



# STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/14661

Our File Reference Number: Erf 2000, Stellenbosch

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 – 808 8682

Email address: [Ulrich.Vonmolendorff@stellenbosch.gov.za](mailto:Ulrich.Vonmolendorff@stellenbosch.gov.za)

PER E-MAIL: [REDACTED]

Sir / Madam

## APPLICATION FOR PERMANENT DEPARTURE AND PERMISSION REQUIRED IN TERMS OF THE ZONING SCHEME ON ERF 2000, STELLENBOSCH

1. The above application refers.
2. The duly authorised decision maker hereby decides on the above application as follows.
  - 2.1 That the following application(s) in terms of Section 15(2) of the Stellenbosch Municipal Land Use Planning Bylaw, promulgated by notice number 354/2015, dated 20 October 2015 namely:
    - i. **Permanent departures** in terms of Section 15(2)(b) of the Stellenbosch Municipal Land Use Planning Bylaw 2015 for the following:
      - a) Relax the Street building line from 4.5m to 0.0m.
      - b) Relax the Southern / Side building line (adjacent to Erf 2001) from 6.0m to 0.0m.
      - c) Relax the onsite parking requirement by providing 6 onsite parking bays in lieu of the required 7 onsite parking bays.
      - d) Exceed the applicable height restriction within the Urban Conservation Overlay Zone from 10.0m to 16.76m.
    - ii. **Permission required in terms** of section 15(2)(g) of the Stellenbosch Municipality Zoning Scheme By-Law 2019, to permit the proposed addition of 4 residential units within the existing building, on Erf 2000, Stellenbosch, which is located in the Urban and Conservation Overlay Zone of Stellenbosch.

**BE APPROVED** in terms of Section 60 of the said Bylaw and subject to conditions of approval.

2.2 The approval is subject to the following conditions imposed in terms of Section 66 of the said Bylaw:

- a. The approval only applies to the proposed development in question, as indicated on Drawing No's. C4132-D-201 dated 26 April 2023 and C4132-D-204 - 7, dated 13 November 2022, Drawn by Dennis Moss Partnership, and shall not be construed as authority to depart from any other legal prescriptions or requirements from Council.
- b. The approval granted shall not exempt the applicant from complying with any other legal prescriptions or requirements that might have a bearing on the proposed use.
- c. Development contributions are payable in accordance with the prevailing and applicable Council Tariffs at the time of payment prior to the transfer of a residential unit or submission of any building plans, whichever occurs first, or as may be agreed on in writing with the Director Infrastructure Services.
- d. The conditions imposed by the Manager: Development (Infrastructure Services) in its memo dated 11 May 2023 to be adhered to attached as **Annexure F**.
- e. The conditions imposed by the Manager: Electrical Engineering in its memo dated 25 November 2022 to be adhered to attached as **Annexure F**.
- f. Building plans be submitted to the building department for approval which are substantially in accordance with Drawing No's. C4132-D-201 basement parking plan dated 26 April 2023 and C4132-D-204 – 207, dated 13 November 2022, Drawn by Dennis Moss Partnership and attached as **Annexure B**.
- g. A construction management plan be submitted and approved with the building plan to manage the impact of the construction of the proposed residential units on the surrounding properties or environment.
- h. All new windows facing Andringa Street be double glazed to mitigate any noise generated by the business located in Andringa Street on the tenant of the proposed units.

- i. Adequate sound proofing be installed in all new walls constructed on the common boundary of the subject property to mitigate any impact that the new building will have on the adjoining property owner/s.

### **2.3 The reasons for the above decision are as follows:**

- i. The proposed addition is not out of scale and character with its surroundings, and it will not detract from the existing historic characteristic of the area.
  - ii. The proposal will strengthen the public street interface and complement the existing built environment.
  - iii. The existing infrastructure within Stellenbosch Town will be optimally utilized.
3. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.
4. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:
- 4.1 The personal particulars of the Appellant, including:
- i. First names and surname
  - ii. ID number
  - iii. Company of Legal person's name (if applicable)
  - iv. Physical Address
  - v. Contact details, including a Cell number and E-Mail address
- 4.2 Reference to this correspondence and the relevant property details on which the appeal is submitted.
- 4.3 The grounds of the appeal which may include the following grounds:
- i. that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000)
  - ii. grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.

4.4 Whether the appeal is lodged against the whole decision or a part of the decision.

4.5 If the appeal is lodged against a part of the decision, a description of the part.

4.6 If the appeal is lodged against a condition of approval, a description of the condition.

4.7 The factual or legal findings that the appellant relies on.

4.8 The relief sought by the appellant.

4.9 Any issue that the appellant wishes the Appeal Authority to consider in making its decision

4.10 That the appeal includes the following declaration by the Appellant:

- i. The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
- ii. That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information, or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect, or misleading or not believing them to be correct.

5. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of e-mail at the following address: [landuse.appeals@stellenbosch.gov.za](mailto:landuse.appeals@stellenbosch.gov.za).

6. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.

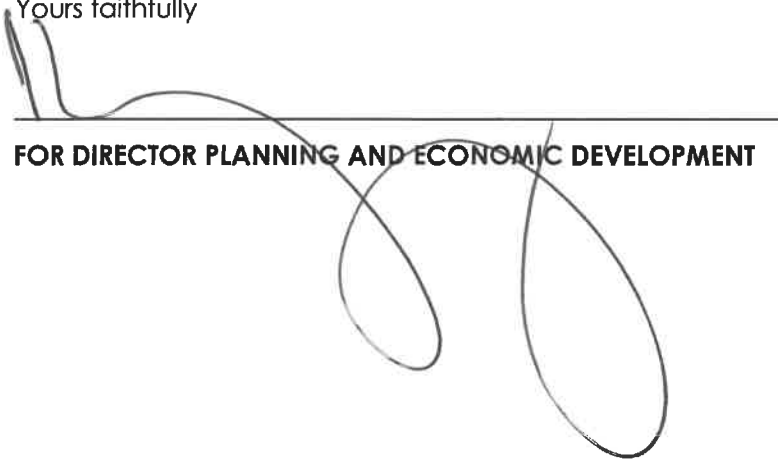
7. The approved tariff structure and the banking details for the General Account can be accessed and viewed on the municipal website. For any enquiries the office can be contacted at [landuse.appeals@stellenbosch.gov.za](mailto:landuse.appeals@stellenbosch.gov.za).

8. An applicant who lodges an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:

- (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
- (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
- (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
- (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.

9. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.
10. Kindly note the above decision in the case of any approval, is suspended, and may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully



A handwritten signature in black ink, consisting of a series of loops and curves, is written over a horizontal line. The signature is positioned to the left of the date.

**FOR DIRECTOR PLANNING AND ECONOMIC DEVELOPMENT**

27/9/2023  
DATE:



**STELLENBOSCH**  
STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNICIPALITY • UMASIPALA • MUNISIPALITEIT

## **ANNEXURE B**

**General Notes:**

1. Contractor and Sub-Contractors to check all levels and dimensions on site before any work is commenced and report to the Architect immediately.
2. Proposed dimensions to be taken by reference to valid measurements and large scale details supersedes small scale drawings.
3. All work to be done in accordance National Building Regulations SANS 10400 and all other applicable laws, codes and Local Authorities requirements.
4. Natural light and ventilation of all openings in accordance with the requirements of SANS 10400 Part D. Natural light area: min. 10% of floor area and natural ventilation: min. 3% of floor area.
5. All glazing to comply with requirements of SANS 10400 Part E. Windows and doors to have safety glazing where there are windows above people below and stoops/porches to be safety glazing.
6. All safety glazing panels shall be etched with glazing markings and this to be visible at all times.
7. All carpark floor level to be fixed with concrete and spots to be stepped.
8. No part of construction may encroach building line.

DEVELOPMENT SCENARIO	
APPROXIMATE AREA	34 815 m <sup>2</sup>
EXISTING PARKING SPOTS	128
PROPOSED ADDITIONAL SPOTS	95
<b>TOTAL SPOTS</b>	<b>223</b>
NEW PARKING PROVIDED	95
EXISTING PARKING PROVIDED	128
<b>TOTAL NEW PARKING PROVIDED</b>	<b>223</b>
APPROXIMATE GROSS AREA	177 000 m <sup>2</sup>
EXISTING GROSS AREA	177 000 m <sup>2</sup>
NEW GROSS AREA	0 m <sup>2</sup>
NEW ADJUSTMENT TYPE 4	0 m <sup>2</sup>
NEW ADJUSTMENT TYPE 5	0 m <sup>2</sup>
NEW ADJUSTMENT TYPE 6	0 m <sup>2</sup>
NEW ADJUSTMENT TYPE 7	0 m <sup>2</sup>
NEW ADJUSTMENT TYPE 8	0 m <sup>2</sup>
NEW ADJUSTMENT TYPE 9	0 m <sup>2</sup>
<b>TOTAL NEW GROSS AREA</b>	<b>0 m<sup>2</sup></b>
<b>TOTAL NEW AREA ADDED</b>	<b>0 m<sup>2</sup></b>

- NEW PARKING SPOTS IN BASEMENT
- VEHICLE TRAVEL DIRECTION
- NEW BICYCLE PARKING SPOTS



**JDV PROPERTY DEVELOPERS**  
 DE WAAL CENTRE  
 PROPOSED ALTERATIONS  
 ON ERF 2000  
 STELLENBOSCH

**BASEMENT PLAN  
 PROPOSED NEW  
 PARKING LAYOUT**

PROJECT NO.	CA312	SCALE	1:100
DATE	2023-04-26	DRAWN BY	ML
CHECKED BY	DB	DATE	ML
DESIGN			

This drawing and all the information contained therein is the property of De Waal Centre. It is to be used for the project for which it is prepared and is not to be reproduced, copied, or distributed in any form without their written consent.



**General Notes:**

1. Contractor and Sub-Contractors to check all levels and dimensions on site before any work is commenced and to report any discrepancies to the Architect immediately.
2. Floor levels to be shown by reference to existing measurements and larger scale details incorporate small scale drawings.
3. All work to be done in accordance National Building Regulations SANS 10400 and all applicable standards and specifications unless otherwise stated.
4. Natural light and ventilation area of all openings measured light meter min. 10% of floor area and natural ventilation min. 5% of floor area.
5. All glazing to comply with requirements of SANS 10177 for safety glass and adhere to these safety standards. Windows and doors to be fitted with safety glass lower than 1800mm above glass line of sills and stop-panels to be safety glass.
6. All safety glazing panels shall be marked with glazing marking and this to be visible at all times.
7. All concrete floor levels to be fixed with concrete and set to be sloped.
8. No part of construction may encroach building lines.

DEVELOPMENT SCENARIO	
BASEMENT PARKING:	27 BAYS
EXISTING PARKING BAYS:	4 BAYS
NEW PARKING BAYS:	177,60 sqm
EXISTING COMMON AREAS:	100,00 sqm
NEW COMMON AREAS:	74,80 sqm
NEW APARTMENT TYPE A:	15,00 sqm
NEW APARTMENT TYPE B:	15,00 sqm
NEW APARTMENT TYPE C:	15,00 sqm
NEW APARTMENT TYPE D:	15,00 sqm
NEW APARTMENT TYPE E:	15,00 sqm
NEW APARTMENT TYPE F:	15,00 sqm
NEW APARTMENT TYPE G:	15,00 sqm
NEW APARTMENT TYPE H:	15,00 sqm
NEW APARTMENT TYPE I:	15,00 sqm
NEW APARTMENT TYPE J:	15,00 sqm
NEW APARTMENT TYPE K:	15,00 sqm
NEW APARTMENT TYPE L:	15,00 sqm
NEW APARTMENT TYPE M:	15,00 sqm
NEW APARTMENT TYPE N:	15,00 sqm
NEW APARTMENT TYPE O:	15,00 sqm
NEW APARTMENT TYPE P:	15,00 sqm
NEW APARTMENT TYPE Q:	15,00 sqm
NEW APARTMENT TYPE R:	15,00 sqm
NEW APARTMENT TYPE S:	15,00 sqm
NEW APARTMENT TYPE T:	15,00 sqm
NEW APARTMENT TYPE U:	15,00 sqm
NEW APARTMENT TYPE V:	15,00 sqm
NEW APARTMENT TYPE W:	15,00 sqm
NEW APARTMENT TYPE X:	15,00 sqm
NEW APARTMENT TYPE Y:	15,00 sqm
NEW APARTMENT TYPE Z:	15,00 sqm
TOTAL NEW APARTMENT AREA:	300,00 sqm
TOTAL NEW COMMON AREA:	30,00 sqm
TOTAL NEW AREA ADDED:	330,00 sqm

