



**STELLENBOSCH**

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/15864

Our File Reference Number: Erf 1612, Franschhoek

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 – 808 8682

Email address: [Ulrich.Vonmolendorff@stellenbosch.gov.za](mailto:Ulrich.Vonmolendorff@stellenbosch.gov.za)

PER E-

Sir / Madam

**APPLICATION FOR DEPARTURE IN TERMS OF SECTION 15(2)(b) OF THE STELLENBOSCH MUNICIPAL LAND USE PLANNING BYLAW, 2023: ERF 1612, FRANSCHHOEK**

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:
  - 2.1 That the application for a Departure on Erf 1612, Franschhoek in terms of Section 15(2)(b) of the Stellenbosch Municipal: Bylaw on Municipal Land Use Planning (2023) in order to:
    - 2.1.1 to relax the common building lines adjacent on Erf 1611, 149 and 167, Franschhoek from 4.5m to 1m on ground and first floor level, and
    - 2.1.2 to departure from the parking requirements to provide 8 parking bays instead of 9 parking bays, with a subsequently shortfall of 1 parking bay on Erf 1612, Franschhoek. as indicated on drawing 2221 (M01 to M07) dated 21-12-2023 and drawn by Juan Pretorius Architecture.

**BE APPROVED** in terms of Section 60 of the said Bylaw and subject to conditions of approval.

- 2.2 The approval is subject to the following conditions imposed in terms of Section 66 of said Bylaw:
  - 2.2.1 The approval only applies to the proposed departures under consideration and shall not be construed as authority to depart from any other legal prescriptions or

requirements from Council or other legislation or Bylaws or Regulations that may be applicable.

2.2.2 The development must be undertaken generally in accordance with the site plan as referenced (drawing 2221 (M01 to M07) dated 21-12-2023 and drawn by Juan Pretorius Architecture) and attached as **Annexure B**.

2.2.3 The approval granted shall not exempt the applicant from complying with any other legal prescriptions or requirements that might have a bearing on the proposed use.

2.2.4 Building plans must be generally in accordance with the site plan / floor layout plan as referenced (drawing 2221 (M01 to M07) dated 21-12-2023 and drawn by Juan Pretorius Architecture) and attached as **Annexure B**.

2.2.5 The conditions listed in the memorandum dated 21 December 2023 from the Principal Technician: Development from the Directorate: Infrastructure Services attached as **Annexure C** be adhered to.

2.2.6 The conditions listed in the email dated 20 September 2023 from the Electrical Engineering Section from the Directorate: Infrastructure Services attached as **Annexure D** be adhered to.

3. The reasons for the above decision are as follows:

3.1 The proposed land use is in line with the property and surrounding properties land use rights along Huguenot Street and access to parking is obtained from an approved access point.

3.2 The proposed development would not negatively affect the aesthetic appearance of the structure, property or surrounding environment and the shortfall of one parking bay would not be detrimental to the parking arrangements in Franschoek.

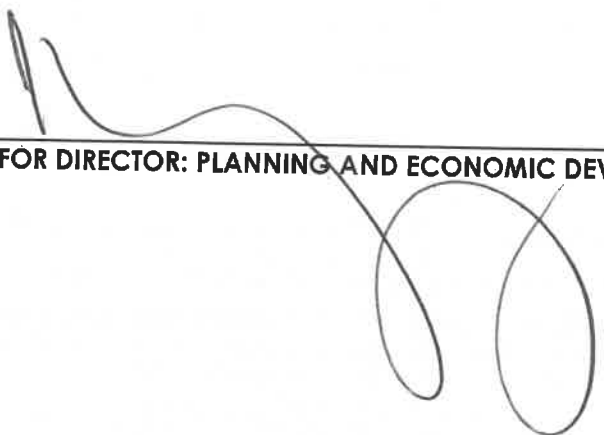
6. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.

7. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:

- a. The personal particulars of the Appellant, including:
  - a) First names and surname
  - b) ID number
  - c) Company of Legal person's name (if applicable)
  - d) Physical Address
  - e) Contact details, including a Cell number and E-Mail address
8. Reference to this correspondence and the relevant property details on which the appeal is submitted.
- 8.1 The grounds of the appeal which may include the following grounds:
  - a) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000)
  - b) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.
- 8.2 Whether the appeal is lodged against the whole decision or a part of the decision.
- 8.3 If the appeal is lodged against a part of the decision, a description of the part.
- 8.4 If the appeal is lodged against a condition of approval, a description of the condition.
- 8.5 The factual or legal findings that the appellant relies on.
- 8.6 The relief sought by the appellant.
- 8.7 Any issue that the appellant wishes the Appeal Authority to consider in making its decision.
- 8.8 That the appeal includes the following declaration by the Appellant:
  - a) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
  - b) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.
9. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of e-mail at the following address: [landuse.appeals@stellenbosch.gov.za](mailto:landuse.appeals@stellenbosch.gov.za)
10. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.

