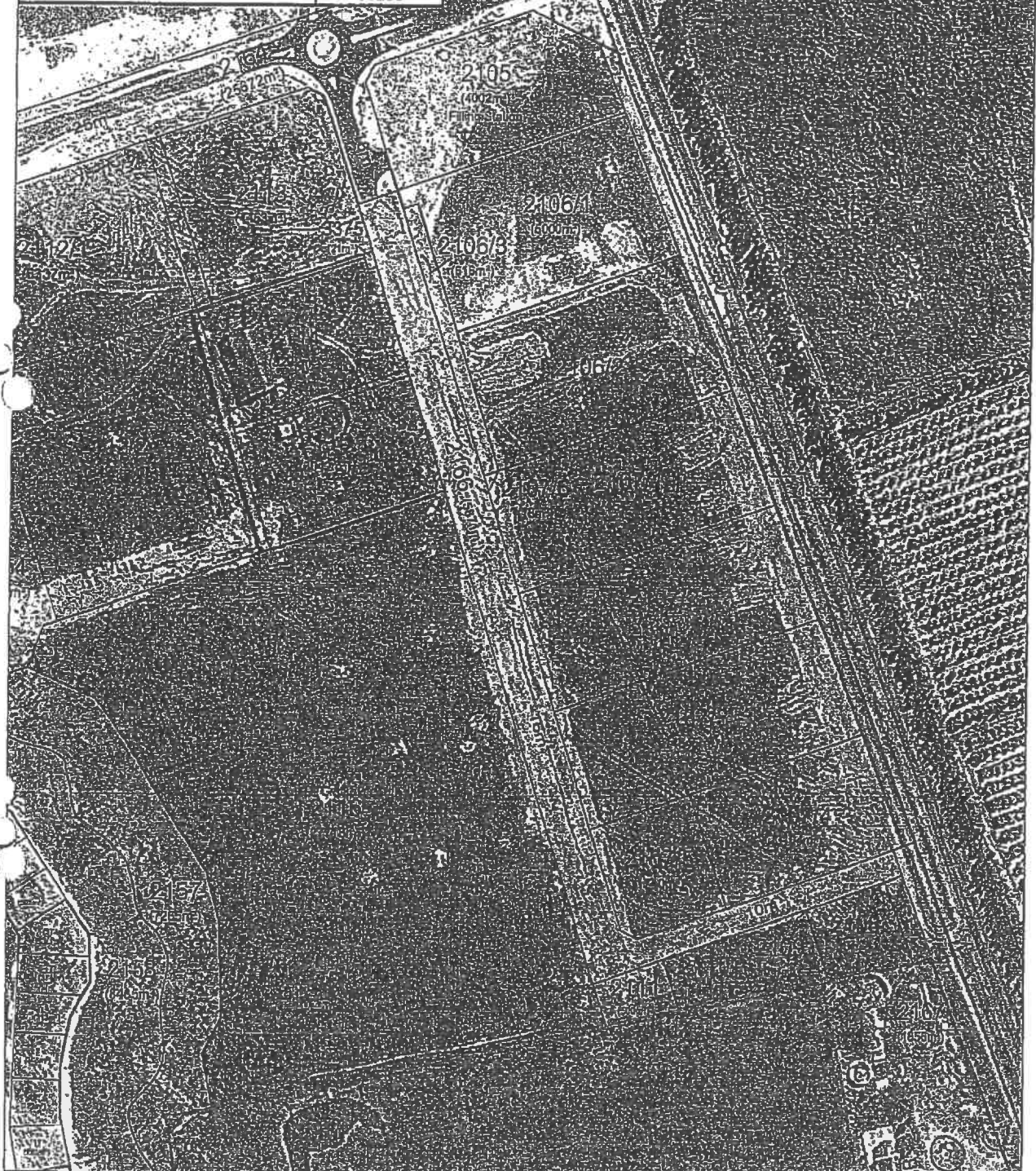
**Proposed Subdivision and
 Rezoning
 Unregistered Erf 2107 approved
 portion of Erf 1336 Klappmuts**



Drawn:	Checked:	Date:	Scale:
WH	MW	03/10/2014	1:1000 (A4)
Project no.:		Revision no.:	
A3074		1	
Drawing:			Plan no.:
Subdivision and Rezoning			2

Unregistered Erven 2108, 2109, 2110, 2113, 2114 & 2115 approved portions of Erf 1336 Klappmuts

Zoning	Portion	Area
Industrial Zone I	2108	1185
Industrial Zone I	2109	717
Industrial Zone I	2110	598
Industrial Zone I	2113	4453
Industrial Zone I	2114	3292
Industrial Zone I	2115	3042
Total		13285



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Proposed Rezoning
 Unregistered Erven 2108, 2109,
 2110, 2113, 2114 & 2115 approved
 portions of Erf 1336 Klappmuts

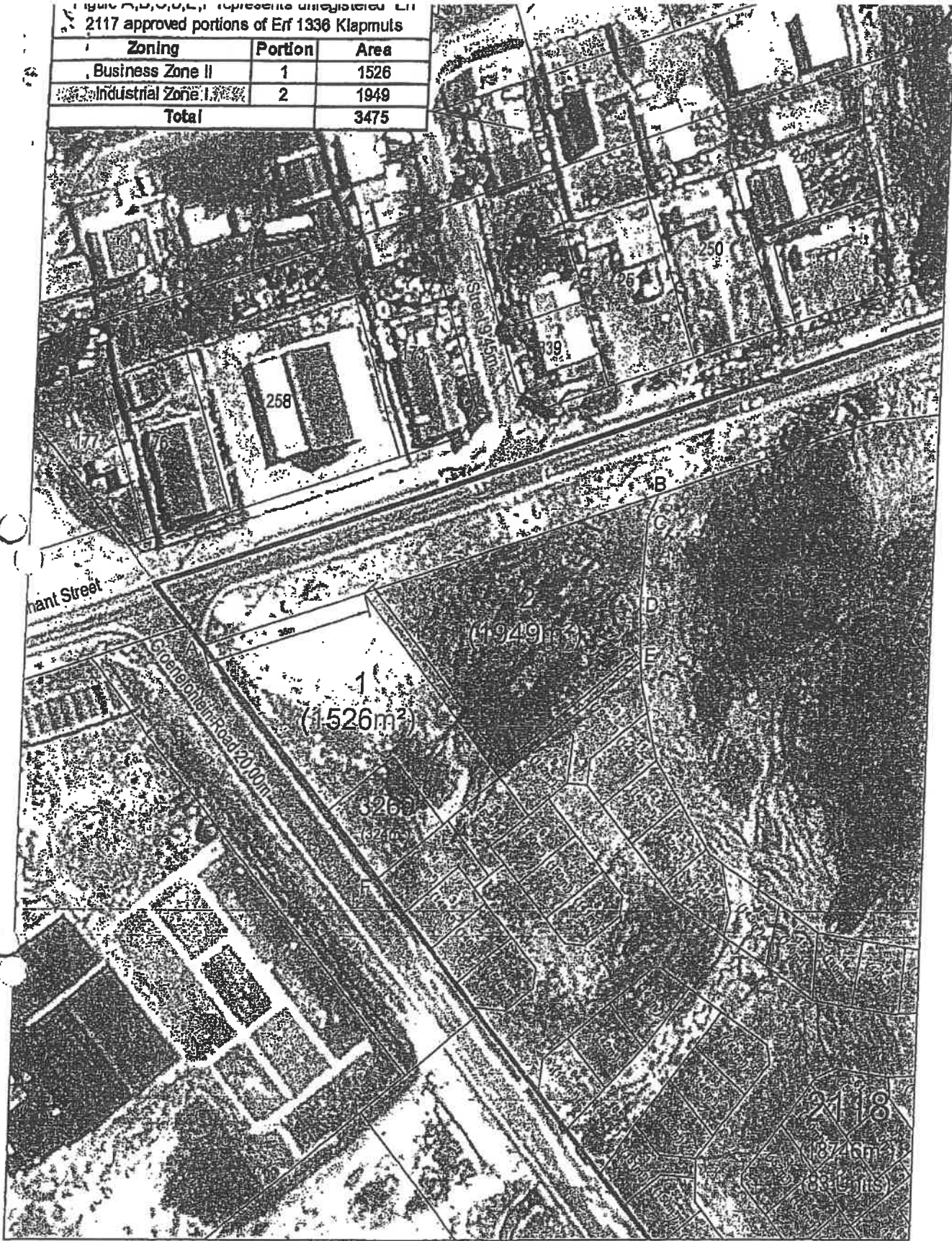


Drawn:	Checked:	Date:	Scale:
WH	MW	03/10/2014	1:2000 (A4)
Project no.:		Revision no.:	
A3074			
Drawing:			Plan no.:
Rezoning			3

Figure 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

2117 approved portions of Erf 1336 Klappmuts

Zoning	Portion	Area
Business Zone II	1	1526
Industrial Zone I	2	1949
Total		3475



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Proposed Subdivision and Rezoning
 Unregistered Erf 2117 approved portion of Erf 1336 Klappmuts



Drawn:	Checked:	Date:	Scale:
WH	MW	03/10/2014	1:1000 (A4)
Project no.: A3074		Revision no.: 1	
Drawing: Subdivision and Rezoning			Plan no.: 4

2118 approved portion of Erf 1336 Klappmuts		
Zoning	Portion	Area
Residential Zone IV	1 - 83	12376
Open Space Zone II	84 - 87	797
Open Space Zone I (Private Road)	88	5572
Total		18746



STELLENBOSCH MUNICIPALITY
 LAND-USE MANAGEMENT
 THIS SUBDIVISION HAS BEEN APPROVED IN TERMS OF
 SECTION 22 OF ORDINANCE 19 OF 1994 SUBJECT TO
 THE CONDITIONS AS PER THE APPROVED
 DIRECTOR: PLANNING & ENVIRONMENT
 Date: 21/01/2014

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**Proposed Subdivision and
 Rezoning**
 Unregistered Erf 2118 approved
 portion of Erf 1336 Klappmuts

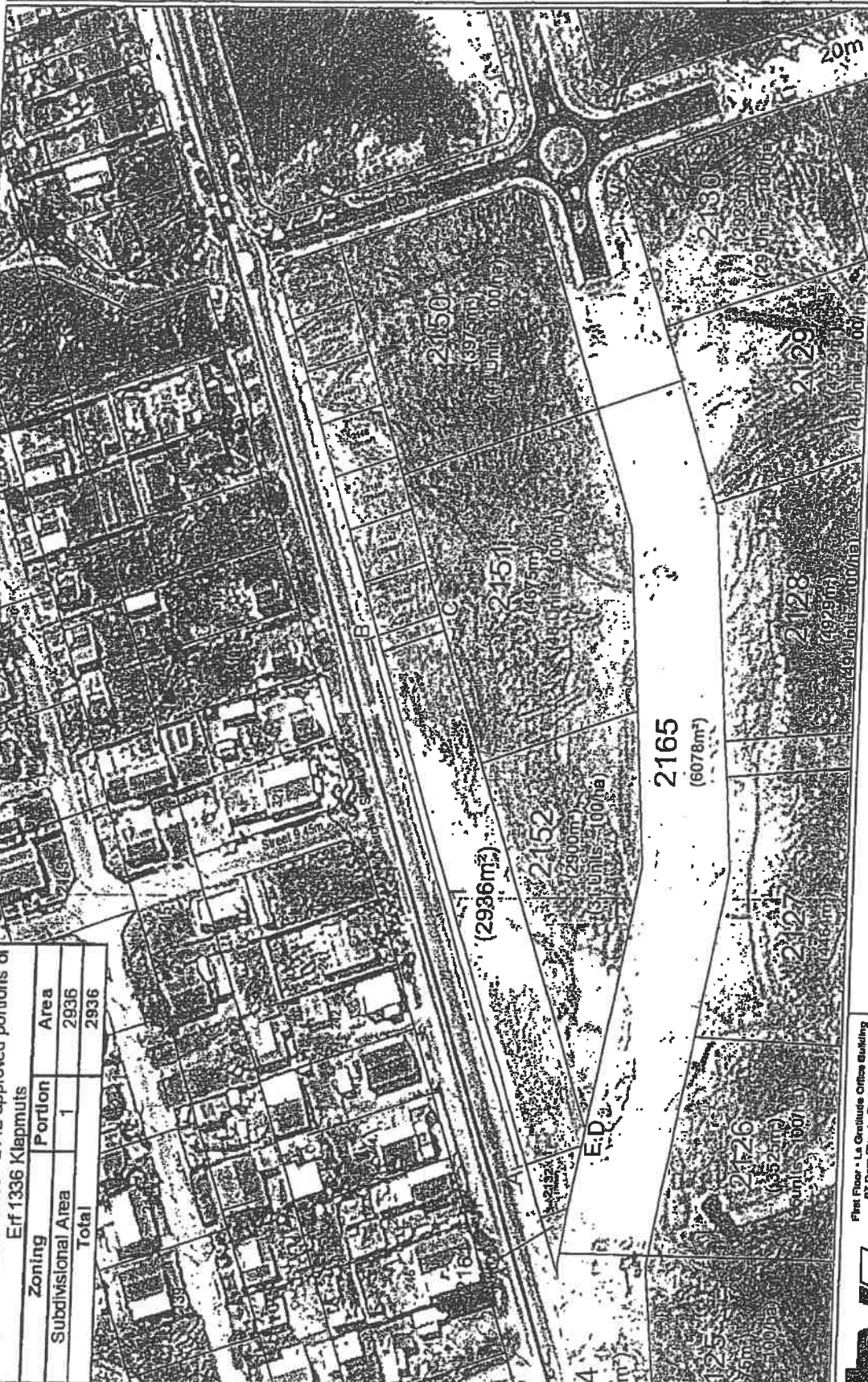


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Project no.:	Revision no.:		
A3074	1		
Drawing:	Plan no.:		
Subdivision and Rezoning	5		

Regulation:

Figure A, B, C, D, E represents consolidation of unregistered Erven 2133 - 2142 approved portions of Erf 1336 Klappmuts

Zoning	Portion	Area
Subdivisional Area	1	2936
Total		2936



DATE	2014
BY	MW
PROJECT NO.	A3074
DRAWING	1
SCALE	1:1500 (A4)
REVISION NO.	

Unregistered Erven 2133 - 2142 approved portion of Erf 1336 Klappmuts

Proposed Consolidation

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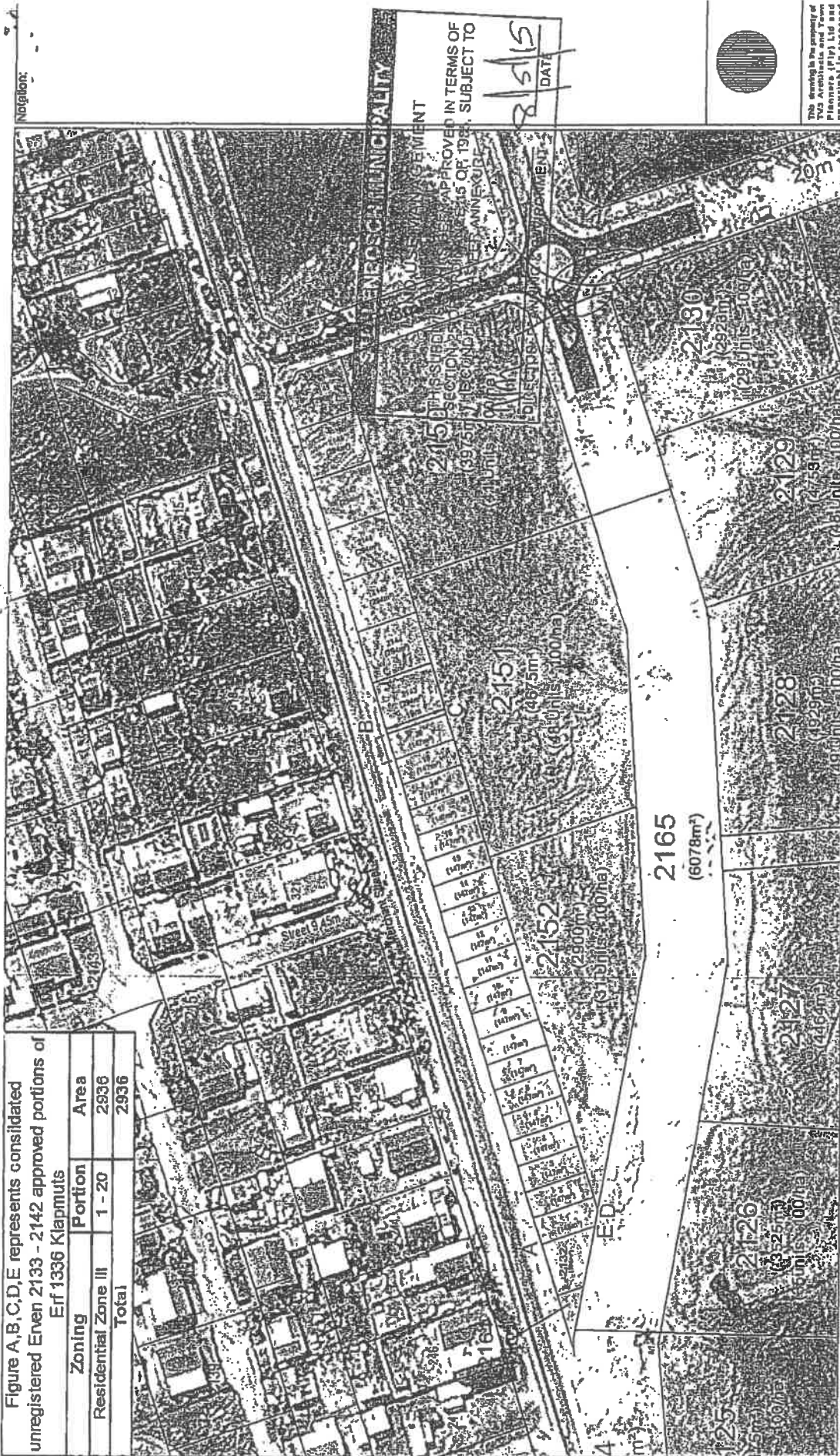
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Consolidation	6A
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Figure A,B,C,D,E represents consolidated unregistered Erven 2133 - 2142 approved portions of Erf 1336 Klappmuts

Zoning	Portion	Area
Residential Zone III	1 - 20	2936
Total		2936



NOT BEING IN THE POSSESSION OF THE APPLICANT. THIS PLAN IS APPROVED IN TERMS OF SECTION 15 OF 1976 SUBJECT TO THE ANNEXURE.