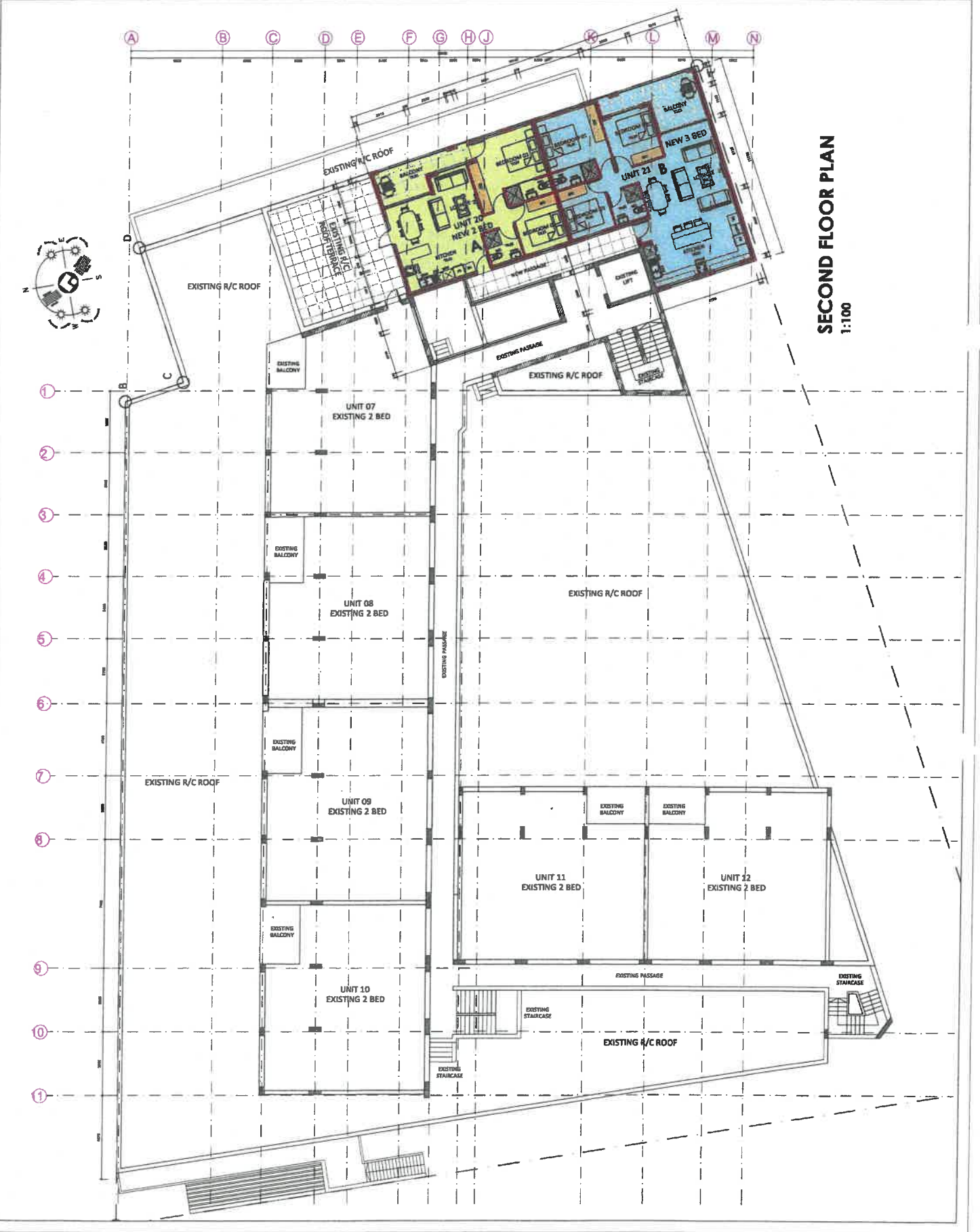


**DE WAAL CENTRE  
PROPOSED ALTERATIONS  
ON ERF 2000  
STELLENBOSCH**

**SECOND FLOOR PLAN**

Project No:	CA112	Scale:	1:100
Client:	CA112/2024	Date:	13 NOV 2023
Rev:	01	Author:	JL
		Checker:	JL
		Contractor:	JL

**DESIGN**



**SECOND FLOOR PLAN  
1:100**

This drawing is the intellectual property of the Architect and shall remain the property of the Architect. It is not to be used, copied, or reproduced in any form without the written consent of the Architect.



**General Notes:**

1. Contractor and Sub-Contractors to check all dimensions and levels before commencing work. All dimensions and levels to be reported to the Architect immediately.
2. Elected dimensions to be taken in preference to scaled measurements and large scale details supersede small scale drawings.
3. All work to be done in accordance (National Building Regulations and Building Control Act) and all work to be done in accordance with the requirements of the National Building Regulations and Building Control Act.
4. Natural light and ventilation area of all openings to be calculated in accordance with SANS 10400 Part C and SANS 10400 Part D. All openings to be provided with insect screens. Windows lower than 1000mm above floor level to be provided with insect screens. All openings to be provided with insect screens.
5. All openings to be provided with insect screens. Windows lower than 1000mm above floor level to be provided with insect screens. All openings to be provided with insect screens.
6. All openings to be provided with insect screens. Windows lower than 1000mm above floor level to be provided with insect screens. All openings to be provided with insect screens.
7. All openings to be provided with insect screens. Windows lower than 1000mm above floor level to be provided with insect screens. All openings to be provided with insect screens.
8. No part of construction may encroach building lines.

DEVELOPMENT SCENARIO	
BASMENT PARKING	27 BAYS
NEW/EXISTING BAYS	4 BAYS
SECOND FLOOR LEVEL	177,00 sqm
EXISTING COMMON AREA	65,24 sqm
EXISTING APARTMENTS	7,10 sqm
NEW APARTMENT TYPE A	15,00 sqm
NEW APARTMENT TYPE B	15,00 sqm
NEW COMMON AREA	15,00 sqm
THIRD FLOOR LEVEL	177,00 sqm
EXISTING COMMON AREA	65,24 sqm
EXISTING APARTMENTS	7,10 sqm
NEW APARTMENT TYPE A	15,00 sqm
NEW APARTMENT TYPE B	15,00 sqm
NEW COMMON AREA	15,00 sqm
TOTAL NEW APARTMENT AREA	30,00 sqm
TOTAL NEW COMMON AREA	30,00 sqm