11. The approved tariff structure and the banking details for the General Account can be accessed and viewed on the municipal website. For any enquiries the office can be contacted at [landuse.appeals@stellenbosch.gov.za](mailto:landuse.appeals@stellenbosch.gov.za)
12. An applicant who lodges an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
- (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
  - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
  - (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
  - (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.
13. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.
14. Kindly note the above decision in the case of any approval, is suspended, and may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

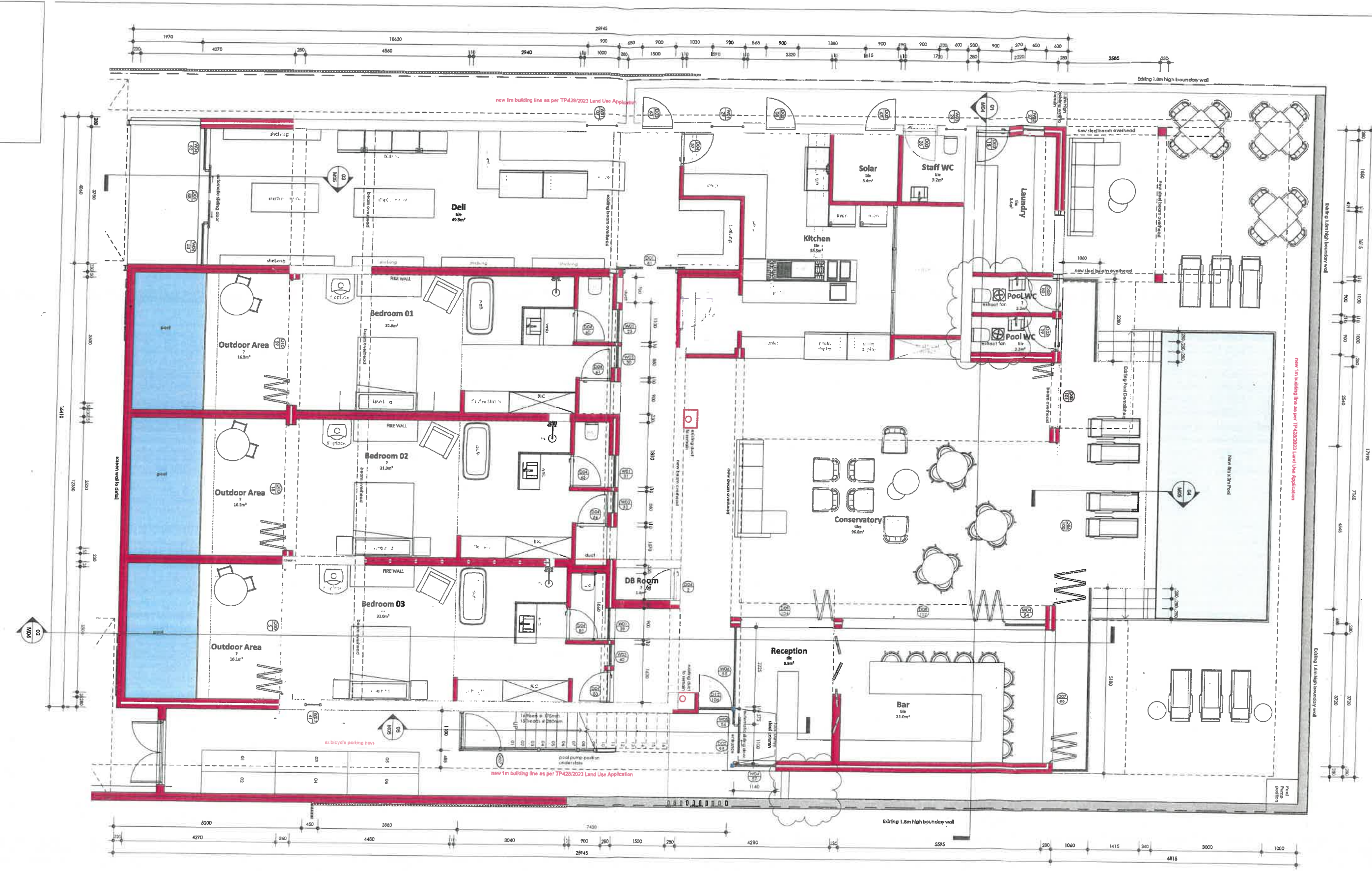
Yours faithfully

  
\_\_\_\_\_  