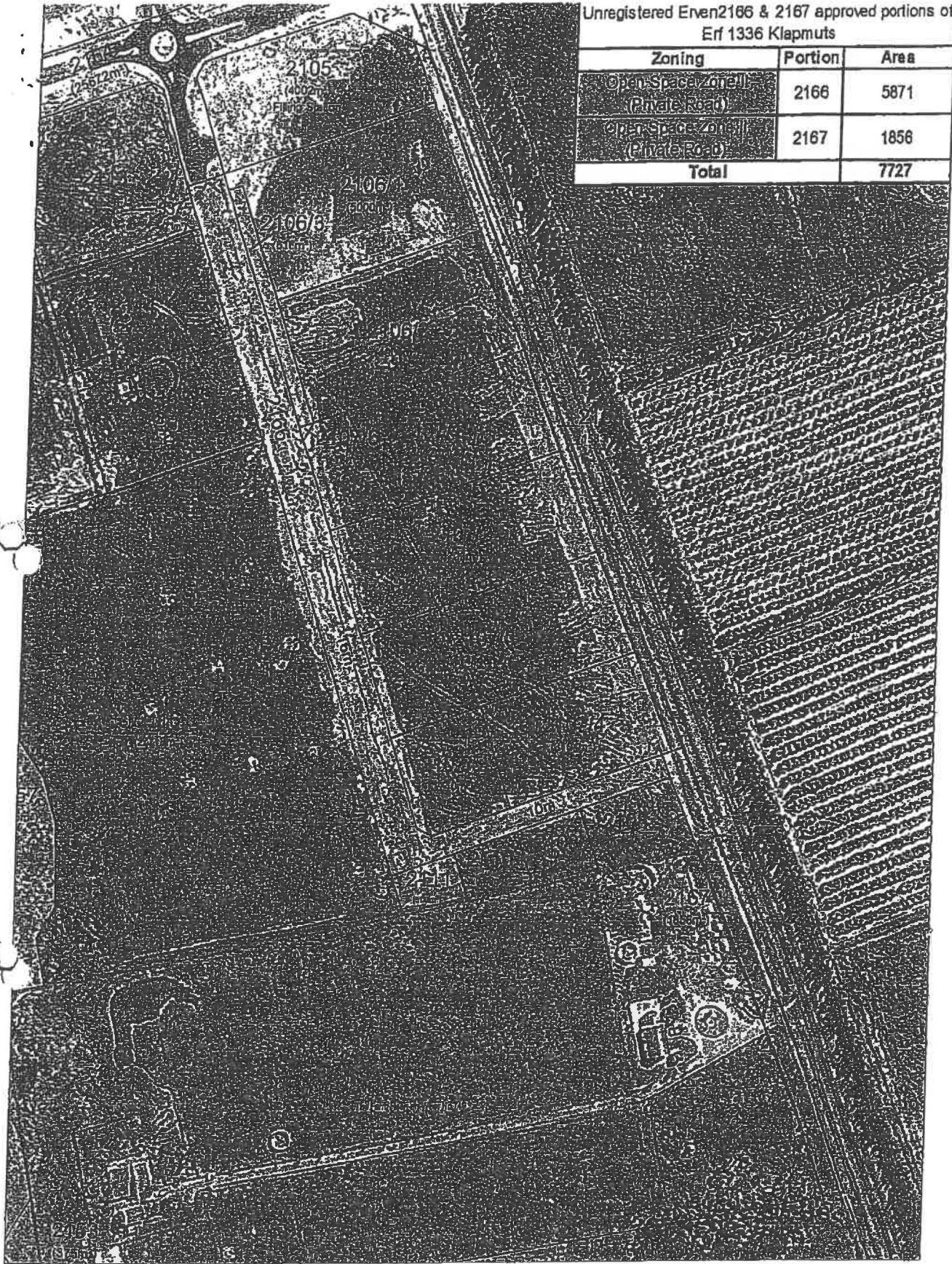
Author:	WPH	Designer:	MW	Date:	09/10/2014
Project no.:	A3074	Revision no.:		Scale:	1:1500 (A4)
Client:		Sheet no.:	1	Plan no.:	
Subdivision and Rezoning 6B					

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**Proposed Subdivision and Rezoning
 Unregistered Erven 2133 - 2142 approved portion of Erf 1336 Klappmuts**

Unregistered Erven 2166 & 2167 approved portions of Erf 1336 Klappmuts

Zoning	Portion	Area
Open Space Zone III (Private Road)	2166	5871
Open Space Zone III (Private Road)	2167	1856
Total		7727



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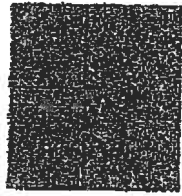
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**Proposed Rezoning and Closure
 of Public Road Portions
 Unregistered Erven 2166 & 2167
 approved portions of Erf 1336
 Klappmuts**



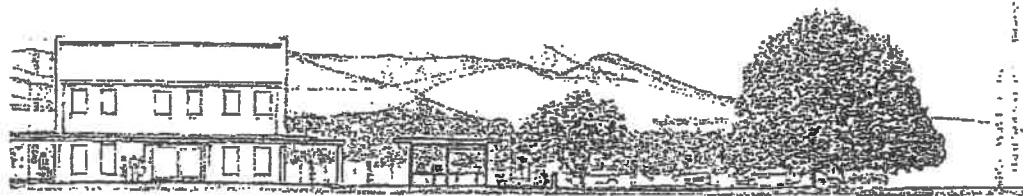
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WH	MW	03/10/2014	1:2000 (A4)
Project no.:		Revision no.:	
A3074		1	
Drawing:			Plan no.:
Rezoning and Closure			7



BOOGERTMAN
+PARTNERS
ARCHITECTS

SIMONSBERG PARK:
DEVELOPMENT OF ERF 1336
KLAPMUTS



DESIGN MANUAL & ARCHITECTURAL GUIDELINES

prepared

by

BOOGERTMAN + PARTNERS ARCHITECTS

October 2013 (First Revision)
December 2014 (Second Revision)

km

INDEX

- 1.0 THE DESIGN ETHIC OF SIMONSBERG BUSINESS PARK DEVELOPMENT
- 2.0 DEVELOPMENT RIGHTS
- 3.0 THE PLAN REVIEW PROCESS
- 4.0 SITEWORKS & SITE LAYOUT
- 5.0 PARKING
- 6.0 FENCING & SECURITY
- 7.0 ARCHITECTURE
- 8.0 LANDSCAPING
- 9.0 SIGNAGE, GRAPHICS & LIGHTING
- 10.0 DUE PERFORMANCE
- 11.0 ARCHITECTURAL GUIDELINES & MATERIALS
- 12.0 PICTORIAL GUIDELINES
- 13.0 SITE DEVELOPMENT PLAN AND SITE LAYOUT
- 14.0 LANDSCAPING GUIDELINES

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1.0 THE DESIGN ETHIC OF SIMONSBERG PARK.

1.1 The Simonsberg Park is an industrial business estate within the Klipmuts development node and is intended to form a distinctive node and landmark within this zone. The design guideline is intended to reinforce these qualities by:

- 1.1.1 consolidating the area as an easily recognised node having a sense of place and memorability
- 1.1.2 establishing a superior quality of environment through a high standard of landscaping of the public environment and buildings governed by a simple set of development parameters and guidelines
- 1.1.3 carrying through a simple code of colours and materials that creates an overall integrity
- 1.1.4 undertaking all development with attention to quality through a simple plan review process.

1.2 It is essential to achieve an identity for the area as a whole. The group form of the architecture in terms of colour, material, texture, scale, signage and lighting, must therefore reinforce an overall identity.

1.3 The Sensitive nature of the site at an entrance to Stellenbosch requires a consistent architectural style and use of building materials throughout the development: the intention of the guideline is to optimise flexibility while remaining sensitive to the character of the surrounding landscape.

1.4 The architectural language is a response to the location and surrounding and can be broadly described as Cape Agricultural.

1.5 It is therefore the intention to promote discipline and integrity of development through the control of form, roof form and scale, parking and carports, screening of yards and storage, the use of materials, and, most importantly, colour, signage and lighting. The colour code for all buildings is predominantly in the off-white, earth, light grey, cool grey and medium grey range of colours with proportions of these being required as primary and secondary colours. Accent colours to specific areas like entries and features (picking up on the corporate colours) are encouraged throughout. De Hoop red clay brick pavers and charcoal cobbles are preferred throughout for accent features.

2.0 DEVELOPMENT RIGHTS

2.1 See annexure A:

2.1.2 In order to optimize the manner in which the buildings on the estate use their individual locations it is a requirement that the architect employed by the erf owner visit the site, familiarize themselves with the site constraints and opportunities vis a vis (among others but not limited to) access, existing infrastructure, topography, prevailing weather conditions, summer and winter sun angles, distant views and adjacent views and view corridors. It is also a requirement that a sketch illustrating the analysis of the site and the predominant building responses to the specific site conditions accompany the final building plan submission to illustrate this process. This sketch may be rough but should provide sufficient information to clearly illustrate how the building submission responds to the specific site and may be accompanied by photographs, charts or any other relevant information which informed the design. (rule)

General Notes:

- * The buildings/ masses are to be positioned to create the outdoor spaces and visual corridors and features as per the overall SDP.
- * The typical cross section for determining the building mass.

Special Conditions: Site Development and Landscape Plans are required to be approved prior to building plans.

- 2.2 Site owners are obliged to be members of the Simonsberg Business Park Property Owners Association .
- 2.3 Passive stormwater management principles are encouraged in leading stormwater either into the piped stormwater system. These principles should allow for stormwater flows to be minimised and attenuated on-site for as long as possible within driveway and parking areas, paths, decks, terraces, balconies and hard or soft landscaped areas before being discharged either into the piped system or adjacent open spaces. The impact of discharge into adjacent open spaces is also to be minimised and properly engineered.

3.0 THE PLAN REVIEW PROCESS

3.1 The Simonsberg Park Property Owners POA (The POA) is represented by its Design Review Committee (the Committee).

3.2 The plan review process is as follows:

- 3.2.1 Presentation of a conceptual design together with the guideline checklist and scrutiny fee of R5000.00 excl VAT, and a site development plan prepared by a SACAP registered architect – (PrArch) If changes are required the POA may request that the submission be tabled again.
- 3.2.2 Where the concept design is approved the POA may authorise the controlling architect to endorse council submission drawing prepared in accordance with the approved sketch plan.
- 3.2.3 Rider plans or amendments to approved submissions are to be submitted as for new submissions and will attract a fee of R2500.00 excl VAT.
- 3.2.4 After inspection of the completed development including installation of landscaping, signage and lighting, and provided that this is in accordance with the approved drawings, a certificate of "Final Approval" will be issued by the POA and the deposit refunded.
- 3.2.5 No POA approval shall imply local authority approval which remains the responsibility of the designer/applicant.

3.3 Site Development plan requirements

- 3.3.1 the envelope intended for accommodating the office component of the development
- 3.3.2 the envelope intended for accommodating the warehouse component of the development
- 3.3.3 the zones intended for accommodating the loading, offloading, car parking and service yard components of the development
- 3.3.4 the points at which it is intended that entrance for various classes of traffic be taken to each site



- 3.3.5 any non-user servitudes that may apply to individual sites
- 3.3.6 landscaping zones to be planted by individual developers and any Estate landscaping that is to be augmented by developers
- 3.3.7 building lines, build-to lines and points of architectural accentuation that may be required
- 3.3.8 All elevations complete with material / finishes specification and colours
- 3.3.9 Countour plan of existing site and all details of finished level.
- 3.3.10 Full details of signage proposal

4.0 SITE WORKS AND SITE LAYOUT

4.1 While earth platforming is necessary in respect of individual sites, this is to be undertaken within the following guidelines:

- 4.1.1 Extensive earth retaining structures are discouraged and should be ameliorated into several smaller changes in level.
- 4.1.2 Earth retaining systems such as Terraforce (or similar approved) are permitted, together with reinforced concrete or clay masonry retaining walls, although these must be amply planted to allow for the substantial screening of such systems by sustainable vegetation.
- 4.1.3 No retaining structure or embankment may be constructed on a site so as, in the Committee's's view, to create an injurious condition to an adjacent site.

4.2 No open-air storage nor outdoor working areas other than service yards are permitted, providing that the committee may waive this requirement in cases of individual merit. Any storage of goods in the form of containers, crates, boxes, palettes or stacking is to take place within a suitably screened and approved area and may not exceed a height of 4m provided that the Committee may consent to a waiver in cases of individual merit. Outdoor storage or yard areas whether covered or uncovered, are to comply with the following:

- 4.2.1 the area designated for such use may not be visible from any adjacent roads
- 4.2.2 the area must be suitably screened from adjacent developments where there is, in the committee's view, the threat of compromising the outlook of an adjacent development
- 4.2.3 any structure erected to provide cover to outdoor storage areas is to be of a substantial nature and in keeping with the overall integrity of the development
- 4.2.4 any outdoor storage area must be suitably screened with well-lawned earth mounds and swales, planting and/or screen walls designed in the ethic of the overall development.

5.0 PARKING

- 5.1 Embayment parking provided by the land owner is to be sympathetic to the electrical lightpole layout.
- 5.2 Parking is to be provided in accordance with the provisions of the Applicable zoning scheme.
- 5.2 All shadeport structures are to be approved by the committee. Where the committee is satisfied that the scale and intensity of tree planting within parking areas warrants it, the

requirements for covered parking may be reduced or waived at the discretion of the committee.

5.3 All uncovered surface parking areas for cars are encouraged to be constructed of high quality tarmac or concrete brick pavers. All driveways, pavements and walkways are encouraged to be constructed from light grey or earth coloured concrete interlocking pavers or De Hoop red clay pavers with edgings. Where such driveways and parking areas are also required to cope with heavy-duty vehicles, concrete paving blocks, tarmac or interlocking blocks are permitted.

5.4 All trucking areas and areas used for loading and off-loading purposes are to be suitably screened from adjacent developments and roads constructed of suitably durable and easily maintained materials such as concrete block, concrete committees or tarmac with concrete edge restraints.

6.0 FENCING AND SECURITY

6.1 The intention is to use generally walling as per the drawing guidelines and lightweight palisade fencing systems in the colour range of dove grey. Where walls are to be used along boundaries, these may not be of a precast system variety but must be plastered or scratch plastered block or brick rendered off-white or grey incorporating with wall elements and piers. See attached detail of boundary wall detailing to the entry road areas, boundaries and pergola elements. Full height masonry walls are to be built around all yard and delivery/receiving areas.6.2

6.2 Additional security related to the perimeter fence, if desired by individual developers, is to be separate from the perimeter fence and should observe the following guidelines:

6.2.1 No barbed nor razor wire is permitted on road frontages or in public view long other boundaries.

6.2.2 Security gates to all front doors are to be approved by the Committee.

6.2.3 solid sections of the boundary treatment should not exceed 2.4m high at any point relative to the neighbouring finished ground level and should not exceed lengths of 15m for any single section

6.2.4 the height of the general side-boundary treatment should not exceed 2.5m at any point relative to the neighbouring finished ground level

6.2.5 barbed and razor wire is not allowed.

6.2.6 electrification above boundary walls or fences should consist of no more than 3 horizontal electric strands.

6.2.7 all boundary treatment is to be suitably landscaped as an integral part of the overall site's landscape design.

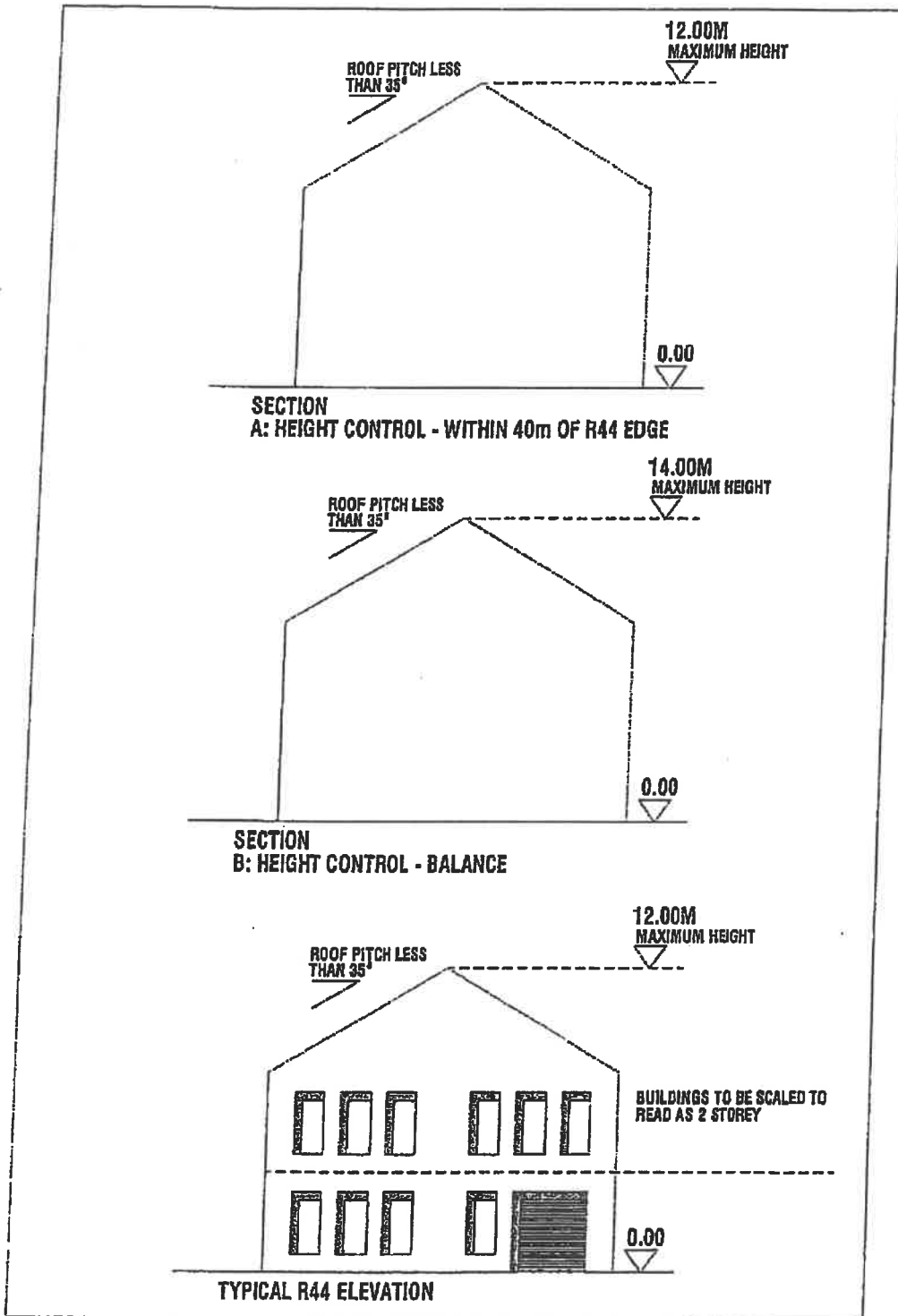
6.3 All entrance gates, security gates, gatehouses and arrangements for security personnel dealing with the security of individual sites are to be designed as integral parts of the site's development and approved during "Plan approval" by the Committee.