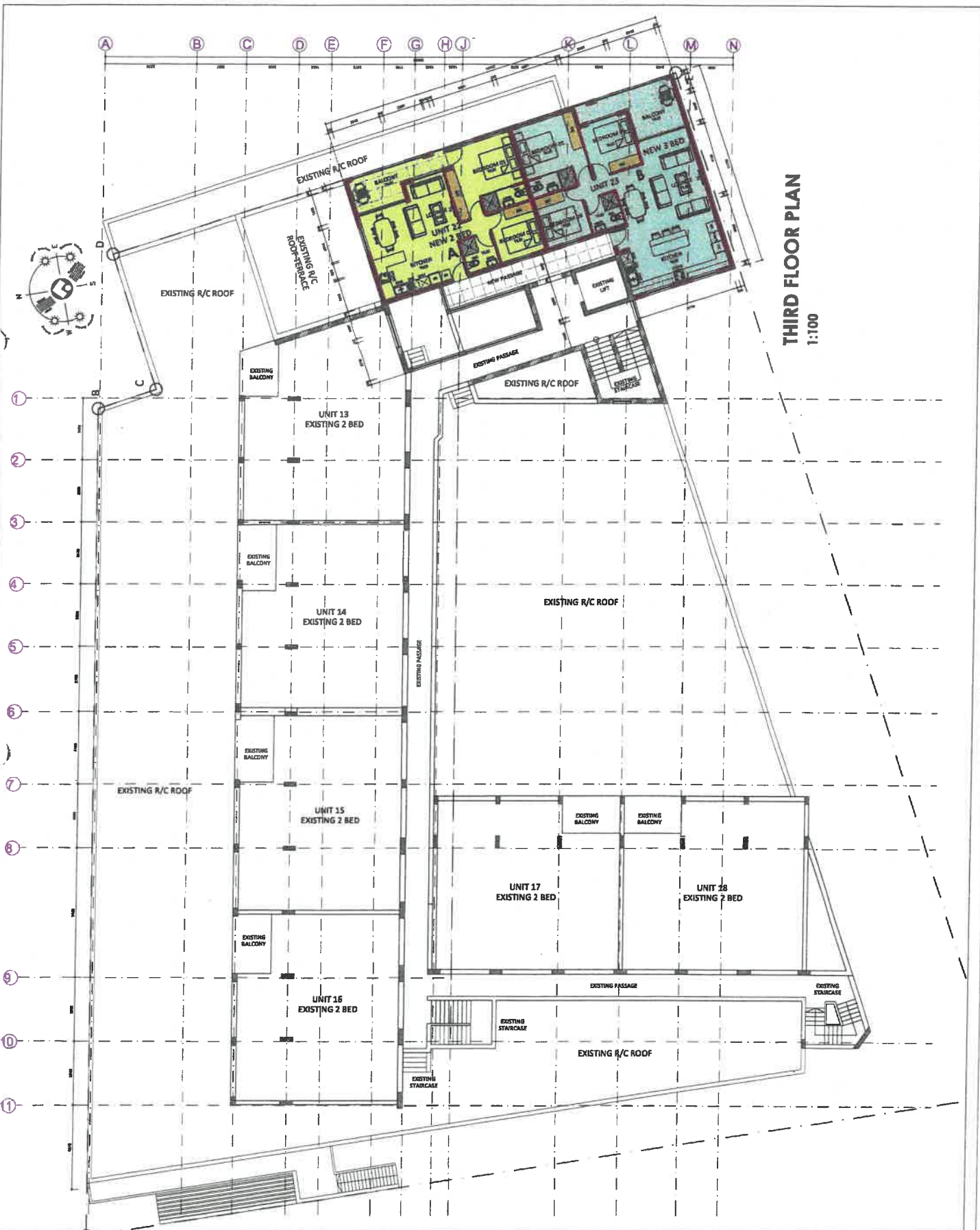
**DE WAAL CENTRE  
PROPOSED ALTERATIONS  
ON ERF 2000  
STELLENBOSCH**

**THIRD FLOOR PLAN**

PROJECT NO.	CA 11	DATE	1:100
CLIENT	CA 113-0-205	DATE	13 NOV 2020
NO.	01	SCALE	DL
		DATE	DL

**DESIGN**

This drawing and all the information contained therein is the property of the Architect and may not be copied or reproduced in any form without the written consent of the Architect.



**THIRD FLOOR PLAN  
1:100**

**General Notes:**

1. Contractor and Sub-Contractors to check all dimensions and levels against the drawings and report to the Architect immediately.
2. Figure dimensions to be shown in preference to actual measurements and large scale details reproduce small scale drawings.
3. All work to be done in accordance National Building Regulations (SANS 10400) and all materials used must be approved by the relevant authorities concerned and to be set out in the drawings.
4. Natural light and ventilation area of all openings in accordance of floor area and SANS 10400 Part D natural light spec with 10% of floor area and minimum ventilation area of 1% of floor area.
5. All glazing to comply with requirements of SANS 10400 Part D and SANS 10400 Part E for safety glass. Windows lower than 1800mm above sill line of store and openings to be safety glass.
6. All safety glazing panels shall be treated with glazing marking and film to be visible at all times.
7. All ceiling lower floor levels to be fixed with concrete and open to be inspected.
8. No part of construction may encroach building line.

DEVELOPMENT SCENARIO	
BASEMENT PARKING:	27 BAYS 4 large
EXISTING COMMON AREAS:	177,00 sqm
EXISTING COMMON AREAS (PASSAGES):	68,24 sqm
NEW APARTMENT TYPE A COMMON AREA:	74,80 sqm
NEW APARTMENT TYPE B COMMON AREA:	15,40 sqm
THIRD FLOOR LEVEL:	177,00 sqm
EXISTING COMMON AREAS (PASSAGES & STAIRCASES):	68,24 sqm
NEW APARTMENT TYPE A COMMON AREA:	74,80 sqm
NEW APARTMENT TYPE B COMMON AREA (PASSAGE):	15,40 sqm
TOTAL NEW APARTMENT AREA:	250,00 sqm
TOTAL NEW COMMON AREA:	39,00 sqm
TOTAL NEW AREA ADDED:	289,00 sqm