FOR DIRECTOR: PLANNING AND ECONOMIC DEVELOPMENT

15/2/2024  
DATE

**Annexure B:**  
Site Plan / Floor Layout Plan

Municipal Stamps



Control Sheet

Number	Description	Date
1	Notes added on boundary and gates at boundary wall 2. Extract for site of pool was Five plan Added	2023-06-24
3	New building lines shown as per Land Use application TP428/2023. Parking units shown boundary wall added on west side.	2023-08-10

Mixed Use Zone	Total Floor Area
882 m <sup>2</sup>	Total Floor Area
277 m <sup>2</sup>	Boundary Wall
124 m <sup>2</sup>	
401 m <sup>2</sup>	
45 m <sup>2</sup>	
452 m <sup>2</sup>	
227 m <sup>2</sup>	
679 m <sup>2</sup>	



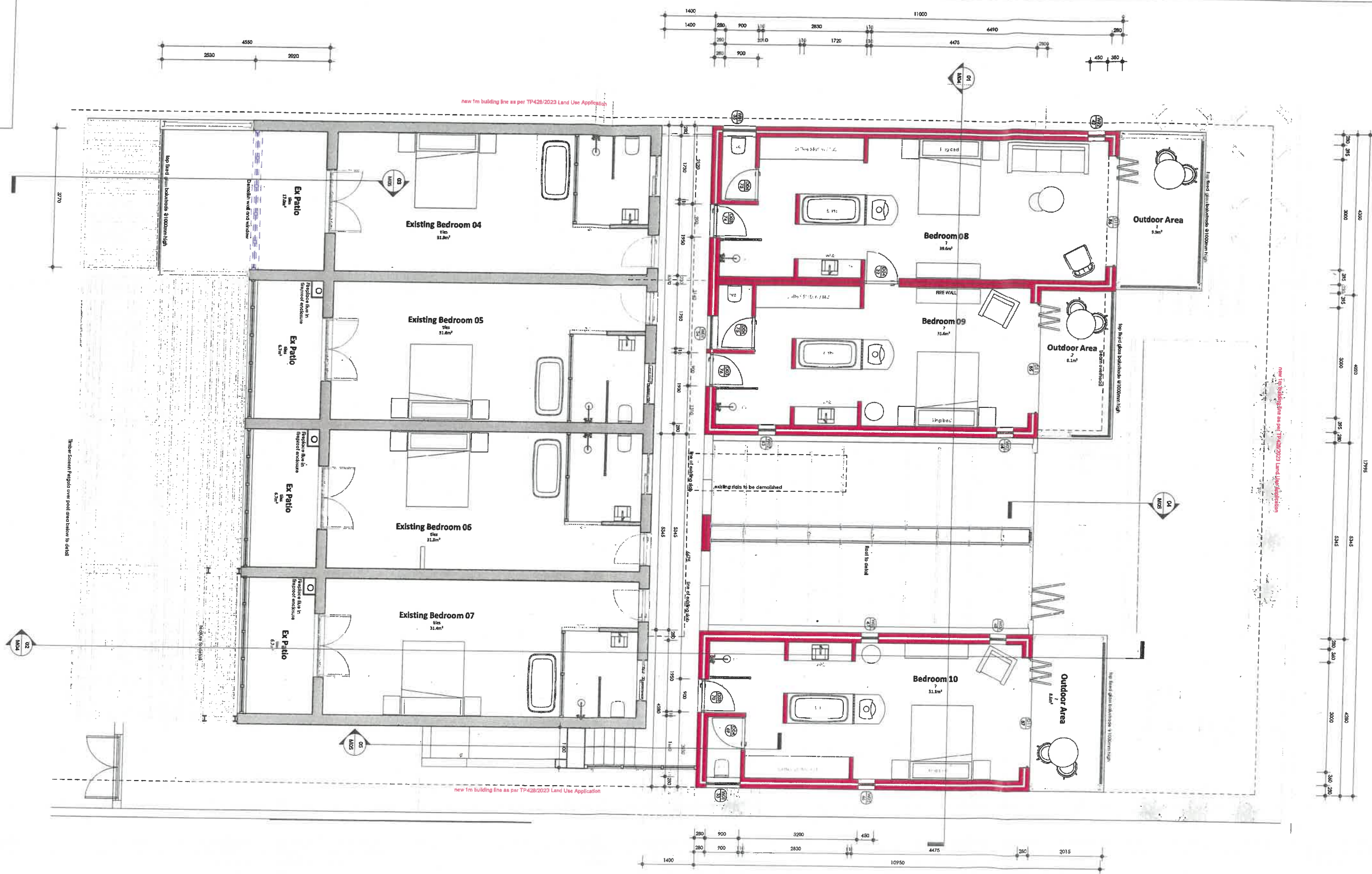
Project  
 Le Petit Manoir - Franschoek  
 Allotment  
 Franschoek  
 Client  
 Le Petit Manoir  
 Architect  
 Pretorius  
 SACAP REGISTRATION NUMBER: PSA13472339