7.0 ARCHITECTURE

7.1 The ethic of a "colour-coded architecture" applies to all buildings within the Business Park. Primary, secondary and accent colours set the basic colour code for all architecture. The primary colour defines either a "off-white/earth colour" architecture, broadly defined as follows:

- 7.1.1 "Off-white/earth" architecture is a building or complex of buildings rendered in the colour range of off-white and tones of earth for example stone and sand (including electro-polished stainless steel, natural aluminium and/or tones of grey painted surfaces and galvanised sheeting or steel members).
- 7.2 In respect of more detailed attention to the colour code: All percentages of colour are to the discretion of the Committee.
- 7.2.5 All sheeted roofs are to be in a tone of dove grey, silver or very light grey colouring by virtue of the reduced heat absorption associated with these.
- 7.2.6 Accent or corporate colours may only be approved as a waiver by the committee where the committee deems appropriate. This applies to both colour and extent.
- 7.2.7 Smooth DeHoop red clay (or similar approved) are the permitted facebricks. Where the local plaster construction is used, these can be plastered/scratch plastered and painted in keeping with the colour code adopted for the development. Where concrete block or brick products are to remain unplastered, they must be rendered as high-quality, finished and suitably pointed or jointed elevations and finished to fit into the colour code requirements of the building.
- 7.3 The roof is a dominant element in the architecture associated with the Simonsberg Park Development and the use of roof forms and elements as per the attached pictorial is encouraged. Where a roof is to be substantially of a low double or mono pitch, the maximum height of a roof structure may not exceed 12m on the first 15 meter adjacent to the 30 meter setback line from the R 44 and not more than 15 m on the roofs of buildings situated more than 45 meters from the R44 reserve boundary. See attached typical section.
- 7.4 The scale of the architectural elements associated with a business park requires particular attention and must adhere to NB Regulations:
- height – as far as possible the maximum heights permitted are encouraged in respect of the front of building component of the development in order to bring the height into scale with the remainder of the development. The warehouse component of a development at eaves and pitch of the roof must adhere the attached drawing.
 - expanse – the horizontal extent of the building component of the development should be consciously modulated to de-emphasise the scale of elements
 - meeting the ground – it is important to address the way in which the ground plane is designed as a conscious aspect of the development's architecture
 - meeting the sky – the tendency to blur the distinction between façade and roof element requires that particular attention be paid to the architecture of the roof of the back of house component
 - attention to scale -- under-scaled or non existent fenestration in facades not required to provide interior natural light means that many facades tend to be bland, featureless planes and need to be addressed as a conscious design concern
 - roofs designed to provide top-lighting – the roofscape derived from top-lighting concerns has the ability to bring dynamic possibilities to the architecture of components and needs careful attention in the overall design of the development
 - careful integration of mechanical plant-- mechanical ventilation is an important element and the plant associated with this must be considered as a conscious aspect of the design
- airconditioning units screening – all externally mounted ac units and condensers are to be screened by means of louvers to the satisfaction and discretion of the Committee.

MAXIMUM HEIGHT FOR BUILDINGS

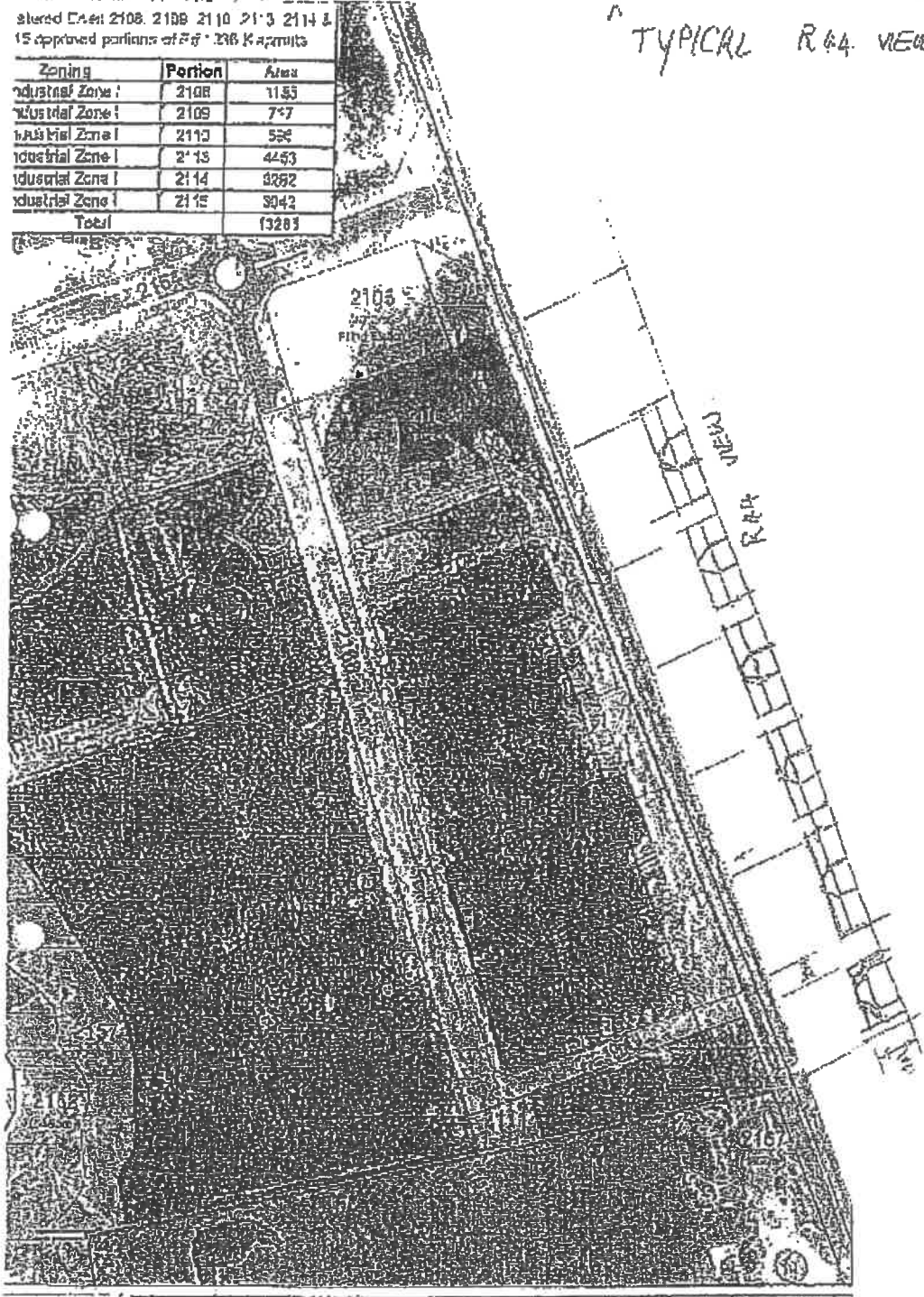


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shered Erien 2108, 2109, 2110, 2113, 2114 & 2115 approved portions of Erf 1338 Klaphuts

"TYPICAL R44 VIEW"

Zoning	Portion	Area
Industrial Zone I	2108	1153
Industrial Zone I	2109	747
Industrial Zone I	2113	526
Industrial Zone I	2114	4453
Industrial Zone I	2115	3282
Industrial Zone I	2115	3042
Total		13283



0

0

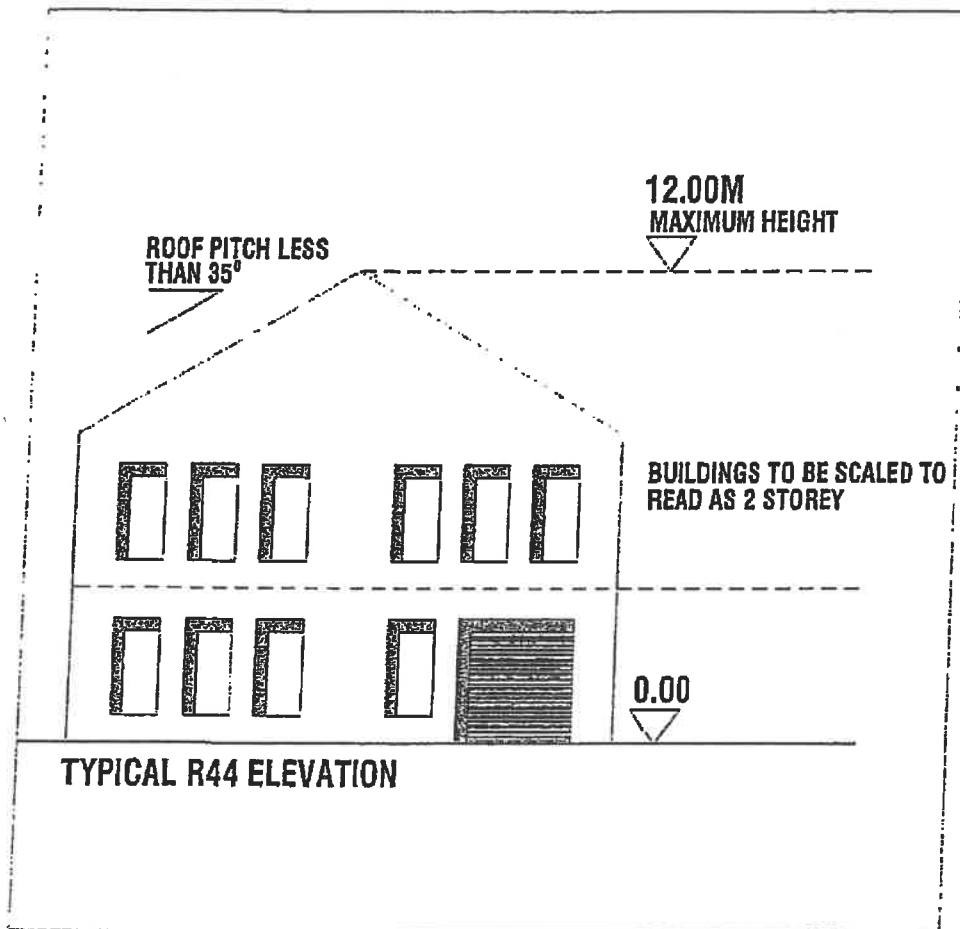
3
 Pletziel 11a Eriens 2108 B. Lang
 Erf 1338 Klaphuts
 0211 211 2113
 0211 211 2114
 0211 211 2115
 0211 211 2115
 0211 211 2115
 0211 211 2115
TECHNICAL AND TOWN PLANNERS

Proposed Rezoning
Unregistered Eriens 2108, 2109,
2110, 2113, 2114 & 2115 approved
portions of Erf 1338 Klaphuts

	<table border="1"> <tr> <td>Year</td> <td>2010</td> <td>2011</td> <td>2012</td> </tr> <tr> <td>Approved</td> <td></td> <td></td> <td></td> </tr> </table>	Year	2010	2011	2012	Approved			
Year	2010	2011	2012						
Approved									
<table border="1"> <tr> <td>Resolving</td> <td>3</td> </tr> </table>		Resolving	3						
Resolving	3								

TYPICAL VIEW FROM R44/ SECTIONAL ELEVATION(Erf 2108,2109,2110)

lm



TYPICAL VIEW FROM R44/ SECTIONAL ELEVATION(Erf 2106/2,2107/1,2107/2,2107/3,2107/4+2107/5)

km

8.0 LANDSCAPING

8.1 Landscape architect guidelines to be adhered to.

9.0 SIGNAGE, GRAPHICS, LIGHTING AND MECHANICAL PLANT

9.1 A major reason for purchasing a business site is to capitalise on exposure. It is therefore important that companies be permitted to display signage on those facades facing surrounding roads, that signage does not become cluttered and that size be limited within reason, to prevent signage "out-shouting" other signs. All signage on the R44 road on buildings that are situated on the required 30 meters setback must have signage that complies with municipal bylaws.

9.2 In this regard, signage must be governed by the following guidelines:

9.2.1 no sign may appear on a building or any component thereof other than as an integral part of the building's design and each building or complex of buildings must be designed with signage as a conscious aspect and a policy governing signage into the future for inclusion in lease documentation must accompany the approved design

9.2.2 only the name of the company having naming rights to the building may display its name on the building's façade

9.2.3 no sign may project above the point at which the façade of a building meets the roof of the building (being that point where the vertical face of any elevation transitions to constitute the roofing element of the building). No signage may be painted onto the roof of a building nor erected on any roof other than being an integral part of the design of the roof.

9.2.4 no characters nor items of a sign may exceed 1.2m in height and the sign may not exceed 10m in length provided that the Committee may, in the individual circumstances of a development, decide that such size may be inappropriate and reduce such sizing parameters

9.2.5 where, in cases of individual merit and deemed appropriate by the Committee, approval of more than one sign on any one elevation is possible.

9.2.6 the favoured fixing method of signs discourages backing boards affixed to a building and prohibits signwriting directly onto the façade, roof or any other surface of a building

9.2.7 the favoured fixing method of a sign, whether comprising individual cut-out letters or a backing board, encourages each character of a sign or its backing board to be pin mounted at least 20mm from the surface of the façade

9.2.8 where backing boards are to be used as the basis of a sign, such boards are to be designed as integral parts of the building's architecture or individually detailed and framed so as to create an elaborate signboard affixed to the building

9.2.9 lighting of signage, unless designed as a conscious and integral part of the building and the sign's design, is to be in the form of concealed lighting only and may not shine directly through the material forming the sign

9.2.10 no flashing nor moving components on signage is permitted

9.2.11 the signage on buildings to be approved by the Committee

10.0 LANDSCAPING

- 8.1** Landscape architect guidelines to be adhered to.

11.0 SIGNAGE, GRAPHICS, LIGHTING AND MECHANICAL PLANT

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 - 9.2.9** lighting of signage, unless designed as a conscious and integral part of the building and the sign's design, is to be in the form of concealed lighting only and may not shine directly through the material forming the sign
 - 9.2.10** no flashing nor moving components on signage is permitted
 - 9.2.11** the signage on buildings to be approved by the Committee
 - 9.2.12** materials used in the manufacture of signs are to be of high quality, matt finish and of enduring materials and colourings

- 9.3 All mechanical plant, masts, and antennae are to be designed and placed as an integral part of the overall development of a site and no such plant or services are to be surface mounted on the outside facades of a building other than as a conscious expression of the building's architecture. Airconditioning equipment is to be screened to the Committees's approval.
- 9.4 Lighting, whether for architectural, functional or security purposes is to be discreet with an emphasis on uplighting in a way that does not contribute to light pollution of the sky nor overspill into the adjacent natural habitats and disturb the light qualities of the natural habitat.
- 9.5 Floodlighting is discouraged and all lighting should be considered in terms of the extent to which it contributes to surveillance and security, promotes the ambiance of the park as a whole, accentuates individual developments without 'out-shouting' the neighbouring developments and does not cause glare onto conservation areas, the highway, main roads and into the sky. Floodlighting is to the Committees approval.

12.0 DUE PERFORMANCE

- 10.1 It is in the interests of the POA and tenants within individual buildings, that the conduct and performance of on-site contractors are exemplary throughout the development. To this end it is required that certain matters related to tendering and construction procedures come before the Committee.
- 10.2 In all instances a building deposit is to be lodged by the developer with the POA, in the form of a bank guarantee, to cover damages to the public and semi-public domain and/or failure to comply with due performance criteria, late finish or failure to complete any aspect of the development satisfactorily. This sum has currently been set at R30 000.00 or other amount to be determined by the POA.
- 10.3 Prior to commencing on site, all contractors are to furnish to the POA, for approval of the Committee, full particulars of their intended site establishment, arrangements for contractors entrances, materials and plant storage, fencing details, site office arrangements, security of the site and ensuring security for adjacent sites, and site management procedures.
- 10.4 As contractors proceed on-site they are to furnish to the POA updated copies of work programmes and a receipt for the deposit as well as sub-contractors responsibilities to enable the POA to monitor progress and report back to the Committee.
- 10.5 On completion of the development, the Committee will, if satisfied, issue a certificate of "Final Development Approval" in respect of all aspects of the development of the site. Such certificate of Final Development Approval is a pre-requisite for official hand-over and the repayment of the building deposit noted in Point 10.2 above or the cancellation of the guarantee that was lodged. This certificate will be issued once the POA has signed off the issue of development certificate.

Note: Plan Approval by the Committee constitutes approval of plans only in order to commence local authority planning application. Final Development Approval will only be issued after approval of the installation of landscaping, signage and lighting to the satisfaction of the Committee. Unless Final Development Approval is granted, in writing, the deposit or guarantee will not be refunded and the Development will be considered "incomplete" in terms of the Constitution of the POA.

13.0 ARCHITECTURAL GUIDELINES AND MATERIALS LIST.

11.1 ROOFS

11.1.1 Form:

- Saw tooth and pitched roofs are encouraged.
- Double pitch roofs up to 35 degrees max will be allowed.
- Verandah, canopy type or lean-to type roofs with a maximum width of 10m will be allowed as a detail element but cannot be enclosed. All to the Committee's approval.
- Flat concrete roofs with pebbles will be allowed as secondary roof for certain areas, but not more than 25% of total floor area.
- No vertical cladding of any sort will be allowed on elevations facing roadways or greenspaces.
- Slow curved roof allowed on Erf 2116 as well as a height of 15 meters for the roof pitch.

11.1.2 Material:

- Roof material must be non-reflective.
- Roof material profiled precoloured metal roof sheet
- Roofs must be in sheet profiles: corrugated, IBR, Saflok, Kliplok.

11.1.3 Colour:

- Light colours for energy efficiency and dove grey will be allowed
- Gutters to match colour of roof. GMS gutters and downpipes can be utilised.

11.1.4 Roof Furniture:

- Roof lights, ventilators and extractors must be integrated in the design of the structure and match the colour of the roof finish.

11.1.5 Exclusions:

- No slow curved roofs are allowed.
- No fibre cement roofing.
- No reflective materials
- No tiled roofs are allowed.