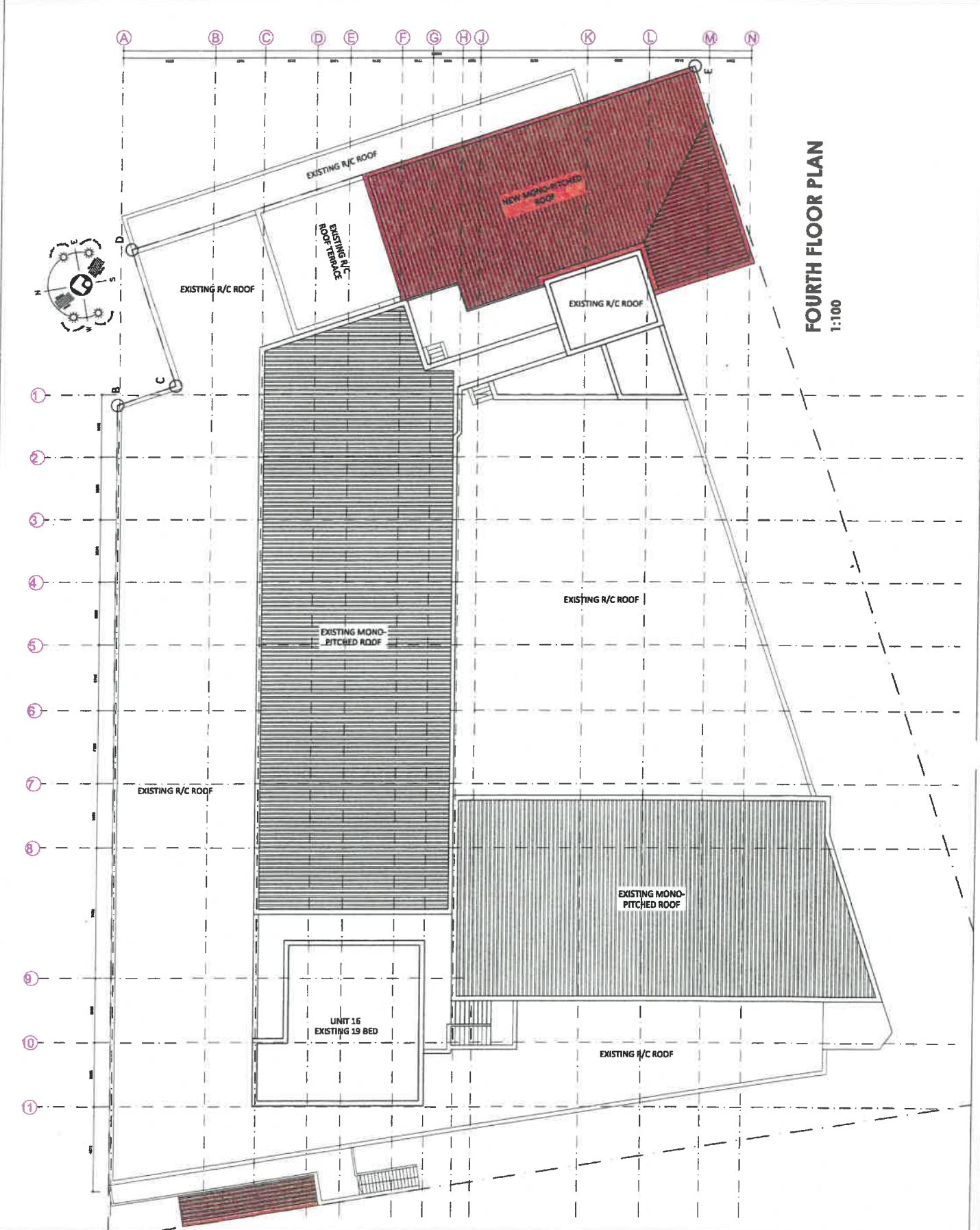


**DE WAAL CENTRE  
PROPOSED ALTERATIONS  
ON ERF 2000  
STELLENBOSCH**

**FOURTH FLOOR PLAN**

PROJECT NO:	CS112	SCALE:	1:100
DATE:	01/11/2020	DATE:	13 NOV 2020
NO:	01	NAME:	KL
		CONTR:	KL
<b>DESIGN</b>			

The drawing and all the information contained therein is the property of De Waal Centre Architects and may not be copied or distributed in any form without their written consent.



**FOURTH FLOOR PLAN**  
1:100

**General Notes:**

1. Contractor and Sub-Contractors to check all work and dimensions against the drawings and report to the Architect immediately.
2. Figured dimensions to be taken in preference to verbal measurements and large scale details appropriate shall make drawings.
3. All work to be done in accordance National requirements of Municipal and Local Authorities concerned are to be followed to.
4. Natural light and ventilation areas of all openings in walls and roofs shall be in accordance with the natural ventilation rate, 5% of floor area.
5. All glazing to comply with requirements of SANS 10137-1, unless shown and adequate to have safety glass. Windows lower than 1000mm from floor, doors lower than 1000mm from floor, stairs and steps shall be to the safety glass.
6. All safety glazing panels shall be marked with glazing marking and shall be visible at all times.
7. All cracks below floor level to be filled with concrete and spots to be stopped.
8. No part of construction may encroach building lines.