11.2 FACADES AND WALLS:

11.2.1 Materials:

- External walls to be plastered and painted or De hoop red clay (or similar approved by the committee) brick. Natural stone cladding to walls is encouraged.
- Where vertical cladding is allowed it must be in the same material and colour as the roof. No vertical cladding of any sort will be allowed on elevations facing roadways or green spaces.
- Plastered details to be provided to all windows and doors on street elevations and to be painted same colour as walls. Depending on the design alternative details can be provided but must be submitted for approval..
- Natural stone cladding will be allowed – up to 20% of facade. Natural stone gabion walls are encouraged.
- Natural tile (sandstone or earth coloured slate) cladding will be allowed – must be submitted for approval. No diagonal tiling will be allowed.
- Nutec "handyplanks" or shiplapped timber boarding may be used as a design detail only. Colour must match window frames or wall colour. Sketch plan design must be submitted for approval.

11.2.2 Colours:

- Walls and plastered details to be one colour only:
- Face brick: Corobrick red smooth clay de hoop face brick as detail elements only.

- Natural stone, earth and slate colour

11.2.3 Exclusions:

- No shiny, metallic reflective surfaces or reflective type glass.
- No other colours than mentioned above.
- No multicoloured face brick to be used – one colour and texture only
- No exposed concrete, block work (bagged or painted) or raw block work or other face bricks except those mentioned above are allowed.
- No imitation stone or tile claddings will be allowed.

11.3 WINDOWS AND DOORS:

11.3.1 Form:

- Must be vertical (ie height exceeds width) or square proportions
- Windows and doors must line up on elevations to form a unit.
- Windows used in a series behind verandahs or pergolas may form larger openings.
- Entrance doors must be recessed a minimum of 800mm on plan or provided with veranda or pergola detail.

11.3.2 Materials:

- Natural anodized aluminium or powder coated aluminium.
- Galvanized roller shutter doors – powder coated to match windows – factory finished in colour.
- Pre-cast concrete window and door frames ("win block" type excluded)
- No external windows or doors to be in natural timber finish. Fire escape doors and other doors to match colour of building or window frames.

11.3.3 Colours:

- Dove grey or light grey anodized aluminium
- Powder coated aluminium in dove grey or white only.
- All timber doors and roller shutter doors to be finished to match window colours or painted finish of building.

11.3.4 Exclusions:

- No small pane cottage window frames.
- Timber windows are not allowed.
- No glass bricks.
- No "WINBLOCK TYPE" concrete window frames will be permitted.
- No external burglar proofing will be allowed. Security gates to front doors are all to the Committee's approval.

11.4 OUTBUILDINGS, SCREENING:

11.4.1 Visual:

- Outbuildings such as refuse enclosures and guardhouses must be compatible in style and material to main building.
- All rear yard and side yard loading and refuse areas shall be screened with walls all to the Committee's approval in materials to match the building.
- No exposed/visible services areas will be allowed on any street elevation.
- **Other boundary walls:** Boundary walls on street elevations must be plastered and painted built walling or palisade fencing. 350x350 columns facing the street must be provided at 5.0m centres. See attached detail dwg.

11.4.2 Exclusions:

- No precast (vibacrete type or similar) walling will be allowed.
- No bagged boundary or yard walls to be visible from street.
- No razor or barbed wire fencing is allowed.

11.5 SERVICING:

11.5.1 Services:

- No services to be visible on any street elevations or residential properties. Plumbing and rainwater down pipes to be integrated into structural design.

11.5.2 Antennae:

- No radio or television antennae or other similar equipment shall be located on the roof or street elevation of any building. Such equipment shall be located in the side or rear yard area.

11.5.3 Signage:

- All signage will comply with the Signage Guidelines and are to be submitted for approval.
- No billboard or third party signage will be permitted.
- Only traffic signs will be permitted on the road verge areas.

11.5.4 Local Authority requirements:

- All the above to comply with local authority requirements.

11.6 Parking & Road reserve treatment

11.6.1 Parking Bays

- 1.0m Wide pavement to be concrete interlocking pavers in light grey or earth colour. Rest of road reserve to be landscaped – minimum 1x tree in 50kg bags to be planted per 2 parking bays. An engineers certificate shall be required, certifying that the parking has been constructed in accordance with the requirements of the council.

11.6.2 Loading Bays

- loading bays to be fully descriptive and dimensioned and indicated as such on the site development plan of individual sites. All loading bays to conform to NBR.

km

12.0 PICTORIAL GUIDELINES

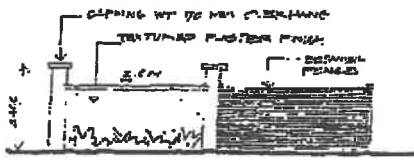
12.1. Heritage Western Cape proposals and conditions

Heritage Western Cape commented in their report of June 2007 that the development proposals be approved and that the following conditions be imposed:

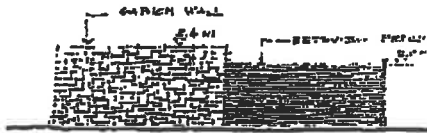
1. A set back line of a minimum of 30m be established from the R44. (Comment 1 : Was done as per LG plan)
2. A landscaping strip of a minimum of 5 m be established along the R44. (Comment 2 : Was done as per LG plan)
3. The edge of boundary treatment be visually permeable along the length. (Comment 3 : Betafence alongside R44)
4. The height of buildings on erven facing the R44 should not exceed two storeys. Buildings along this edge should be fragmented in form. (Comment 4 : Height limit = 12 m)
5. The height limit for the development (Comment 5: Area of 39 Ha) as a whole should not exceed two storeys. However, to enable a fragmented skyline three storeys should be permitted over a maximum of 35% of the site. (Comment 6 : Area of 13.65 Ha)
(Comment 6 : In the final approved Lupo Approval as well as Environmental Authorisation buildings of 4 storeys was allowed in the block where erf 2113 is situated to the west of Simonsberg Crescent)
(Comment 7 : The buildings on erf 2106 and 2107 on the eastern side of Simonsberg Crescent was also 3 storey buildings - Max roof height limit = 14 m)
6. The proposed parking area between the R44 and the retail strip should be carefully landscaped. Belts of trees should be used to compartmentalize the area. Low-level lighting should be used. Signage should be incorporated as part of the architecture. Freestanding advertising signs or third party advertising should be avoided.
7. A recessive form of architecture should be encouraged. The slavish replication of "Cape Dutch" architectural forms should be avoided. Colours should not be predominantly white but sandy or earth coloured tones. Bright colours on walls or roofs should not be permitted.
8. A minimum 30 meter corridor should be established for the Klapmuts river which should be incorporated into an integrated open space. (Comment 8: A 50 m wide corridor was allowed for as public open spaces (next to erf 2117, 2118, 2119, 2120, 2125, 2126, and 2127), and as private open spaces next to erf 2116, 2121, 2122, 2123, 2128, 2129 and 2131).



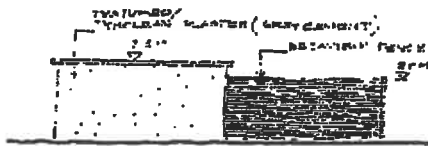
12.2 Boundary walls



TYPICAL BOUNDARY WALL DETAIL - NTS

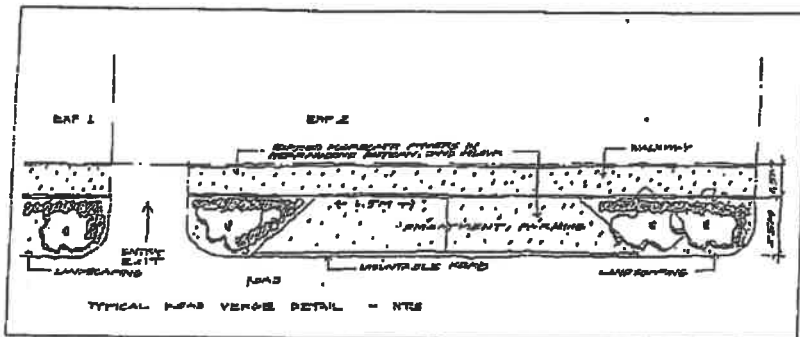


1 TYPICAL ENTRY WALL DETAIL - NTS

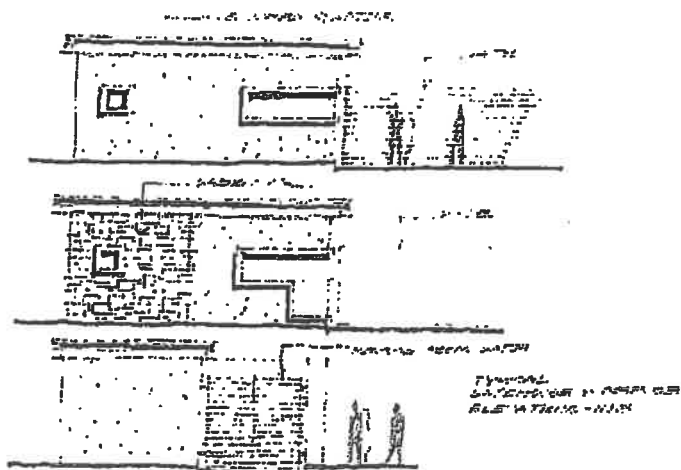


2 TYPICAL ENTRY WALL DETAIL - NTS

12.3 Typical road verge details



12.4 Gatehouses



km

13.0. SITE DEVELOPMENT PLAN AND SITE LAYOUT

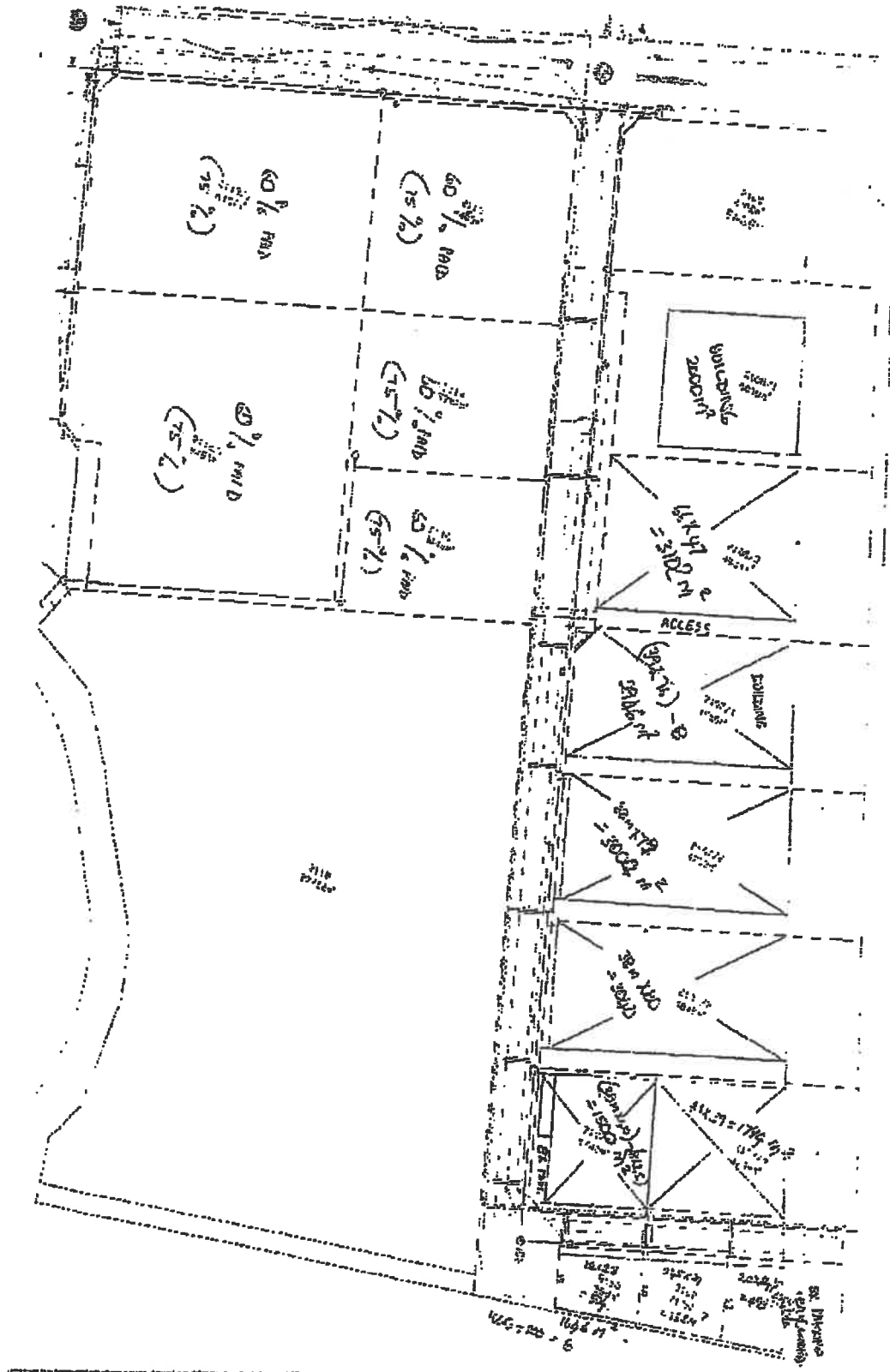
13.1. Building Lines

Annex A BUILDING LINES/ZONING FOR SIMONSBURG BUSINESS PARK DATED: NOV 2014

LO BRP NR/S	OLD BLSGN/PORT NR	ESTATE	SERVICE	STATUS OF ELECTRICITY SERVICES	DESCRIPTION OF ACTMNTY	TOTAL AREA	BUILDING HEIGHT- TOP OF ROOF R44 Build Line	MAXIMUM ROOF HEIGHT on Simonsberg Crested	R44 Building Line from Reserve	SIMONSBURG Crested BUILDING LINE	WESTERN BOUNDARY	SOUTH-EAST BOUNDARY BUILDING LINE	NORTHER BOUNDARY BUILDING LI
Port 2105/1	325/2	Simonsberg Business Park	Fully Serviced	AVAILABLE	RETAIL	6000	Double storey 12m	Double storey 12m	20m	8m from center	0 meter	3 meter	3 meter
Port 2106/2	325/2	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	4504	12 m	14m	30m	8m from center	0 meter	3 meter	3 meter
Port 2107/1	326	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	4542	12 m	14m	30m	8m from center	0 meter	3 meter	3 meter
Port 2107/2	326	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	4703	12 m	14m	30m	8m from center	0 meter	3 meter	3 meter
Port 2107/3	326	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	4645	12 m	14m	30m	8m from center	0 meter	3 meter	3 meter
Port 2107/4	326	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	3104	12 m	14m	30m	8m from center	0 meter	3 meter	3 meter
Port 2107/5	326	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	1740	Not Applicable	14m	Not Applicable	8m from center	0 meter	3 meter	3 meter
2108	327	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	1185	Double storey 12m	Double storey 12m	30m	8m from center	0 meter	3 meter	3 meter
2109	328	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	717	Not Applicable	Three storey 14m	Not Applicable	8m from center	0 meter	3 meter	3 meter
2110	329	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	598	Not Applicable	Three storey 14m	Not Applicable	8m from center	0 meter	3 meter	3 meter
2111	330	Simonsberg Business Park			Private Road	800	Not Applicable	Not Applicable	Not Applicable	Not Applicable	Not Applicable	Not Applicable	Not Applicable
Port 2112/1	334	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	6337	Not Applicable	15m	Not Applicable	8m from center	2 meter	5 meter	5 meter
Port 2112/2	334	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	6125	Not Applicable	15m	Not Applicable	8m from center	2 meter	5 meter	5 meter
2113	333	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	4453	Not Applicable	15m	Not Applicable	8m from center	2 meter	5 meter	5 meter
2114	332	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	3882	Not Applicable	15m	Not Applicable	8m from center	2 meter	5 meter	5 meter
2115	331	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	3042	Not Applicable	15m	Not Applicable	8m from center	2 meter	5 meter	5 meter
Port 2116	326	Simonsberg Business Park	Fully Serviced	AVAILABLE	Light Industrial Zone I	27710	Not Applicable	15m	Not Applicable	8m from center	2 meter	5 meter	5 meter
TOTAL						88103							

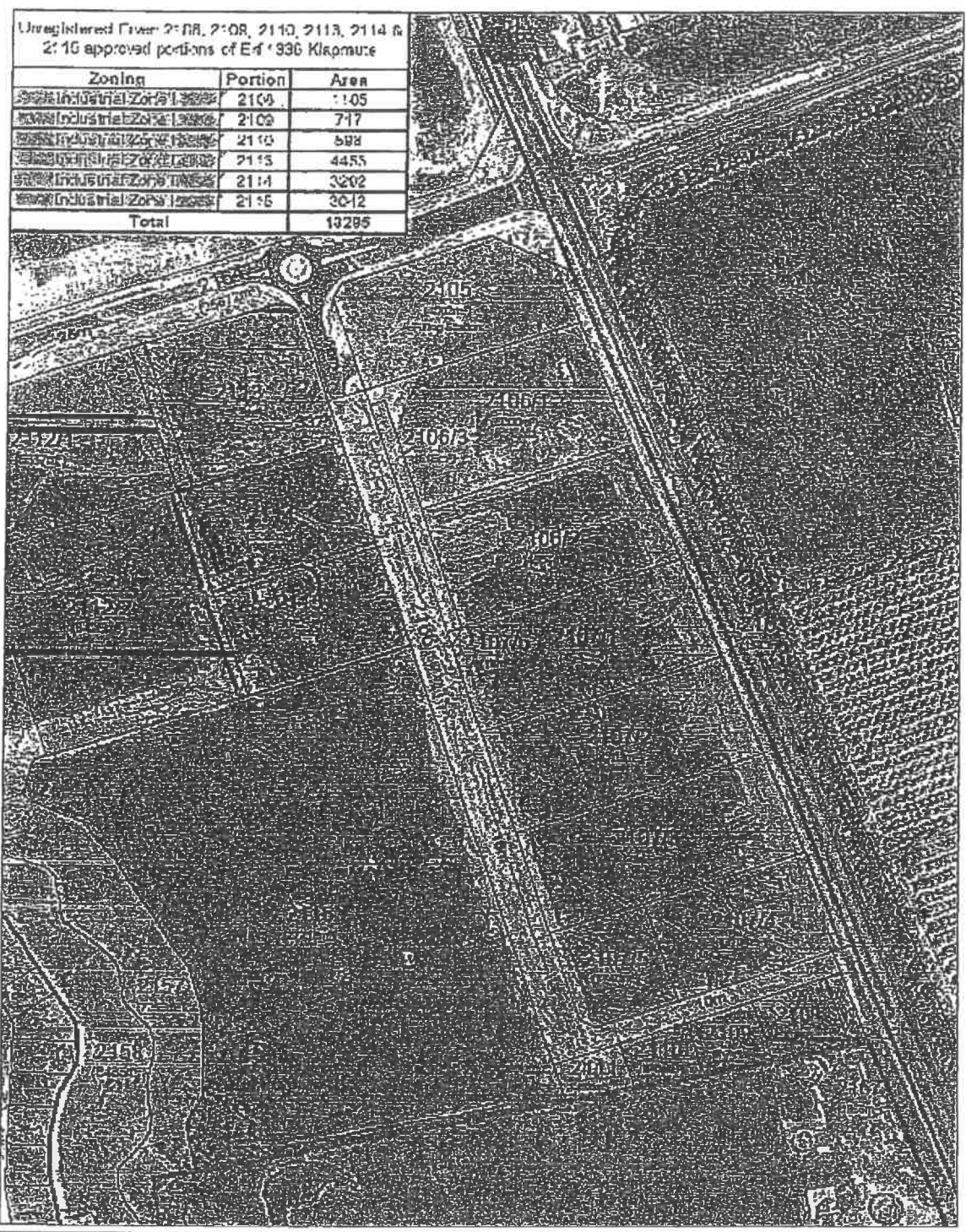
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13.2. Typical Positioning of Buildings