**DEVELOPMENT SCENARIO**

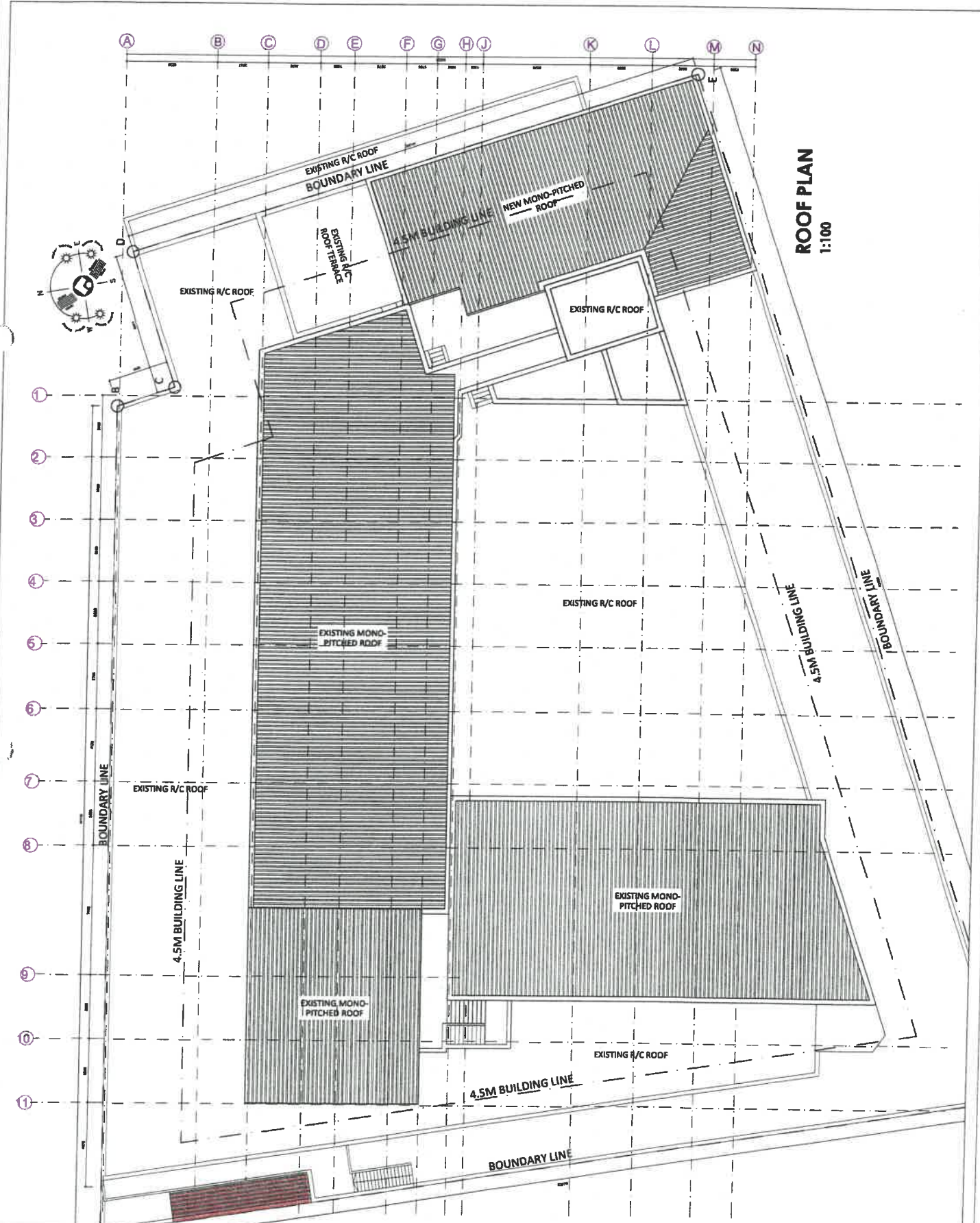
BARBERIT PARKING:	2 BAYS
NEW PARKING SPACES:	14 SPACES
NEW PARKING SPACES:	14 SPACES
SECOND FLOOR LEVEL:	177.00 m <sup>2</sup>
EXISTING COMMON AREAS:	66.24 m <sup>2</sup>
EXISTING APARTMENTS (TYPICAL):	100.00 m <sup>2</sup>
NEW APARTMENT TYPE A (PASSAGES):	15.00 m <sup>2</sup>
THIRD FLOOR LEVEL:	177.00 m <sup>2</sup>
EXISTING COMMON AREAS:	66.24 m <sup>2</sup>
EXISTING APARTMENTS (TYPICAL):	100.00 m <sup>2</sup>
NEW APARTMENT TYPE A (PASSAGES):	15.00 m <sup>2</sup>
TOTAL NEW COMMON AREA:	132.48 m <sup>2</sup>
TOTAL NEW APARTMENT AREA:	135.00 m <sup>2</sup>
TOTAL NEW COMMON AREA:	132.48 m <sup>2</sup>

**DE WAAL CENTRE  
PROPOSED ALTERATIONS  
ON ERF 2000  
STELLENBOSCH**

**ROOF PLAN**

PROJECT NO. CA112	SCALE: E:100
DATE: 19 NOV 2022	
REV. 01	DESIGNER: KL

**DESIGN**



**ROOF PLAN**  
1:100

This drawing and all the information contained therein is the property of the Architect and shall remain his/her property and shall not be used for any other purpose without his/her written consent.

**General Notes:**

- Contractor and Sub-Contractors to check all levels and dimensions on site before any work is commenced. All levels and dimensions to be reported to the Architect immediately.
- Planned dimensions to be taken in preference to actual measurements and large areas should separate small scale drawings.
- All work to be done in accordance National Building Regulations & SANS 10400 and all requirements of Municipal and Local Authorities concerned with the scheme.
- Natural light and ventilation area of all openings in external walls shall be 10% of floor area and natural ventilation min. 5% of floor area.
- All glazing to comply with requirements of SANS 1017. Window coverings and shades to have safety features lower than 1800mm above glass line of sills and displaceable to be safety glass.
- All safety glazing panels shall be secured with glazing mastic and able to be stable at all times.
- All window frame level to be fixed with concrete new doors to be aligned.
- No part of construction may encroach building line.

DEVELOPMENT SCENARIO	
BASEMENT PARKING:	37 BAYS
EXISTING PARKING BAYS:	4 BAYS
NEW PARKING BAYS:	171.80 sqm
EXISTING COMMON AREAS:	24.30 sqm
NEW COMMON AREAS (PASSAGES & STAIRCASES):	100.20 sqm
NEW APARTMENT TYPE A:	12.00 sqm
NEW APARTMENT TYPE B:	12.00 sqm
NEW COMMON AREA (PASSAGE):	12.00 sqm
THIRD FLOOR LEVEL:	177.50 sqm
NEW COMMON AREAS (PASSAGES & STAIRCASES):	52.50 sqm
NEW APARTMENT TYPE A:	12.00 sqm
NEW APARTMENT TYPE B:	12.00 sqm
NEW COMMON AREA (PASSAGE):	12.00 sqm
TOTAL NEW APARTMENT AREA:	36.00 sqm
TOTAL NEW COMMON AREA:	36.00 sqm
TOTAL NEW AREA INDEXED:	36.00 sqm