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13.3 ZONING PLAN ATTACHED IN REZONING APPLICATION (NOV 2014) (ANNEXURE A)




Unregistered Erven 2108, 2109, 2110, 2113, 2114 & 2115 approved portions of Erf 1336 Klippruts

Zoning	Portion	Area
Industrial Zone 1	2109	1105
Industrial Zone 1	2109	717
Industrial Zone 1	2110	588
Industrial Zone 1	2115	4455
Industrial Zone 1	2114	3202
Industrial Zone 1	2115	3012
Total		13295

tv3
 First Floor 1st Gratitude Office Building
 47 Duran Street • Bloemfontein 9600
 Tel: (051) 553 3000
 Fax: (051) 553 3000
 Email: info@tv3.co.za
 Website: www.tv3.co.za

ARCHITECTS AND TOWN PLANNERS

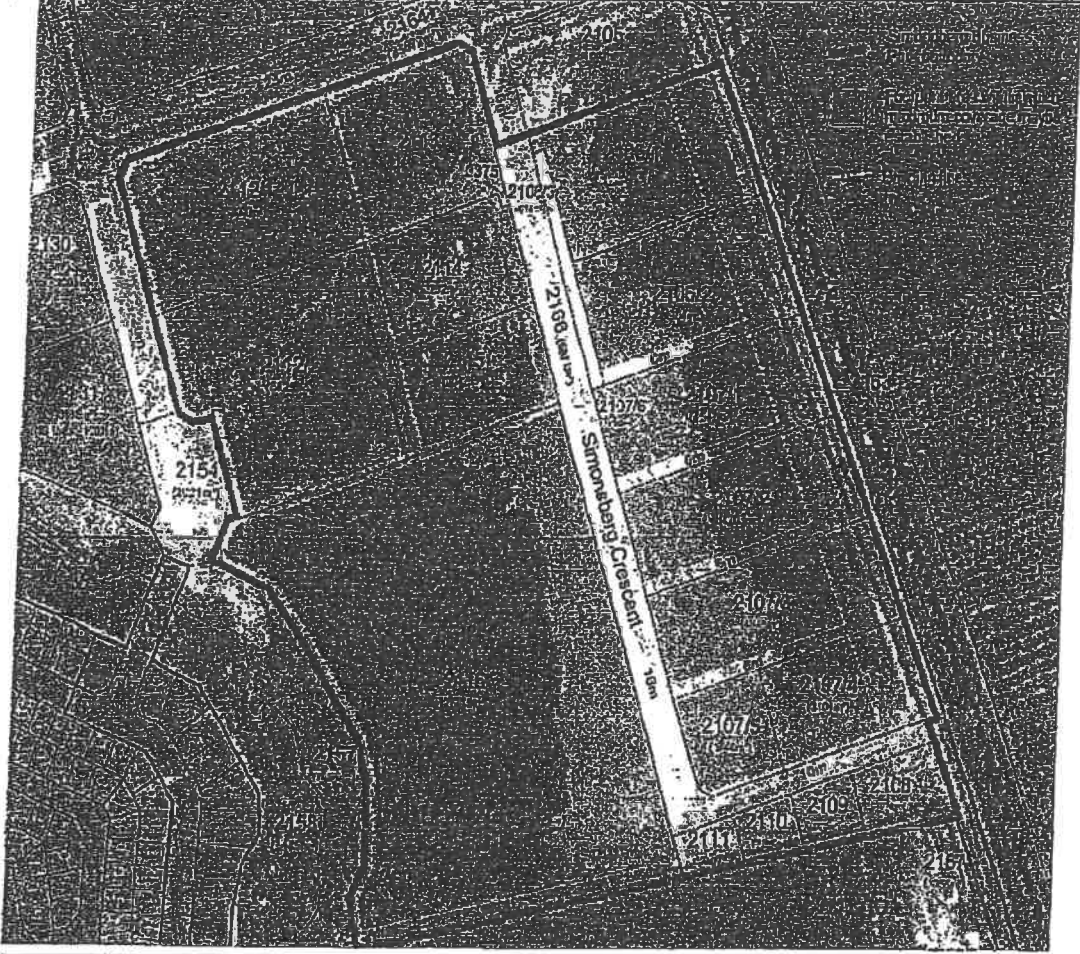
Proposed Rezoning
 Unregistered Erven 2108, 2109,
 2110, 2113, 2114 & 2115 approved
 portions of Erf 1336 Klippruts

	Date: 05/10/2014 Revision No.: 1 Author: [Name] Checked: [Name]
Title: Rezoning	Page No: 3

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13.4. SIMONSBERG BUSINESS PARK SDP

SDP DEVELOPMENT PARAMETERS FOR SIMONSBERG BUSINESS PARK										
ERF NO	ZONING	TOTAL AREA (m ²)	COVERAG E (m ²)	BUILDING HEIGHT: TOP OF ROOF TO BUILDING LINE	MAXIMUM ROOF HEIGHT ON SIMONSBERG CRESCENT	44 BUILDING LINE FROM RESERVE	SIDE SETBACK OR BUILDING LINE	WESTERN BOUNDARY	SOUTHERN BOUNDARY BUILDING LINE	NORTHERN BOUNDARY BUILDING LINE
2106/1	RETAIL	3000	2000	Developed 12m	Double story 12m	30m	8m from center		3 meter	0 meter
2106/2	Industrial Zone I	4904	2035	12 m	14m	30m	8m from center		6 meter	0 meter
2106/3	Private Road	613	0	Not Applicable	Not Applicable	Not Applicable	Not Applicable			
2107/1	Industrial Zone I	4943	2030	12 m	14m	30m	8m from center		6 meter	0 meter
2107/2	Industrial Zone I	4700	2230	12 m	14m	30m	8m from center		6 meter	0 meter
2107/3	Industrial Zone I	4940	2240	12 m	14m	30m	8m from center		6 meter	0 meter
2107/4	Industrial Zone I	3104	1330	12 m	14m	30m	8m from center		2 meter	0 meter
2107/6	Industrial Zone I	1760	1230	Not Applicable	14m	Not Applicable	8m from center		2 meter	0 meter
2107/8	Private Road	18	0	Not Applicable	Not Applicable	Not Applicable	Not Applicable			
2108	Industrial Zone I	1180	285	Developed 12m	Double story 12m	30m	8m from center	0 meter	1 meter	1 meter
2109	Industrial Zone I	717	425	Not Applicable	Three story 14m	Not Applicable	8m from center	0 meter	1 meter	1 meter
2110	Industrial Zone I	268	380	Not Applicable	Three story 14m	Not Applicable	8m from center	3 meter	1 meter	1 meter
2111	Private Road	100	0	Not Applicable	Not Applicable	Not Applicable	Not Applicable			
2112/1	Industrial Zone I	8337	3832	Not Applicable	14m	Not Applicable	8m from center	2 meter	0 meter	2 meter
2112/2	Industrial Zone I	8428	3035	Not Applicable	15m	Not Applicable	8m from center	2 meter	2 meter	0 meter
2113	Industrial Zone I	4463	2670	Not Applicable	15m	Not Applicable	8m from center	2 meter	0 meter	2 meter
2114	Industrial Zone I	3292	1875	Not Applicable	15m	Not Applicable	8m from center	2 meter	0 meter	0 meter
2115	Industrial Zone I	3053	1829	Not Applicable	15m	Not Applicable	8m from center	2 meter	2 meter	0 meter
2116	Industrial Zone I	2779	9530	Not Applicable	15m	Not Applicable	8m from center	2 meter	6 meter	2 meter
2165	Private Road	587	0	Not Applicable	Not Applicable	Not Applicable	Not Applicable			
TOTAL		51600	38980							



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ARCHITECTS AND TOWN PLANNERS

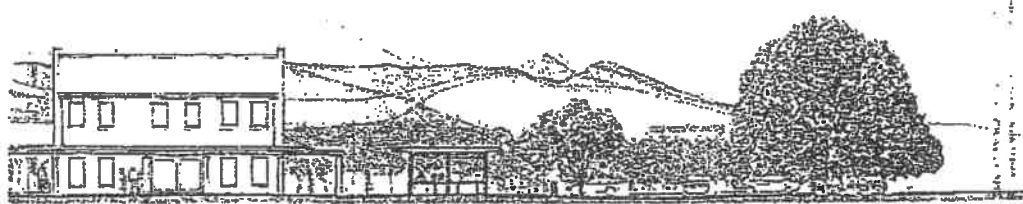
Simonsberg Business Park SDP



Project No:	2106-1	Revision No:	1
Project Name:	Simonsberg Business Park SDP		
Scale:	1:1000		
Author:	[Signature]		
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Date:	25/11/2015		
Project No:	2106-1		
Revision No:	1		
Project Name:	Simonsberg Business Park SDP		
Scale:	1:1000		
Author:	[Signature]		
Check:	[Signature]		
Date:	25/11/2015		
Project No:	2106-1		
Revision No:	1		
Project Name:	Simonsberg Business Park SDP		
Scale:	1:1000		
Author:	[Signature]		
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Date:	25/11/2015		

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14.0 LANDSCAPING GUIDELINES



LANDSCAPE ARCHITECTURAL GUIDELINES FOR THE R44 INTERFACE
Compiled by DCL Landscape Architects – Stellenbosch
June 2010 (1st Edition)

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LANDSCAPE DESIGN GUIDELINES

INTRODUCTION

Landscape design plays an important role in shaping our urban environments into visually pleasing and socially accessible places where community interaction can be fostered.

Landscape Character

Considered design and placement of coordinated landscape elements will contribute in creating an identity for Stellengate, Klipmuts that responds to the architecture and is appropriate to the Cape Wine lands/ Boland setting.

These include elements such as focal points in squares; defined edges and routes; external furniture and lighting; structured planting and integrated services.

Design Restrictions

Materials and colours should be limited to a selected palette that responds to the architecture and surrounding natural environment in order to obtain continuity within the urban place.

Coordination and Integration

The landscape design forms part of the overall urban framework and gives coherence and legibility to the development. Individual landscape elements should not stand in isolation, but form part of an integrated open space system, where all the elements are collectively considered and relate to the surrounding architecture. Basic guidelines for each type of landscape element are addressed in the following sections. These deal with the practicalities of function, materials, selection and siting of the various elements.

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SOFT LANDSCAPE ELEMENTS/ PLANTING

General

Planting in the Stellengate development offers the opportunity to provide an identity that relates to the surrounding winelands and Boland character of the area. Soft landscaping also provides cohesiveness and a sense of place. The attached plant list has been selected to reflect plants that are both waterwise and appropriate to Stellengate's setting.

Planting along the R44 Interface

- A continuous row of evergreen *Quercus canariensis* (Canary Oak) is to be planted at 11m centers along the entire length of the development boundary that interfaces the R44 (as indicated on the plan and section).
- These Oak trees are to have a minimum size of 40litre bags (with strong stems).
- All trees are to be staked and irrigated for a 4 to 5 year minimum.
- It is recommended that the entire row of *Quercus canariensis* immediately adjacent to the R44 (within the 5m green buffer zone) be planted as soon as possible so as to have sufficient time to mature (before the bulk of the development commences).
- A secondary row of evergreen indigenous trees (selected from the accompanying plant list) is to be planted in the parking area at $\pm 7.5m$ centers (as indicated on the plan and section once the parking area has been developed).
- The Oak trees are to be under planted with a selection of shrubs and ground covers (from the plant list) within the 5m green buffer area once the parking area has been developed.

Prohibited Plant Species

- All declared invasive alien plants listed in the "Conservation of Agricultural Resources Act, 1983", (Act No. 43 of 1983) and subsequent amendments to Act No. 43 of 1983 are not permitted within the Estate and may not be cultivated in private gardens.
- The establishment of an indigenous plant community is encouraged throughout Stellengate.
- No exotic invader species as promulgated by law are to be introduced.
- The planting of Palm trees will not be permitted.
- In response to the historical context of the environment as well as the envisaged vernacular/theme, certain exotic tree species will be permitted as indicated in the plant list.

Irrigation

- Irrigation systems should be as inconspicuous as possible.
- All trees are to be irrigated for the first 5 years.
- Shrubs and groundcovers should have continuous irrigation when necessary.



HARD LANDSCAPE ELEMENTS

Paving

- Paving layouts should be designed using consistent materials and patterns in order to achieve a unique identity for the Stellengate streetscapes.
- A single material can be used to define edges and channels so that continuity is created between different areas.
- Subtle variations in colour and texture can provide interest, richness and a sense of scale.
- Engineers are to specify all the construction details, including:
 - Sub-base
 - Bedding
 - Expansion joints
 - Edge restraints
- **Pedestrian routes**
- Surface textures should respond to the various type/speed of pedestrian movement.
 - Textured surfaces should be used for slow moving pedestrians or stationary pedestrians e.g. where benches occur.
 - Even/smooth surfaces should be used for faster moving pedestrians e.g. along desire lines and sidewalks.
- Expansion joints should be integral within the paving design.
- The following materials may be used for pedestrian areas:
 - Tinted cement / exposed aggregate pavers
 - Exposed aggregate composites
 - Gravel
- **Vehicular routes and parking**
- Intersections and pedestrian crossings should be highlighted by using a different material/ texture and/or elevated to slow down traffic.
- Main vehicular routes can be of asphalt, but secondary/ private roads should be exposed aggregate pavers.
- The following materials may be used for parking areas:
 - In-situ exposed aggregate concrete/ pavers
 - Grass-blocks for less frequently used/ multi-functional parking areas.

Manhole covers

- Where possible the position of manhole covers should be integrated into the paving pattern and aligned with buildings, so that brick and slab cutting is kept to a minimum.
- Manhole covers are to be recessed to accommodate pavers or the applicable matching material for continuity of paving.

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Edgings and channels

- Edgings contain the paving, prevent lateral movement and are an essential part of flexible paving construction.
- The surface drainage arrangements should be designed to avoid visible/ awkward furrows and high points.
- Paving should be designed with cross-falls to act as self-cleaning mechanisms and to limit water retention which could result in discoloration and slippery surfaces.
- Channels may be incorporated in the edge/ center patterning to drain away surface water.

Steps and ramps

- Steps and ramps should be seen as a dimension of paving, which accommodates level changes.
- They can also double up as space definers and provide outdoor seating.
- In the interest of safety, the treads should be identified by a change in pattern, material/texture or colour.
- Illumination of a change of level is encouraged, particularly at the base and top of a flight.
- All steps and ramps should adhere to the Standard Building Regulations.

Fencing and walls

- Fencing and walls shall match the style and materials used in the building as determined by the Architectural Guidelines.
 - No artificial stone is to be used in lieu of genuine stone.
 - No 'Vibracrete' walls, face brick, exposed masonry or walls in an unsuitable style, colour or texture will be allowed.
 - High walls will not be allowed other than around service areas or areas that require screening.
 - Generally, fences and walls shall NOT obstruct views from other properties.
 - The use of climbing plants on walls, trellises and fences is encouraged.
- A choice can be made from plastered 340mm wide "werf" walls in a broomed finish painted one of the stipulated tonal shades, wire mesh fencing in an approved colour that is to be screened by vegetation, or planted hedges with a maximum height of 1 meter.
- Additional appropriate materials (e.g. dressed stone) may be used in low retaining walls and building plinths only.
- There are a variety of types of enclosure that require different responses:
 - Low 340mm wide werf walls enclosing any external spaces e.g. around parking areas in the commercial strip. These walls are used to create external "rooms" associated with and directly linked to buildings to form courtyards. These low walls may only be a maximum of 1.2m in height.
 - 1.8-2m walls around service areas.

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- Perimeter fencing onto open public space. This includes any other fencing along the cadastral perimeters where walls are not permitted. All fencing to be of wire mesh or palisade and to a maximum height of 2m.
- Stone walls may be built entirely of stone or with stone facings to a masonry backup wall. The stone may be laid in random rubble or coursed rubble pattern with recessed cement mortar joints.

EXTERNAL FURNITURE

All external furniture including lighting and signage should form a kit of parts which is designed in accordance with the general character and identity of Stellenbosch, using similar materials and colours in order to provide continuity within the development.

Tree surrounds

- Trees in parking areas or other vehicle zones are to be protected by raised edges of pavers/cobbles or low seating walls.
- Some tree surrounds may be at seat height, especially in pedestrian areas; to accommodate seating as well as tree protection.
- A minimum of 1m square should be left open around the tree to allow for sufficient aeration of the soil.

Seating

- Seating is selected for short or long term use. Long-term seating has greater comfort requirements, such as a more moulded shape with back and arm rests for park and village square seating.
- Short-term seating can be simpler and more modular, but keeping within the overall design vocabulary of the development.
- Design considerations for seating should include:
 - Comfort
 - Stability
 - Heat absorption
 - Water run off efficiency
 - Low maintenance
- The following options may be considered for seating in communal spaces:
 - Timber benches
 - Built benches
 - Low walls with integral seating
- Benches in public areas are to be bolted down for theft prevention and vandalism.

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Litterbins

- Litterbins should be visible and convenient, but not obtrusive.
- Design considerations may include:
 - Robustness against vandalism and wear
 - Low maintenance materials
 - Ease of emptying and cleaning
 - Theft proof
 - Fireproof
 - Concealment of contents
 - Colour coordination with other streetscape elements
 - Drainage
 - Mounting and fixing components
- Minimum capacity: 50 litres and placed at 30m intervals.

Planters

- Plant containers may be used where trees and shrubs cannot be planted directly in to the ground and in conjunction with seating, steps and retaining walls.
- They may also be used to form barriers, provide screening or soften high walls.
- Painted, plastered masonry/ stone faced planters may be used.

Bollards

- Bollards form a useful barrier for vehicles but should be located to direct rather than obstruct.
- They may be combined with low-level lighting in specific areas.

Water features

- Water features may be constructed with painted plastered / stone faced brickwork.

Lighting

- A standard system of supports should be used for all lampposts.
- These in turn should be coordinated with bin and signage supports to minimize the number of poles.
- The level and type of lighting should express the function and character of the development.
- A higher level of lighting may be considered for illuminating squares and wide pathways.
- Low-level lighting may be considered for more intimate lighting of narrow pathways, seating, eating or planting areas.
- Decorative floodlighting lighting may be considered for illumination of special sculptures, water features or planting.

Signage

- Signage should be incorporated with lighting where possible and the same guidelines apply.

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PROPOSED PLANT LIST

TREES

Brachylaena discolor – Wild silver oak
Calodendrum capense
Celtis Africana – White stinkwood
Cunonia capensis – Rooi-els
Dais cotonifolia – Pompom tree
Ekebergia capensis – Cape Ash
Ficus natalensis – Natal fig
Harpephyllum caffrum
Kiggelaria Africana – wild peach
Nuxia floribunda – forest elder
Olea Africana – Olienhout
Podocarpus falcatus -

Podocarpus henkellii –
Quercus canariensis – Canary oak
Quercus nigra – Water Oak
Quercus robur English Oak
Quercus Suber – Cork Oak
Rapanea Melanophloeos – Cape Beech
Rhus Dentata
Rhus lancea – Karee
Rhus pendulina – White karee
Salix mucronata – Wilgerboom
Syzgium cordatum – Waterberry
Virgilia Oroboides - Keurboom

SHRUBS

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Aloe arborescens
Anisodonteia scabrosa
Barleria obtusa spp.
Buddleja spp. - False olive
Carissa spp. Num-num
Chrysanthemoides monilifera - Bietou
Chondropetalum tectorum - Dekriet
Clivia miniata
Coleonema spp. - Confetti bush
Dodonea angustifolia - Wild sand olive
Eriocephalus africanus - Wild rosemary
Euryops spp
Halleria lucida - Tree Fuschia
Felicia spp. - Blue daisy
Hypoestes aristata

FYNBOS

Agathosma spp. - Boegoe
Athanasia dentate - Coulter bush
Berzella spp. - Kolkol
Chironia baccifera - Christmas berry
Erica spp.
Leucadendron spp. - Conebush
Leucospermum spp. - Pincushion

GROUNDCOVERS

Agapanthus africanus spp.
Arctotis spp
Aristea major
Carpobrotus edulis
Crassula multicava
Diets spp. - Wild iris
Dierama pendulum
Dymondia margaretae
Falkia repens
Ficinia spp.

Leonotis leonorus spp. - Wild dagga
Leucospermum cordifolium - Pin cushion
Mackaya bella - River bells
Metalasia muricata - Blombos
Pelargonium spp. - Malva
Plumbago auriculata spp.
Podalyria spp.
Polygala spp.
Rhus crenata
Rumorha adiantiformis - Seven week fern
Salvia spp. - Salie bos
Strelitzia spp.
Tarchonanthus camphorates
Tecoma spp. - Cape Honeysuckle

Myrsine africana - Cape myrtle
Nemesia spp. - Bloubekkie
Phyllica spp.
Protea spp.
Psoralea spp.
Salvia spp.

Gazania spp.
Geranium incanum
Helichrysum spp.
Jasminum multipartitum
Kniphofia uvaria
Lampranthus spp.
Moraea spp.
Osteospermum fruticosum
Plectranthus spp.
Sutera spp.

Watsonia spp.

Zantedeschia aethiopica

CREEPERS

Jasminum angulare

Podraria ricasoliana

Rhoicissus tomentosa

Thunbergia alata

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MEMO

DIRECTORATE: ENGINEERING SERVICES
DIREKTORAAT: INGENIEURSDIENSTE

TO : The Director: Planning and Development
FOR ATTENTION : P April
FROM : Vincent Harris
DATE : 2014-11-26
RE. : PROPOSED REZONING AND SUBDIVISION OF ERVEN 2106 to 2110, 2113 to 2115, 2117,2118, 2133 to 2142, 2166, 2167 KLAPMUTS
Reference : ERVEN 2106 to 2110, 2113 to 2115, 2117,2118, 2133 to 2142, 2166, 2167 KLAPMUTS

Details, specifications and information reflected in the following documentation were scrutinized in order to comment on the abovementioned application:

1. An application for rezoning, subdivision, consent use and consolidation and closure of public road by TV3, dated 24 October 2014, received via internal circulation on 20 November 2014.
2. A land-use table, emailed to V Harris by Francois Klomp on 25 November 2014.

Comments from the Directorate: Engineering Services i.e. Roads & Stormwater, Water Services, Traffic Engineering and Development Services will be reflected in this memo and is to be regarded as development conditions to be reflected in the land-use approval.

Background

An application was received for the rezoning of a number of erven which were not developed since the existing approval for higher land-uses was approved in 2009. This application will result in a down scale of land-use rights which will lead to less of an impact on bulk services, already provided by the Developer.

It should also be noted that the coverage and GLA now applied for, is far less than allowable in terms of the applicable zoning scheme.

The development contributions payable in terms of this application will be calculated on the coverage and GLA as reflected below, supplied to this Directorate by the applicant. Building plan approval will only be in respect of development up to the coverage and GLA as reflected below, unless a process is followed whereby the Developer or his successor-in-title wishes to increase the coverage or GLA and a recalculation of development contributions is done to cover the higher coverage and GLA.

This Directorate will not support any building plan or engineering drawing that will reflect a development with more coverage and GLA as below without payment of development contributions for the higher coverage or GLA.

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REZONING AND SUBDIVISION OF ERVEN 2106 – 2110, 2113 2167, KLAPMUTS

4. that the "Developer" indemnifies and keep the "Municipality" indemnified against all actions, proceedings, costs, damages, expenses, claims and demands (including claims pertaining to consequential damages by third parties and whether as a result of the damage to or interruption of or interference with the municipalities' services or apparatus or otherwise) arising out of the establishment of the development, the provision of services to the development or the use of servitude areas or municipal property, for a period that shall commence on the date that the installation of services to the development are commenced with and shall expire after completion of the maintenance period.
5. that the "Developer" must ensure that he / she has an acceptable public liability insurance policy in place;
6. that the "Developer" informs the project team for the proposed development (i.e. engineers, architects, etc.) of all the relevant conditions contained in this approval;
7. that the "Developer" takes cognizance and accepts the following:
 - a.) that no construction of any civil engineering services may commence before approval of internal – and external civil engineering services drawings;
 - b.) that no approval of internal – and external civil engineering services drawings will be given before land-use and or SDP approval is obtained;
 - c.) that no approval of internal – and external civil engineering services drawings will be given before the "Developer" obtains the written approval of all affected owners where the route of a proposed service crosses the property of a third party;
 - d.) that no building plans will be recommended for approval by the Directorate: Engineering Services before land-use and or SDP approval is obtained;
 - e.) that no building plans will be recommended for approval by the Directorate: Engineering Services before the approval of internal – and external civil engineering services drawings;
 - f.) that no building plans will be recommended for approval by the Directorate: Engineering Services before a Clearance Certificate in terms of Section 31 of the Land-use Planning Ordinance is issued.

Site Development Plan

8. that a fully detailed site development plan be submitted for approval in respect of erven 2106 and 2117 prior to the approval of engineering services plans and or building- and/or services plans to allow for the setting of requirements, specifications and conditions related to civil engineering services. Such Plan is to be substantially in accordance with the approved application and or subdivision plan and or precinct plan and or site plan, etc. and is to include a layout plan showing the position of all roads, road reserve widths, sidewalks, parking areas with dimensions, loading areas, access points, stacking distances at gates, refuse removal arrangements, allocation of uses, position and orientation of all buildings, the allocation of public and private open spaces, building development parameters, the required number of parking bays, stormwater detention facilities, connection points to municipal water- and sewer services, updated land-use diagram and possible servitudes;


Internal- and Link Services

9. At this stage, all the services on erf 2166 are regarded as public services. Should the application to privatize these roads be approved, the services will be regarded as private services and is to be maintained by the HOA;
10. that the "Developer", at his/her cost, construct the internal (on-site) private civil services for the development, as well as any link (service between internal and available bulk municipal service) municipal services that need to be provided;

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REZONING AND SUBDIVISION OF ERVEN 2106 – 2110, 2113 2167, KLAPMUTS

11. that plans of all the internal civil services and such municipal link services as required by the Directorate: Engineering Services be prepared and signed by a Registered Engineering Professional before being submitted to the aforementioned Directorate for approval;
12. that the design and construction/alteration of all civil engineering Infrastructure shall be generally in accordance with the Standard Conditions imposed by the Directorate: Engineering Services in this respect or as otherwise agreed. The Standard Conditions is available in electronic format and available on request;
13. that the construction of all civil engineering infrastructure shall be done by a registered civil engineering services construction company approved by the "Engineer";
14. that the "Developer" ensures that his/her design engineer is aware of the Stellenbosch Municipality Design Guidelines & Minimum Standards for Civil Engineering Services (BS1028) and that his/her design engineer will comply to the mentioned document or as otherwise agreed in writing with the Directorate: Engineering Services;
15. that engineering design drawings will only be approved once Final Notice of LUPO approval is issued;
16. that all the internal civil services (water, sewer and stormwater), be indicated on the necessary building plans for approval by the Directorate: Engineering Services;
17. that all internal - and link services be inspected by the "Engineer" on request by the "Developer" or his Consulting Engineer;
18. that a practical completion certificate be issued prior to transfer of individual units or utilization of buildings;
19. that a complete set of test results of all internal - and external services (i.e. pressure tests on water - and sewer pipelines as well as densities on road structure and all relevant tests on asphalt), approved and verified by a professional registered engineer be submitted to the "Engineer" on a monthly basis;
20. that the "Developer" shall adhere to the specifications of Telkom (SA) and or any other telecommunications service provider. Copies of all correspondence with Telkom shall be handed over to the "Engineer";
21. that the "Developer" shall be responsible for the cost for any surveying and registration of servitudes regarding municipal services on private property;
22. that the "Developer" be liable for all damages caused to existing civil and electrical services of the "Municipality" relevant to this development. It is the responsibility of the contractor and/or sub-contractor of the "Developer" to determine the location of existing civil and electrical services;
23. that all connections to the existing services be made by the "Developer" under direct supervision of the "Engineer" or as otherwise agreed and all cost will be for the account of the "Developer".
24. that the "Developer" shall install a bulk water meter conforming to the specifications of the Directorate: Engineering Services at his cost at the entrance gate of all private developments before the practical completion inspection is carried out;
25. that the developer takes cognizance of applicable tariffs by Council in respect of availability of services and minimum tariffs payable;



REZONING AND SUBDIVISION OF ERVEN 2106 – 2110, 2113 2167, KLAPMUTS

26. that Section 31 Clearance will only be issued if the bulk watermeter is installed, a municipal account for the said meter is activated and the consumer deposit has been paid;
27. that a suitably qualified professional resident engineer be appointed to supervise the construction of all internal – and external services;
28. that the "Developer", at his/her cost, will be responsible for the maintenance of all the internal (on-site) municipal – and private civil engineering services constructed for this development until at least 80% of the development units (i.e. houses, flats or GLA) is constructed and occupied whereafter the services will be formally handed over to the HOA, in respect of private services, and to the Municipality in respect of public services;

Servitudes

29. that the "Developer" ensures that all main services to be taken over by the Directorate: Engineering Services, all existing municipal – and or private services crossing private - and or other institutional property and any other services crossing future private land/erven are protected by a registered servitude before final Section 31 Clearance will be given;
30. The width of the registered servitude must be a minimum of 3 m or twice the depth of the pipe (measured to invert of pipe), whichever is the highest value. The "Developer" will be responsible for the registration of the required servitude(s), as well as the cost thereof;
31. that the "Developer" obtains the written approval of all affected owners where the route of a proposed service crosses the property of a third party before final approval of engineering drawings be obtained.

Stormwater Management

32. that the geometric design of the roads and/or parking areas ensure that no trapped low-points are created with regard to stormwater management. All stormwater to be routed to the nearest formalized municipal system;
33. that the design engineer needs to apply his/her mind to ensure a design that will promote a sustainable urban drainage system which will reduce the impacts of stormwater on receiving aquatic environments;
34. that no disturbance to the river channel or banks be made without the prior approval in accordance with the requirements of the National Water Act;
35. that in the case of a sectional title development, the internal stormwater layout be indicated on the necessary building plans to be submitted for approval.
36. that no overland discharge of stormwater will be allowed into a public road for erven with catchment areas of more than 1500m² and for which it is agreed that no detention facilities are required. The "Developer" needs to connect to the nearest piped municipal stormwater system with a stormwater erf connection which may not exceed a diameter of 300mm.

Floodplain Management

37. that the 1:50 and 1:100 year flood lines of the Klapmuts River be shown on all plans submitted. The flood lines are to be verified by a suitably qualified registered engineering professional. Where flood lines have not previously been determined, the "Developer" must procure the services of a suitably qualified registered engineering professional to undertake such determinations at his/her own cost. No new development will be allowed under the 1:100 year flood line;

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REZONING AND SUBDIVISION OF ERVEN 2106 – 2110, 2113 2167, KLAPMUTS

38. that the floor level of all buildings be at least 100 mm above the 1:100 year flood level. These levels must be indicated on all building plans submitted and must be certified by a Registered Professional Engineer;
39. that all perimeter fencing below the 1:50 year flood line be visually permeable from ground level and not adversely effects the free flow of water (e.g. palisade fencing). No fences will be allowed across the watercourse;

Roads

40. that no access control will be allowed in public roads;
41. that where access control is allowed to private developments, provision be made for acceptable stacking distances in front of access control gates;
42. than any amendments to cadastral erven to accommodate access control gates will be for the cost of the "Developer" as these configurations were not available at rezoning and subdivision stage;
43. that, where access control is being provided, a minimum of 2 visitor's parking bays be provided on site, but outside the entrance gate, for vehicles not granted access to the development;
44. that the layout must make provision for all deliveries to take place on-site. Movement of delivery vehicles may not have a negative impact on vehicular – and pedestrian movement on public roads and or public sidewalks;
45. The design and lay-out of the development must be such that emergency vehicles can easily drive through and turn around where necessary.
46. that provision be made for a stacking distance of 6 metres for a dual entrance, or 12 metres for a single entrance, measured from the public road kerb to the entrance gate;
47. that provision be made for a 3-point turning head or turning circle in front of the entrance gate, to the satisfaction of the Directorate: Engineering Services in order to enable a vehicle to turn around;
48. that the approval to rezone the public road, indicated as erf 2166, to private road be subject to mutual written agreement between the "Developer" and the owner of Farm 749 Heen-en-Weer in respect of access to Farm 749;
49. that access to the new erven on current erven 2117 and 2118 be strictly according to the Road Access Guidelines;

Wayleaves

50. that way-leaves / work permits be obtained from the Directorate: Engineering Services prior to any excavation / construction work on municipal land or within 3,0m from municipal services located on private property;
51. that wayleaves will only be issued after approval of relevant engineering design drawings;

Development Contributions

52. that the "Developer" hereby acknowledges that development contributions are payable towards the following civil services: water, sewerage, roads, stormwater and solid waste as per Council's Policy;

REZONING AND SUBDIVISION OF ERVEN 2106 – 2110, 2113 2167, KLAPMUTS

53. that the "Developer" hereby acknowledges that the development contribution levy as determined by the "Municipality" and or the applicable scheme tariffs will be paid by the "Developer" towards the provision of bulk municipal civil services in accordance with the relevant legislation and as determined by Council's Policy, should this land-use application be approved;
54. that the "Developer" immediately familiarise himself with the latest development contributions applicable to his/her development;
55. that the "Developer" accepts that the development contributions will be subject to annual escalation up to date of payment. The amount payable will therefore be the amount as calculated at the time that payment is made;
56. that the "Developer" may enter into a services agreement with the "Municipality" to install or upgrade bulk municipal services at an agreed cost, to be off-set against Development Contributions payable in respect of bulk civil engineering services;
57. that the "Developer" is aware that a contribution is required for municipal services to permit the development at this stage;
58. that the "Developer" accepts the average amount, as reflected in this document as the amount required for the provision of municipal services in the event that the development is approved;
59. that the following Development Contribution levy be paid by the "Developer" towards the provision of bulk municipal civil services in accordance with the relevant legislation and as determined by Council's Policy:

Erf	Land-use	# GLA	Cost per	Roads DC's		Stormwater DC's		Water DC's		Sewer DC's		WWTW DC's		Total Contribution per unit	Total DC's for this development
				Tariff / unit	DC's L.o. develop.	Tariff / unit	DC's L.o. develop.	Tariff / unit	DC's L.o. develop.	Tariff / unit	DC's L.o. develop.	Tariff / unit	DC's L.o. develop.		
Erf 2106 / 1	Commercial	2009	m ² GLA	R 490	R 980 000	R 15	R 30 000	R 62	R 124 000	R 15	R 30 000	R 54	R 108 000	R 638	R 1 272 000
Erf 2106 / 2	Industrial	3959	m ² Cover	R 123	R 264 320	R 15	R 30 975	R 11	R 22 716	R 3	R 6 195	R 54	R 111 810	R 211	R 436 713
Erf 2107 / 1	Industrial	2380	m ² Cover	R 123	R 288 240	R 15	R 31 200	R 11	R 22 880	R 3	R 6 240	R 54	R 112 320	R 211	R 436 880
Erf 2107 / 2	Industrial	2730	m ² Cover	R 123	R 281 600	R 15	R 31 900	R 11	R 24 200	R 3	R 6 800	R 54	R 118 800	R 211	R 464 200
Erf 2107 / 3	Industrial	3243	m ² Cover	R 123	R 286 720	R 15	R 33 600	R 11	R 24 640	R 3	R 6 720	R 54	R 120 960	R 211	R 472 640
Erf 2107 / 4	Industrial	1200	m ² Cover	R 123	R 166 400	R 15	R 18 500	R 11	R 14 300	R 3	R 3 900	R 54	R 70 200	R 211	R 274 300
Erf 2107 / 5	Industrial	1290	m ² Cover	R 123	R 163 600	R 15	R 18 000	R 11	R 13 200	R 3	R 3 600	R 54	R 64 800	R 211	R 253 200
Erf 2108	Industrial	235	m ² Cover	R 123	R 36 480	R 15	R 4 275	R 11	R 3 135	R 3	R 655	R 54	R 15 360	R 211	R 60 135
Erf 2109	Industrial	425	m ² Cover	R 123	R 54 400	R 15	R 6 375	R 11	R 4 672	R 3	R 1 275	R 54	R 22 080	R 211	R 58 672
Erf 2110	Industrial	348	m ² Cover	R 123	R 46 080	R 15	R 5 400	R 11	R 3 960	R 3	R 1 080	R 54	R 19 440	R 211	R 73 960
Erf 2112 / 1	Industrial	3912	m ² Cover	R 123	R 486 896	R 15	R 57 030	R 11	R 41 822	R 3	R 11 406	R 54	R 205 306	R 211	R 602 222
Erf 2112 / 2	Industrial	2955	m ² Cover	R 123	R 447 040	R 15	R 75 825	R 11	R 55 405	R 3	R 19 161	R 54	R 272 970	R 211	R 1 056 605
Erf 2113	Industrial	472	m ² Cover	R 123	R 342 016	R 15	R 40 080	R 11	R 29 392	R 3	R 6 016	R 54	R 144 288	R 211	R 563 792
Erf 2114	Industrial	1178	m ² Cover	R 123	R 252 800	R 15	R 29 625	R 11	R 21 725	R 3	R 6 825	R 54	R 106 650	R 211	R 416 725
Erf 2115	Industrial	1045	m ² Cover	R 123	R 232 600	R 15	R 27 375	R 11	R 20 075	R 3	R 5 475	R 54	R 98 550	R 211	R 385 075
Erf 2117 / 1	Commercial	934	m ² GLA	R 490	R 261 800	R 15	R 8 010	R 62	R 33 108	R 15	R 6 010	R 54	R 28 836	R 636	R 329 624
Erf 2117 / 2	Industrial	1189	m ² Cover	R 123	R 148 632	R 15	R 17 925	R 11	R 12 869	R 3	R 3 507	R 54	R 63 126	R 211	R 246 599
Erf 2118	Res: Medium	83	unit	R 25 435	R 1 945 188	R 903	R 74 949	R 3 849	R 317 787	R 958	R 79 597	R 8 326	R 691 888	R 37 583	R 1 119 389
Erf 2133 - 2142	Res: High	21	unit	R 25 435	R 484 500	R 722	R 14 340	R 3 158	R 63 180	R 797	R 15 340	R 5 557	R 111 140	R 32854	R 672 680