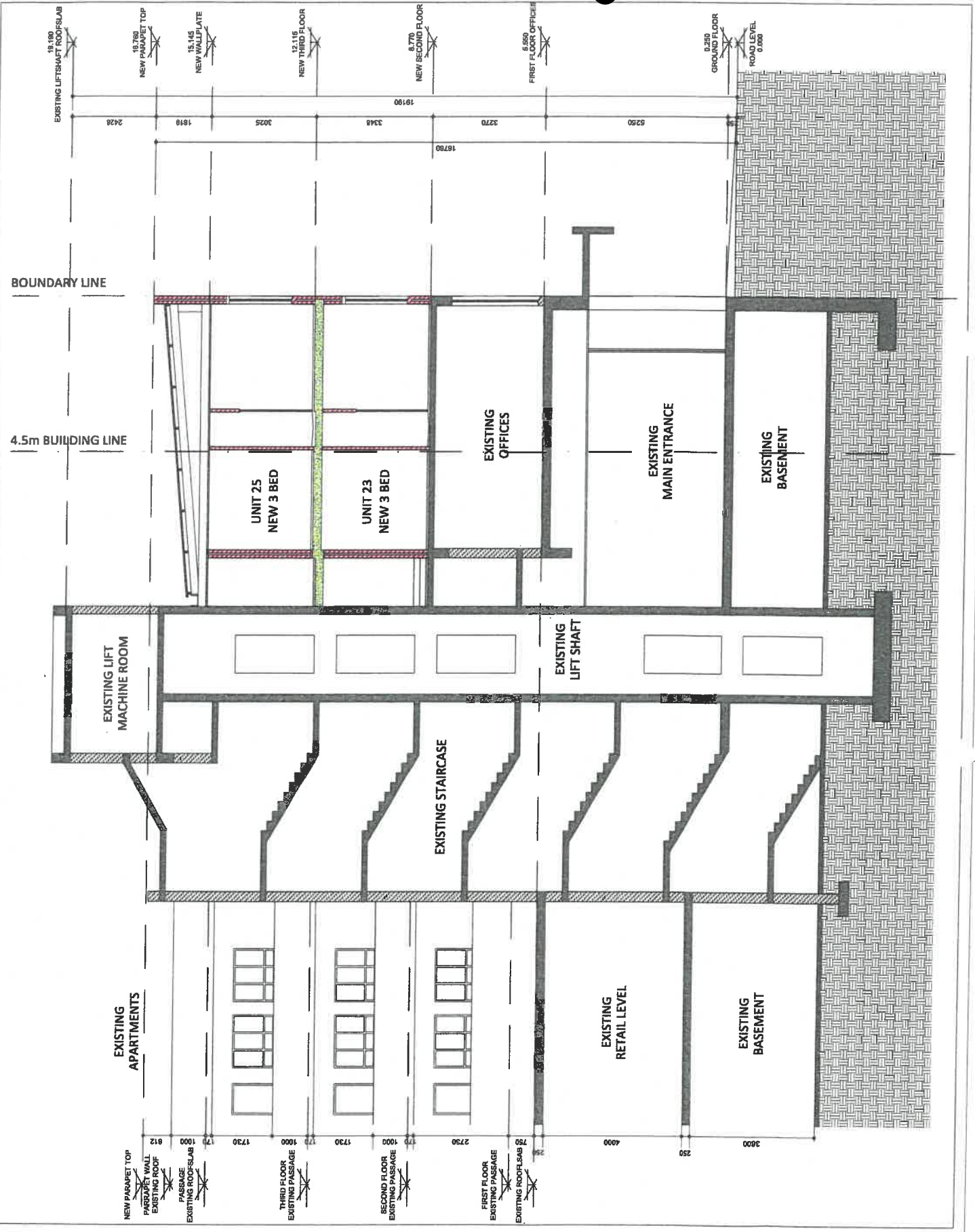
**DE WAAL CENTRE  
PROPOSED ALTERATIONS  
ON ERF 2000  
STELLENBOSCH**

**SECTION**

PROJECT No:	CH12	SCALE:	1:50
DATE:	01	DATE:	13 NOV 2020
NO:	01	NO:	01
DESIGNER:	KL	CHECKER:	KL
DATE:	KL	DATE:	KL

**DESIGN**

This drawing is the property of De Waal Centre and is not to be used or reproduced in any form without their written consent.





**STELLENBOSCH**  
STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNICIPALITY • UMASIPALA • MUNISIPALITEIT

## **ANNEXURE F**



**STELLENBOSCH MUNICIPALITY**  
STELLENBOSCH · PNIEL · FRANSCHHOEK

# MEMORANDUM

**DIREKTEUR: INFRASTRUKTUURDIENSTE**  
**DIRECTORATE: INFRASTRUCTURE SERVICES**

---

**To ◦ Aan:** Director: Planning + Economic Development  
**Att Aandag** Nolusindiso Momoti  
**From ◦ Van:** Manager: Development (Infrastructure Services)  
**Author ◦ Skrywer:** Tyrone King  
**Date ◦ Datum:** 11 May 2023  
**Our Ref ◦ Ons Verw:** Civil LU 2422  
**Your Ref:** LU/14661 TP95/2022  
**Re ◦ Insaake:** Erf 2000, Stellenbosch: 4 additional apartments to the existing De Waal Centre (in Andringa Street, with Food Lovers Market on ground floor) - 1. Departures to relax the building lines as follows: - 4,5m – 0m Street building Line  
- 4,5m – 0m Side building Line Adjacent to erf 2001  
2. Departure to relax the height restriction of the Urban Conservation Overlay Zone from '10.0m to '16.76m;  
3. Departure to relax the required number of normal parking bays from 7 to 5 4. Permission to construct a building in the Urban and Conservation Overlay Zone

---

The above application is recommended for approval, subject to the following conditions:

1. **Civil Engineering Services**
  - 1.1 This approval is based on the parking layout as per "Basement Plan Proposed New Layout" Drawing No C4132-D-201 dated 2023-04-26 by Dennis Moss. The building plans must be aligned therewith.

**2. Development Charges (DCs)**

- 2.1 The following DC's are payable: See **Development Charge Calculation** attached.
- 2.2 Furthermore, a **Parking DC** for the shortfall of 1 parking bay will be payable before BP approval. This will be calculated according to the approved tariff at that point in time.
- 2.3 The DC's were calculated by using the 2022/2023 tariff structure. If DC's are paid after 30 June 2023 it will have to be recalculated by using the tariff structure applicable at date of payment.
- 2.4 The appropriate DC's are payable before building plan approval.



**Tyrone King Pr Tech Eng**

**MANAGER: DEVELOPMENT (INFRASTRUCTURE SERVICES)**

W:\2.0 DEVELOPMENT\01 Land Use applications\2422 (CT) Erf 2000 Stellenbosch (LU-14661 TP95-2022)\2422 (CT) Erf 2000 Stellenbosch (LU-14661 TP95-2022)\_1 approved.doc