TOTAL DC'S: ALL FIG. TO BE VAT EXCLUSI	Roads DC's	Stormwater DC's	Water DC's	Sewer DC's	WWTW DC's	Total
	R 7 323 012	R 557 194	R 663 238	R 218 906	R 2 487 126	R 11 449 476

60. that the Development Contribution levy in respect of phased developments be paid by the "Developer" per phase –
 - prior to the approval of any building- and/or services plans in the case of a Sectional title erf in that phase and/or;
 - prior to the approval of a Certificate in terms of Section 31 in all cases and/or;

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REZONING AND SUBDIVISION OF ERVEN 2106 – 2110, 2113 2167, KLAPMUTS

-prior to the erf or portion thereof being put to the approved use;

61. that it be noted that the Development Contributions as reflected above will be subject to annual escalation up to date of payment. The final amount payable will therefore be the amount as calculated at the time that payment is made;
62. that any amendments and/or additions to the land-use development, reflected in this approval, which might lead to an increase in the number of units, will result in the recalculation of the Development Contributions;
63. Bulk infrastructure contribution levies and repayments are subject to VAT and are further subject to the provisions and rates contained in the Act on Value Added Tax of 1991 (Act 89 of 1991) as amended;
64. that the payment of development contributions be reconciled with the bulk infrastructure already implemented in-lieu of development contributions as managed by the Manager: Development Services and as reflected in the annual DEVELOPMENT CONTRIBUTION COST FOR KLAPMUTS ERF 1336 DEVELOPMENT;
65. that NO planning, design, construction or any work be commenced with by the "Developer" and or his professional team in respect of bulk services, without prior approval by the "Engineer".

Home Owners Association

66. that a Home Owners Association (HOA) be established in accordance with the provisions of section 29 of the Land Use Planning Ordinance no 15 of 1985 and shall come into being upon the separate registration or transfer of the first deducted land unit arising from this subdivision;
67. that the HOA take transfer of the private roads simultaneously with the transfer or separate registration of the first deducted land portion in such phase;
68. that in addition to the responsibilities set out in section 29, the HOA also be responsible for the maintenance of the private roads, street lighting, open spaces, retention facilities and all internal civil services;
69. that the Constitution of the HOA specifically empower the Association to deal with the maintenance of the roads, street lighting, open spaces, retention facilities and all internal civil services;

Green Technologies

70. Peak water demand should be accommodated with supplementary storage and recycling (e.g. rainwater tanks, grey water recycling) of water so that municipal water only be used to satisfy the base demand;
71. Technologies that facilitate the efficient use of irrigation water must be used;
72. Planting of waterwise flora is encouraged;
73. In accordance with the new SANS 10400-XA standard, all new housing should install solar water heating devices;

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74. All non-subsidy housing is encouraged to meet the portion of their electrical demand that exceeds 300 kWh per month by generators such as solar photovoltaic panels and solar hot water heating devices;
75. SANS 10400-XA energy efficiency standards should be adhered to in all planning applications for new buildings, major renovations and usage changes;

Solid Waste

76. that it be noted that the Solid Waste Branch will not enter private property, private roads or any access controlled properties for the removal of solid waste;
77. that if the "Developer" wishes to remove the waste by private contractor, provision must still be made for a refuse room should this function in future revert back to the "Municipality";
78. Access to all properties via public roads shall be provided in such a way that collection vehicles can complete the beats with a continuous forward movement;
79. Access shall be provided with a minimum travelable surface of 5 meters width and a minimum corner radius of 5 meters;
80. Minimum turning circle radius shall be 11 metres to the centre line of the vehicle;
81. Road foundation shall be designed to carry a single axle load of 8.2 tonnes;
82. Refuse storage areas are to be provided for all premises other than single residential erven;
83. Refuse storage areas shall be designed in accordance with the requirements as specified by the Solid Waste Branch. Minimum size and building specifications is available from the Solid Waste Branch – contact Salim Haider at 021 – 808 8241;
84. A single, centralised, refuse storage area which is accessible for collection is required for each complete development. The only exception is the case of a single residential dwelling, where a refuse storage area is not required;
85. The refuse storage area shall be large enough to store all receptacles needed for refuse disposal on the premises, including all material intended to recycling. No household waste is allowed to be disposed / stored without a proper 240 l Municipal wheelie bin;
86. The size of the refuse storage area depends on the rate of refuse generation and the frequency of the collection service. For design purposes, sufficient space should be available to store two weeks' refuse;
87. Where the premises might be utilised by tenants for purposes other than those originally foreseen by the building owner, the area shall be sufficiently large to store all refuse generated, no matter what the tenant's business may be;
88. All black 240 l refuse bins or black refuse bags is in the process of being replaced with 240 l black municipal wheeled containers engraved with WC024 in front, and consequently refuse storage areas should be designed to cater for these containers. The dimensions of these containers are:

Commercial and Domestic	385 mm wide x 730 mm deep x 1100 mm high
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89. With regard to flats and townhouses a minimum of 50 litres of storage capacity per person, working on the premises, is provided at a "once a week" collection frequency;

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90. Should designers be in any doubt regarding a suitable size for the refuse storage area, advice should be sought from the Solid Waste Department : Tel 021 808-8224
91. All refuse storage areas shall be approved by the Directorate: Engineering Services, to ensure that the Council is able to service all installations, irrespective of whether these are currently serviced by Council or other companies.

AS-BUILTs

92. The "Developer" shall provide the "Municipality" with:
 - a. a complete set of as-built paper plans, signed by a professional registered engineer;
 - b. a CD/DVD containing the signed as-built plans in an electronic DXF-file format, reflecting compatible layers and formats as will be requested by the "Engineer" and is referred herewith as Annexure X;
 - c. a completed Asset Verification Sheet in Excell format, reflecting the componentization of municipal services installed as part of the development. The Asset Verification Sheet will have to be according to the IMQS format, as to be supplied to the "Engineer", and is to be verified as correct by a professional registered engineer;
 - d. a complete set of test results of all internal – and external services (i.e. pressure tests on water- and sewer pipelines as well as densities on road structure and all relevant tests on asphalt), approved and verified by a professional registered engineer;
 - e. Written verification by the developer's consulting engineer that all professional fees for the cost of the planning, design and supervision of any services to be taken over by the "Municipality" are fully paid;
93. All relevant as-built detail, as reflected in the item above, of civil engineering services constructed for the development, must be submitted to the "Engineer" and approved by the "Engineer" before any application for a Certificate of Clearance will be supported by the "Engineer";
94. The Consulting Civil Engineer of the "Developer" shall certify that the location and position of the installed services are in accordance with the plans submitted for each of the services detailed below;
95. All As-built drawings are to be signed by a professional engineer who represents the consulting engineering company responsible for the design and or site supervision of civil engineering services;
96. Section 31 Clearance certificates will not be issued unless said services have been inspected by the "Engineer" and written approval is given, by the "Engineer".

Section 31 Clearance Certificate

97. It is specifically agreed that the "Developer" undertakes to comply with all conditions of subdivision and rezoning as approved by the "Municipality" before clearance certificates shall be issued, unless otherwise agreed in writing.
98. that the "Municipality" reserves the right to withhold any clearance certificate until such time as the "Developer" has complied with the conditions of this contract with which he is in default. Any failure to pay monies payable in terms of this contract within 30 (thirty) days after an

REZONING AND SUBDIVISION OF ERVEN 2106 – 2110, 2113 2167, KLAPMUTS

account has been rendered shall be regarded as a breach of this agreement and the "Municipality" reserves the right to withhold any clearance certificate until such time as the amount owing has been paid.


99. that clearance will only be given per phase and the onus is on the "Developer" to phase his development accordingly;
100. The onus will be on the "Developer" and or his professional team to ensure that all land-use conditions have been complied with before submitting an application for a Section 31 Certificate;
101. that any application for Certificate of Clearance will only be supported by the "Engineer" once all relevant as-built detail, as reflected in the item "AS-BUILT's" of this document, is submitted to the "Engineer" and approved by the "Engineer".

Avoidance of waste, nuisance and risk

102. Where in the opinion of the "Municipality" a lack of maintenance of any service constitutes a nuisance, health or other risk to the public the "Municipality" may give the "Developer" and or HOA written notice to remedy the defect. If the "Municipality" may carry out the work itself or have carried out, at the cost of the "Developer" and or HOA.

Streetlighting

103. The "Developer" will be responsible for the design and construction at his own expense of all internal street lighting services and street lighting on link roads leading to his development (excluding roads 1, 2 and 3 roads) according to specifications determined by the municipality electrotechnical engineer and under the supervision of the consulting engineer, appointed by the "Developer".
104. Prior to commencing with the design of street lighting services, the consulting electrical engineer appointed by the "Developer" must acquaint himself with, and clarify with the municipality electrotechnical engineer, the standards of materials and design requirements to be complied with and possible connections to existing services;
105. The final design of the complete internal street lighting network of the development must be submitted by the consulting electrical engineer, as appointed by the "Developer", to the municipality electrotechnical engineer for approval before any construction work commences.
106. Any defects in the street lighting services constructed by the "Developer" which may occur during the defects liability period of 2 (TWO) months and which occurs as a result of defective workmanship and materials must be rectified immediately / on the same day the defect was brought to the attention of the consulting electrical engineer, appointed by the "Developer". Should the repair work not be done within the said time the "Municipality" reserves the right to carry out the repair work at the cost of the "Developer".
107. The maintenance and service of the complete internal street lighting shall be the responsibility and the cost of the "Developer" or Home Owners Association.


V.R. HARRIS
MANAGER OF DEVELOPMENT SERVICES



ATTACHMENT X

Geographic Information System (GIS) data capturing standards

In drawing up the As-build Plans relating to this development, the consultant must create the following separate layers in ESRI .shp, electronic file format in order for the data to reflect spatially correct.

Layer name	Content
TITLE	Title information, including any endorsements and
NOTES	All relevant information, both from the owner / surveyor and SG
PARENT PROPERTIES	Parent property lines
PARENT PROPERTIES UM	Parent erf number (or portion number)
PROPLINES	New property boundaries
PROPANUMBERS	New erf numbers
SERVLINES	Service polygons
SERVANNO	Service type
STREET NAMES	Road center lines with street names
STREET NUMBERS	Point cloud with street numbers
COMPLEX BOUNDARIES	Variable, polygon with complex name (mention whether gated or not and if so, where gates are)
SUBURBS	Polygon with suburb name, where new suburb / extension created
ESTATE	Variable, polygon with estate name (mention whether gated or not and if so, where gates are)

When data is provided in a shapefile format it is mandatory that the .shx, .dbf, files should accompany the .shp file. The .prj file containing the projection information must also accompany the shapefile.

It is important that different geographical elements for the GIS capture process remains separate. That means political boundaries like wards or suburbs be kept separate from something like erf numbers. The same applies for engineering data types like water lines, sewer lines, electricity etc. that it is kept separate from one another. When new properties are added as part of a development, a list of erf numbers with their associated erf numbers must be provided in an electronic format like .txt, .csv or .sv format.

For road centerlines shapefiles; the from_street and to_street where applicable should be included as part of the attribute table. A rotation angle should be included to define the street name the

REZONING AND SUBDIVISION OF PLOTS 2106 – 2110, 2113 2167, KLAPMUTS

correct angle on the map.

In addition to being geo-referenced and in WGS 1984 Geographic Coordinate System, the drawing must be completed using real world coordinates based on the Stellenbosch Municipality standards as follows:

- Datum : Hartebeekhoek WGS 84
- Projection : Transverse Mercator
- Central Longitude : 18° 19'
- False easting : 0.000 000
- False northing : 0.000 000
- Central meridian : 18° 00'00"
- Scale factor : 1.000 000
- Origin altitude : 0.000 000
- Linear unit : Meter

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REZONING AND SUBDIVISION OF ERVEN 2106 – 2110, 2113 2167, KLAPMUTS

Development Contributions were calculated on the following land-uses:

Erf 2106 / 1	Commercial	2000	m ² GLA
Erf 2106 / 2	Industrial	2065	m ² Cover
Erf 2107 / 1	Industrial	2080	m ² Cover
Erf 2107 / 2	Industrial	2200	m ² Cover
Erf 2107 / 3	Industrial	2240	m ² Cover
Erf 2107 / 4	Industrial	1300	m ² Cover
Erf 2107 / 5	Industrial	1200	m ² Cover
Erf 2108	Industrial	285	m ² Cover
Erf 2109	Industrial	425	m ² Cover
Erf 2110	Industrial	360	m ² Cover
Erf 2112 / 1	Industrial	3802	m ² Cover
Erf 2112 / 2	Industrial	5055	m ² Cover
Erf 2113	industrial	2672	m ² Cover
Erf 2114	Industrial	1975	m ² Cover
Erf 2115	Industrial	1825	m ² Cover
Erf 2117 / 1	Commercial	534	m ² GLA
Erf 2117 / 2	Industrial	1169	m ² Cover
Erf 2118	Residential	83	Units
Erf 2133 to 2142	Residential	20	Unit

The above-mentioned land-use application is supported, subject to the following conditions:

General

1. that the following words and expressions referred to in the development conditions, shall have the meanings hereby assigned to except where the context otherwise requires:
 - (a) "*Municipality*" means the STELLENBOSCH MUNICIPALITY a metropolitan-municipality, Local Authority, duly established in terms of section 9 of the Local Government Municipal Structures act, Act 117 of 1998 and Provincial Notice (489/200), establishment of the Stellenbosch Municipality (WC024) promulgated in Provincial Gazette no. 5590 of 22 September 2000, as amended by Provincial Notice 675/2000 promulgated in Provincial Gazette;
 - (b) "*Developer*" means the developer and or applicant who applies for certain development rights by means of the above-mentioned land-use application and or his successor-in-title who wish to obtain development rights at any stage of the proposed development;
 - (c) "*Engineer*" means an engineer employed by the "*Municipality*" or any person appointed by the "*Municipality*" from time to time, representing the Directorate: Engineering Services, to perform the duties envisaged in terms of this land-use approval;
2. that all previous relevant conditions of approval to this development application remain valid and be complied with in full unless specifically replaced or removed by the "*Engineer*";
3. that should the "*Developer*" not take up his rights for whatever reason within two years from the date of this memo, a revised Engineering report addressing services capacities and reflecting infrastructure amendments during the two year period, must be submitted to the Directorate: Engineering Services by the "*Developer*" for further comment and conditions. Should this revised Engineering report confirms that available services capacities is not sufficient to accommodate this development, then rate clearance in terms of Section 31 of LUPO cannot be supported by the Directorate: Engineering Services for this development;





**APPLICATION FOR SUBDIVISION, REZONING, CONSOLIDATION,
CLOSURE OF PUBLIC ROAD, CONSENT USE AND AMENDMENT OF
ARCHITECTURAL GUIDELINES ON ERVEN 2106, 2107, 2108, 2109,
2110, 2113, 2114, 2115, 2117, 2118, 2133-2142, 2166 AND 2167,
KLAPMUTS**

File number : KL2106
Compiled by : C Charles
Authorised by : Manager: Land Use Management
Delegated Authority : Director: Planning & Economic Development

PURPOSE OF REPORT

To enable the Director: Planning and Economic Development to make a decision on the abovementioned application. The application is partially recommended for approval.

BACKGROUND

In 2008, the rezoning and subdivision of Erf 1336, Klapmuts was approved by Council for subdivisational area into various different zonings in order to create a mixed land use development. The applicant now seeks to amend some of these zonings to make provision for Industrial properties as well as Residential properties.

Application for consideration

Application is made:

- In terms of Section 24 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985) for the subdivision of Erf 2106, Klapmuts ($\pm 10\,520\text{m}^2$) into three portions namely, Portion 1 ($\pm 5000\text{m}^2$), Portion 2 ($\pm 4904\text{m}^2$) and Portion 3 ($\pm 616\text{m}^2$). See Appendix 3.
- In terms of Section 17 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985) for the rezoning of Portion 2 ($\pm 4904\text{m}^2$) from Business Zone II to Industrial Zone I. See Appendix 3.
- In terms of Section 17 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985) for the rezoning of Portion 3 ($\pm 616\text{m}^2$) from Business Zone II to Open Space Zone II for private road purposes and the consolidation of Portion 3 with Erf 2166, Klapmuts. See Appendix 3.
- In terms of Section 24 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985) for the subdivision of Erf 2107, Klapmuts ($\pm 18\,952\text{m}^2$) into six portions namely, Portion 1 ($\pm 4542\text{m}^2$), Portion 2 ($\pm 4703\text{m}^2$), Portion 3 ($\pm 4845\text{m}^2$), Portion 4 ($\pm 3104\text{m}^2$), Portion 5 ($\pm 1740\text{m}^2$) and Portion 6 ($\pm 18\text{m}^2$). See Appendix 4.