**Stellenbosch Town**

Land Use Category	Unit Type	Unit	Existing Usage		Proposed New Usage		Increase in Amount	Development Charge (incl VAT)						Total			
			Area (m²)	Unit Amount	Area (m²)	Unit Amount		Water	sewer	Stormwater	Solid Waste	Green Transport	Community				
Residential	Single Residential >100m²	du					0	R	R	R	R	R	R	R	R		
	Single Residential <=50m²	du					0	R	R	R	R	R	R	R	R		
	Single Residential <=50m²	du					0	R	R	R	R	R	R	R	R		
	Second Dwelling	du					0	R	R	R	R	R	R	R	R		
	Low Rental Residential	du					0	R	R	R	R	R	R	R	R		
	Group Residential	du					0	R	R	R	R	R	R	R	R		
	Apartment	du					0	R	R	R	R	R	R	R	R		
	Paradise Village	du					0	R	R	R	R	R	R	R	R		
	City and home	du					0	R	R	R	R	R	R	R	R		
	Student Accommodation/Continuing Education	du					0	R	R	R	R	R	R	R	R		
Accom.	Commercial Guest House	room					0	R	R	R	R	R	R	R	R		
	Hotel, Guesthouse	room					0	R	R	R	R	R	R	R	R		
	Office	sqm					0	R	R	R	R	R	R	R	R		
	Warehouse	sqm					0	R	R	R	R	R	R	R	R		
	Industrial	sqm					0	R	R	R	R	R	R	R	R		
	Commercial	sqm					0	R	R	R	R	R	R	R	R		
	Industrial	sqm					0	R	R	R	R	R	R	R	R		
	Commercial	sqm					0	R	R	R	R	R	R	R	R		
	Industrial	sqm					0	R	R	R	R	R	R	R	R		
	Commercial	sqm					0	R	R	R	R	R	R	R	R		
Industrial	Warehouse	sqm					0	R	R	R	R	R	R	R	R		
	Manufacturing	sqm					0	R	R	R	R	R	R	R	R		
	Warehouse	sqm					0	R	R	R	R	R	R	R	R		
	Manufacturing	sqm					0	R	R	R	R	R	R	R	R		
	Warehouse	sqm					0	R	R	R	R	R	R	R	R		
	Manufacturing	sqm					0	R	R	R	R	R	R	R	R		
	Warehouse	sqm					0	R	R	R	R	R	R	R	R		
	Manufacturing	sqm					0	R	R	R	R	R	R	R	R		
	Warehouse	sqm					0	R	R	R	R	R	R	R	R		
	Manufacturing	sqm					0	R	R	R	R	R	R	R	R		
Non-demand	Public Open Space	ha					0.0000	R	R	R	R	R	R	R	R		
	Public Open Space	ha					0.0000	R	R	R	R	R	R	R	R		
	Public Open Space	ha					0.0000	R	R	R	R	R	R	R	R		
	Public Open Space	ha					0.0000	R	R	R	R	R	R	R	R		
	Public Open Space	ha					0.0000	R	R	R	R	R	R	R	R		
	Public Open Space	ha					0.0000	R	R	R	R	R	R	R	R		
	Public Open Space	ha					0.0000	R	R	R	R	R	R	R	R		
	Public Open Space	ha					0.0000	R	R	R	R	R	R	R	R		
	Public Open Space	ha					0.0000	R	R	R	R	R	R	R	R		
	Public Open Space	ha					0.0000	R	R	R	R	R	R	R	R		
Other	To be calculated	ha					0	R	R	R	R	R	R	R	R		
	To be calculated (based on equivalent demand)	ha					0	R	R	R	R	R	R	R	R		
<b>Totals</b>																	
<b>Deduct</b>																	
<b>Development Charges before Deductions</b>																	
<b>Deductions per service (amount)</b>																	
<b>Water</b>								R	50 521	R	49 428	R	14 017	R	69 459	R	59 280
<b>sewer</b>								R	-	R	-	R	-	R	-	R	-
<b>Stormwater</b>								R	50 521	R	49 428	R	14 017	R	69 459	R	59 280
<b>Solid Waste</b>								R	7 578	R	7 413	R	2 102	R	8 918	R	8 287
<b>Green Transport</b>								R	20 000	R	20 000	R	5 773	R	26 273	R	21 727
<b>Community</b>								R	-	R	-	R	-	R	-	R	-
<b>Total</b>								R	88 100	R	86 841	R	35 907	R	135 527	R	115 287
<b>Sub Total after Deductions (including VAT)</b>																	
<b>Total</b>								R	88 100	R	86 841	R	35 907	R	135 527	R	115 287





# Stellenbosch Municipality

## Development Charge Calculation



APPLICATION INFORMATION	
Application Number:	2422-0 Erf 2000 Stellenbosch (LU-14661 TP95-2022)
Development Name:	
Date:	11 May 2023
Financial Year:	2022/2023
Erf Location (Select from 7 Locations):	Stellenbosch Town
Vehicle Ownership (Select Normal or Low):	Normal
Erf Region (Select Urban or Rural):	Urban
Erf No:	2000
DC Parameters Reference:	Par 3 Motivation report by Dennis Moss dated 9 Sept 2022 - 4 new residential apartments added to De Waal Centre

SUMMARY OF DC CALCULATION									
Service:	Water	Sewer	Stormwater	Solid Waste	Roads & Transport	Community	Totals		
Unit(s):	Kl/day	Kl/day	ha/C	U/week	tip/day	persons			
Total Increased Services Usage:	1.8	1.6	0.032	0.16	11	16			
Total Service Usage Reduction:	0	0	0	0	0.0	0			
Total Service Usage after Reduction:	1.80	1.60	0.03200	0.160	11.0	16			
Total Development Charges before Deductions:	R 50 521.26	R 49 426.11		R 14 016.64	R 59 459.40	R 55 280.00	R 228 703.40		
Total Deductions:	R -	R -		R -	R -	R -	R -		
Total Payable (excluding VAT):	R 50 521.26	R 49 426.11		R 14 016.64	R 59 459.40	R 55 280.00	R 228 703.40		
VAT:	R 7 578.19	R 7 413.92		R 2 102.50	R 8 918.91	R 8 292.00	R 34 305.51		
Total Payable (including VAT):	R 58 099.44	R 56 840.02		R 16 119.14	R 68 378.31	R 63 572.00	R 263 008.97		

APPLICANT INFORMATION	
Application Processed by:	T Klino
Signature:	
Notes:	A Parking DC for the shortfall of 1 parking bay will be payable before BP approval. This will be calculated according to the approved tariff at that point in time.

ERF 2000 Alterations

1. No Objection

**CONDITIONS:**

2. Appropriate caution shall be taken during construction, to prevent damage to existing service cables and electrical equipment in the vicinity. Should damage occur, the applicant will be liable for the cost involved repairing damages.
3. Indicate on plan that at least 50% of hot water with alternative energy saving source
4. All electrical work to comply with SANS142 and Municipal electrical by-laws
4. If connecting a generator for backup, the generator needs to comply to SANS10142

Bradley Williams

Date.....25/11/2022.....



Signature