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- In terms of Section 17 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985) for the rezoning of Portions 1 to 5 from Business Zone II to Industrial Zone I. See **Appendix 4**.
- In terms of Section 17 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985) for the rezoning of Portion 6 from Business Zone II to Open Space Zone II for private road purposes and the consolidation of Portion 6 with Erf 2166, Klapmuts. See **Appendix 4**.
- In terms of Section 17 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985) for the rezoning of Erven 2108, 2109 and 2110, Klapmuts from Business Zone II to Industrial Zone I. See **Appendix 5**.
- In terms of Section 17 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985) for the rezoning of Erf 2113, Klapmuts from Institutional Zone III to Industrial Zone I. See **Appendix 5**.
- In terms of Section 17 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985) for the rezoning of Erven 2114 and 2115, Klapmuts from Business Zone III to Industrial Zone I. See **Appendix 5**.
- In terms of Section 24 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985) for the subdivision of Erf 2117, Klapmuts ($\pm 3475\text{m}^2$) into two portions namely, Portion 1 ($\pm 1526\text{m}^2$) and Portion 2 ($\pm 1949\text{m}^2$). See **Appendix 6**.
- In terms of Section 17 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985) for the rezoning of Portion 2 from Business Zone II to Industrial Zone I. See **Appendix 6**.
- In terms of Section 17 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985) for the rezoning of Erf 2118, Klapmuts from Institutional Zone I to Residential Zone III (town housing) and Open Space Zone II (private open space and private road). See **Appendix 7**.
- In terms of Section 24 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985) for the subdivision of Erf 2118, Klapmuts ($\pm 18\,746\text{m}^2$) into 83 group housing erven ($\pm 12\,376\text{m}^2$), four open space erven ($\pm 797\text{m}^2$) and one private road ($\pm 5572\text{m}^2$). See **Appendix 7**.
- For the consolidation of Erven 2133 to 2142, Klapmuts and the rezoning in terms of Section 17 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985) of the consolidated erven from Residential Zone I to Subdivisional Area. See **Appendix 8**.
- In terms of Section 24 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985) for the subdivision of the consolidated erven into twenty Residential Zone III properties. See **Appendix 9**.
- Application is made in terms of the Municipal Ordinance, 1974 (No 20 of 1974) for the closure of Erven 2166 and 2167, Klapmuts as public road portions. See **Appendix 10**.
- In terms of Section 17 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985) for the rezoning of Erven 2166 and 2167, Klapmuts from Transport Zone II to Open Space Zone II for private road purposes. See **Appendix 10**.
- Application is made in terms of Regulation 4.7 of the Scheme Regulations made in terms of Section 8 of the Land Use Planning



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Ordinance, 1985 (Ordinance 15 of 1985) and promulgated under P.N. 1048/1988 for a consent use in order to allow for warehousing to be conducted on the subdivided portions of Erven 2107 and 2117, Klappmuts as well as on Erven 2108, 2109, 2110, 2113 and 2115, Klappmuts.

- In terms of Section 42 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985) for the amendment of the Simonsberg Park Design Manual and Architectural Guidelines. See Appendix 11.

Property Information

Erf numbers	2106, 2107, 2108, 2109, 2110, 2113, 2114, 2115, 2117, 2118, 2133-2142, 2166 and 2167, Klappmuts
Location	Corner of Merchant Street and R44, Klappmuts. See Appendix 2
Zoning/Zoning Scheme	Business Zone II, Institutional Zone III, Business Zone III, Institutional Zone I, Residential Zone I and Transport Zone II / Section 8 Zoning Scheme Regulations
Current Land Use	Vacant
Unauthorized land use/building work / date when notice served	No
Property size	Various
Applicant	TV3 Architects and Town Planners on behalf of Francois Klomp
NHRA Applicable	No
Title deed conditions	No

DISCUSSION

Legal requirements and Public Participation

The application for rezoning, subdivision and consent use was submitted in terms of Sections 17 and 24 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985) as well as Regulation 4.7 of the Scheme Regulations made in terms of Section 8 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985) and promulgated under P.N. 1048/1988. The application for road closure and the amendment of the



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architectural guidelines was submitted in terms of the Municipal Ordinance, 1974 (No 20 of 1974) and Section 42 of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985). The application was advertised in the press, to the surrounding property owners as well as internal and external departments. No objections were received subject to certain conditions. (See Appendix 12).

Site Description and Assessment

The subject properties form part of the total development approval for Erf 1336, Klappmuts and are all currently vacant.

The current proposal is seen to be the second phase in the establishment of the secured Simonsberg Park Industrial Development. The primary motivation stems from the applicant's need to make allowance for a range of industrial related uses, including warehousing. It is envisaged that the industrial uses will primarily relate to the surrounding commercial agriculture sector but could also include a range of smaller type manufacturing operations.

The applicant's motivation states that the above would provide for a more diverse, vibrant and commercially viable development node which would provide for and accommodate a significant wider range of economic opportunities based on the actual market demand for uses that are likely to locate in Klappmuts.

The proposal for Erf 2118 entails the rezoning from Institutional Zone I to Residential Zone III and the subsequent subdivision thereof into 83 residential erven resulting in an approximate gross density of 45 units per hectare. The rezoning is necessitated as a result of the Provincial Department of Education declining to utilize Erf 2118 as a school site. The alternative utilization of Erf 2118 is considered appropriate as it provides for smaller erven and thus more affordable residential opportunities that can be developed in keeping with the actual market demand within Klappmuts.

The consolidation and rezoning of Erven 2133 to 2142 provides for a development option similar to the existing erven developed along Merchant and Bell Streets. It provides for a densification of the existing approved rights in order to develop smaller and thus more affordable residential opportunities.

The development of the Simonsberg Industrial Park will be done in accordance with the proposed design manual and architectural guidelines that have recently been revised and updated. The guidelines are supplemented with landscaping guidelines so as to ensure appropriate landscaping, especially along the R44.

The proposed development of the subject properties will have a lesser impact on bulk services. This has been confirmed by the Engineering Directorate who supports the application subject to certain conditions.



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The Manager: Spatial Planning, Heritage and Environment supported the application with the exception of the rezoning, subdivision and consent use on Erf 2117 as it falls within an area characterized by community facilities. This Department agrees with this point of view as Erf 2117 is located in very close proximity to the local school, other community facilities and residential uses.

RECOMMENDATION

1. That approval be granted in terms of Section 25 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the subdivision of Erf 2106, Klapmuts ($\pm 10\,520\text{m}^2$) into three portions namely, Portion 1 ($\pm 5000\text{m}^2$), Portion 2 ($\pm 4904\text{m}^2$) and Portion 3 ($\pm 616\text{m}^2$) as per Plan Number 1, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 3 subject to the conditions as per attached Appendix 1.
2. That approval be granted in terms of Section 16 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the rezoning of Portion 2 - $\pm 4904\text{m}^2$ (Portion of Erf 2106, Klapmuts) from Business Zone II to Industrial Zone I as per Plan Number 1, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 3 subject to the conditions as per attached Appendix 1.
3. That approval be granted in terms of Section 16 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the rezoning of Portion 3 - $\pm 616\text{m}^2$ (Portion of Erf 2106, Klapmuts) from Business Zone II to Open Space Zone II for private road purposes and the consolidation of Portion 3 with Erf 2166, Klapmuts as per Plan Number 1, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 3 subject to the conditions as per attached Appendix 1.
4. That approval be granted in terms of Section 25 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the subdivision of Erf 2107, Klapmuts ($\pm 18\,952\text{m}^2$) into six portions namely, Portion 1 ($\pm 4542\text{m}^2$), Portion 2 ($\pm 4703\text{m}^2$), Portion 3 ($\pm 4845\text{m}^2$), Portion 4 ($\pm 3104\text{m}^2$), Portion 5 ($\pm 1740\text{m}^2$) and Portion 6 ($\pm 18\text{m}^2$) as per Plan Number 2, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 4 subject to the conditions as per attached Appendix 1.
5. That approval be granted in terms of Section 16 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the rezoning of Portions 1 to 5 (Portions of Erf 2107, Klapmuts) from Business Zone II to Industrial Zone I as per Plan Number 2, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 4 subject to the conditions as per attached Appendix 1.
6. That approval be granted in terms of Section 16 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the rezoning of Portion 6 (Portion of Erf 2107, Klapmuts) from Business Zone II to Open Space



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Zone II for private road purposes and the consolidation of Portion 6 with Erf 2166, Klapmuts as per Plan Number 2, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 4 subject to the conditions as per attached Appendix 1.

7. That approval be granted in terms of Section 16 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the rezoning of Erven 2108, 2109 and 2110, Klapmuts from Business Zone II to Industrial Zone I as per Plan Number 3, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 5 subject to the conditions as per attached Appendix 1.
8. That approval be granted in terms of Section 16 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the rezoning of Erf 2113, Klapmuts from Institutional Zone III to Industrial Zone I as per Plan Number 3, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 5 subject to the conditions as per attached Appendix 1.
9. That approval be granted in terms of Section 16 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the rezoning of Erven 2114 and 2115, Klapmuts from Business Zone III to Industrial Zone I as per Plan Number 3, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 5 subject to the conditions as per attached Appendix 1.
10. That the application in terms of Section 24 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the subdivision of Erf 2117, Klapmuts ($\pm 3475\text{m}^2$) into two portions namely, Portion 1 ($\pm 1526\text{m}^2$) and Portion 2 ($\pm 1949\text{m}^2$), be refused.
11. That the application in terms of Section 17 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the rezoning of Portion 2 ($\pm 1949\text{m}^2$) from Business Zone II to Industrial Zone I, be refused.
12. That approval be granted in terms of Section 16 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the rezoning of Erf 2118, Klapmuts from Institutional Zone I to Residential Zone III and Open Space Zone II (private open space and private road) as per Plan Number 5, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 7 subject to the conditions as per attached Appendix 1.
13. That approval be granted in terms of Section 25 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the subdivision of Erf 2118, Klapmuts ($\pm 18\,746\text{m}^2$) into 83 residential erven ($\pm 12\,376\text{m}^2$), 4 open space erven ($\pm 797\text{m}^2$) and one private road ($\pm 5572\text{m}^2$) as per Plan Number 5, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 7 subject to the conditions as per attached Appendix 1.



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14. That approval be granted for the consolidation of Erven 2133 to 2142 and the rezoning in terms of Section 16 of the Land Use Planning Ordinance, 1985 (15 of 1985) of the consolidated erven from Residential Zone I to Subdivisional Area as per Plan Number 6A, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 8 subject to the conditions as per attached Appendix 1.
15. That approval be granted in terms of Section 25 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the subdivision of the consolidated Erven 2133 to 2142 into 20 Residential Zone III properties as per Plan Number 6B, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 9 subject to the conditions as per attached Appendix 1.
16. That approval be granted in terms of the Municipal Ordinance, 1974 (No 20 of 1974) for the closure of Erven 2166 and 2167, Klapmuts as public roads as per Plan Number 7, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 10 subject to the conditions as per attached Appendix 1.
17. That approval be granted in terms of Section 16 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the rezoning of Erven 2166 and 2167, Klapmuts from Transport Zone II to Open Space Zone II for private road purposes as per Plan Number 7, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 10 subject to the conditions as per attached Appendix 1.
18. That approval be granted in terms of Regulation 4.6 of the Scheme Regulations made in terms of Section 8 of the Land Use Planning Ordinance, 1985 (15 of 1985) and promulgated under P.N. 1048/1988 for a consent use in order to allow for warehousing to be conducted on the subdivided portions of Erf 2107, Klapmuts as well as on Erven 2108, 2109, 2110, 2113 and 2115, Klapmuts subject to the conditions as per attached Appendix 1.
19. That the application in terms of Regulation 4.7 of the Scheme Regulations made in terms of Section 8 of the Land Use Planning Ordinance, 1985 (15 of 1985) and promulgated under P.N. 1048/1988 for a consent use in order to allow for warehousing to be conducted on the subdivided portion of Erf 2117, Klapmuts, be refused.
20. That approval be granted in terms of Section 42 of the Land Use Planning Ordinance, 1985 (15 of 1985) for the amendment of the Simonsberg Park Design Manual and Architectural Guidelines attached as Appendix 11 subject to the conditions as per attached Appendix 1.

REASONS FOR RECOMMENDATION

Taking the abovementioned into account, the application can be partially supported from a town planning point of view.



APPENDICES

- Appendix 1 : Conditions of Approval
- Appendix 2 : Locality Map
- Appendix 3 : Subdivision and Rezoning of Erf 2106
- Appendix 4 : Subdivision and Rezoning of Erf 2107
- Appendix 5 : Rezoning of Erven 2108, 2109, 2110,
2113, 2114 and 2115
- Appendix 6 : Subdivision and Rezoning of Erf 2117
- Appendix 7 : Subdivision and Rezoning of Erf 2118
- Appendix 8 : Consolidation and Rezoning of Erven 2133 to 2142
- Appendix 9 : Subdivision of Consolidated Erven 2133 to 2142
- Appendix 10 : Road Closure and Rezoning of Erven 2166 and 2167
- Appendix 11 : Amended Simonsberg Park Design Manual and
Architectural Guidelines
- Appendix 12 : Conditions imposed by Engineering Directorate



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APPENDIX 1
FILE NO: KL2106

In this approval document:

"Council" means the Stellenbosch Municipality

"the Owner" means the registered owner of the property.

"the property" means Erven 2106, 2107, 2108, 2109, 2110, 2113, 2114, 2115, 2118, 2166 and 2167, Klapmuts

"scheme regulations" has the meaning assigned thereto by Ordinance 15 of 1985.

EXTENT OF APPROVALS:

Approval for subdivision of Erf 2106, Klapmuts ($\pm 10\,520\text{m}^2$) into three portions namely, Portion 1 ($\pm 5000\text{m}^2$), Portion 2 ($\pm 4904\text{m}^2$) and Portion 3 ($\pm 616\text{m}^2$) as per Plan Number 1, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 3.

Approval for the rezoning of Portion 2 - $\pm 4904\text{m}^2$ (Portion of Erf 2106, Klapmuts) from Business Zone II to Industrial Zone I as per Plan Number 1, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 3.

Approval for the rezoning of Portion 3 - $\pm 616\text{m}^2$ (Portion of Erf 2106, Klapmuts) from Business Zone II to Open Space Zone II for private road purposes as per Plan Number 1, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 3.

Approval for the subdivision of Erf 2107, Klapmuts into six portions namely, Portion 1 ($\pm 4542\text{m}^2$), Portion 2 ($\pm 4703\text{m}^2$), Portion 3 ($\pm 4845\text{m}^2$), Portion 4 ($\pm 3104\text{m}^2$), Portion 5 ($\pm 1740\text{m}^2$) and Portion 6 ($\pm 18\text{m}^2$) as per Plan Number 2, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 4.

Approval for the rezoning of Portions 1 to 5 (Portions of Erf 2107, Klapmuts) from Business Zone II to Industrial Zone I as per Plan Number 2, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 4.

Approval for the rezoning of Portion 6 (Portion of Erf 2107, Klapmuts) from Business Zone II to Open Space Zone II for private road purposes and the consolidation of Portion 6 with Erf 2166, Klapmuts as per Plan Number 2, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 4.

Approval for the rezoning of Erven 2108, 2109 and 2110, Klapmuts from Business Zone II to Industrial Zone I as per Plan Number 3, dated 03 October



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2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 5.

Approval for the rezoning of Erf 2113, Klappmuts from Institutional Zone III to Industrial Zone I as per Plan Number 3, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 5.

Approval for the rezoning of Erven 2114 and 2115, Klappmuts from Business Zone III to Industrial Zone I as per Plan Number 3, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 5.

Approval for the rezoning of Erf 2118, Klappmuts from Institutional Zone I to Residential Zone III and Open Space Zone II (private open space and private road) as per Plan Number 5, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 7.

Approval for the subdivision of Erf 2118, Klappmuts ($\pm 18\,746\text{m}^2$) into 83 residential erven ($\pm 12\,376\text{m}^2$), 4 open space erven ($\pm 797\text{m}^2$) and one private road ($\pm 5572\text{m}^2$) as per Plan Number 5, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 7.

Approval for the consolidation of Erven 2133 to 2142, Klappmuts and rezoning of the consolidated erven from Residential Zone I to Subdivisional Area as per Plan Number 6A, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 8.

Approval for the subdivision of the consolidated Erven 2133 to 2142, Klappmuts into 20 Residential Zone III properties as per Plan Number 6B, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 9.

Approval for the closure of Erven 2166 and 2167, Klappmuts as public roads as per Plan Number 7, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 10.

Approval for the rezoning of Erven 2166 and 2167, Klappmuts from Transport Zone II to Open Space Zone II for private road purposes as per Plan Number 7, dated 03 October 2014, drawn by WH (TV3 Architects and Town Planners) attached as Appendix 10.

Approval for consent use in order to allow for warehousing to be conducted on the subdivided



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portions of Erf 2107, Klapmuts as well as on Erven 2108, 2109, 2110, 2113 and 2115, Klapmuts.

Approval for the amendment of the Simonsberg Design Manual and Architectural Guidelines attached as Appendix 11.

VALIDITY OF APPROVAL:

The approval for rezoning will be valid for two (2) years after the date of final notification
 The approval for subdivision will be valid for five (5) years after the date of final notification
 The approval for rezoning to Subdivisional Area will be valid for five (5) years after the date of final notification

CONDITIONS IMPOSED:

Rezoning, Subdivision and Consent Use Conditions

CONDITIONS IMPOSED IN TERMS OF SECTION 42(1) OF THE LAND USE PLANNING ORDINANCE 15 OF 1985 IN RESPECT OF THE PROPERTY CONCERNED:

- a) That the approval applies only to the aforementioned extent of approval and shall not be construed as authority to depart from any other legal prescriptions or requirements from Council;
- b) That erf diagrams of the newly created properties must be submitted to this Municipality for clearance and record purposes;
- c) Building plans must be submitted for approval prior to any building work commencing on site;
- d) That the conditions imposed by the Engineering Directorate (attached hereto as Appendix 12) be adhered to;
- e) Council reserves the right to impose further conditions if deemed necessary.

Compiled by:

[Signature]

C Charles
 SENIOR TOWN PLANNER

08/05/2015
 Date

Recommended by:

[Signature]

H Dednam
 MANAGER, LAND USE MANAGEMENT

08/05/2015
 Date

Resolved by:

[Signature]

D Lombaard
 DIRECTOR: PLANNING AND ECONOMIC DEVELOPMENT

08/05/2015
 Date