### Municipal Drawings

Drawing name  
 Ground Floor Plan  
 Date  
 2023-12-21  
 Drawing Reference  
 2221  
 Revision  
 3  
 Scale  
 1:50  
 Page Size  
 A1

M01

Municipal Stamps



Client: Jean Fourie

2023/12/21 10:03:56

Number	Description	Date
1	Note added on boundary and area of boundary wall. 2. Extract for rest of pool wall's 3. Fire alarm added.	2023-06-23
3	New building lines shown as per Land Use application TP428/2023. Parking area shown boundary, wall added on west side.	2023-08-10

Municipal Information  
 Zone: Mixed Use Zone  
 Area of Plot: 882m<sup>2</sup>  
 Area of Footprint: 277m<sup>2</sup>  
 Building Coverage: 124m<sup>2</sup>  
 Total Coverage: 401m<sup>2</sup>  
 Volume of Building: 452m<sup>3</sup>  
 Existing Floor Area: 227m<sup>2</sup>  
 Total Floor Area: 679m<sup>2</sup>  
 Maximum Floor Area: 227m<sup>2</sup>

Mixed Use Zone  
 882m<sup>2</sup>  
 277m<sup>2</sup>  
 124m<sup>2</sup>  
 401m<sup>2</sup>  
 452m<sup>3</sup>  
 227m<sup>2</sup>  
 679m<sup>2</sup>  
 227m<sup>2</sup>

1: 1/2000  
 2: 1/500  
 3: 1/250

Shop 1 16 Wharf Street, Port Alfred, South Africa  
 SA REPUBLIC OF SOUTH AFRICA  
 REGISTRATION NUMBER: 24722389

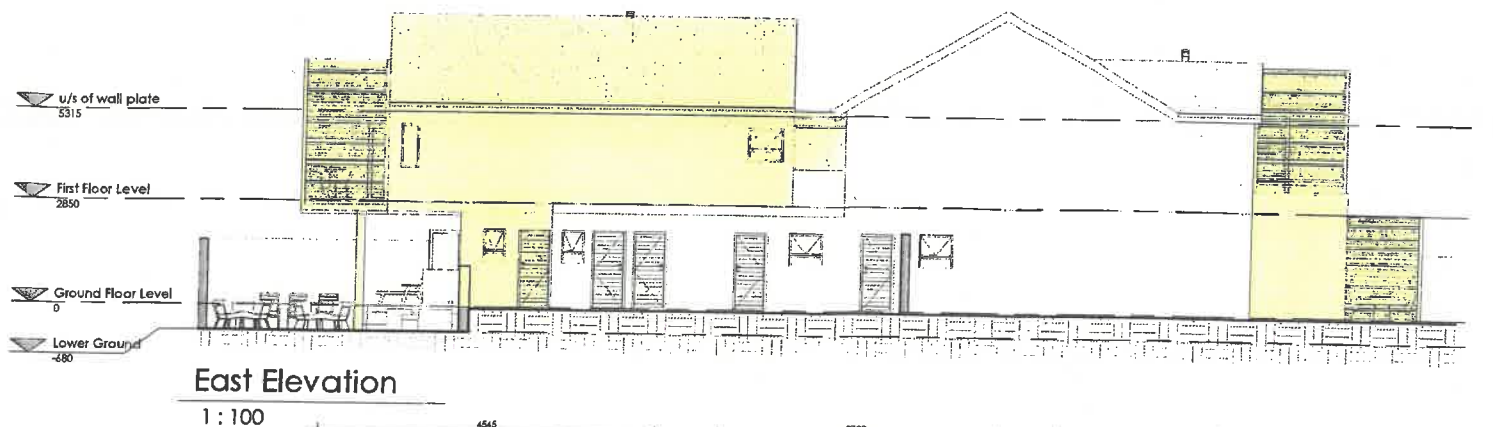
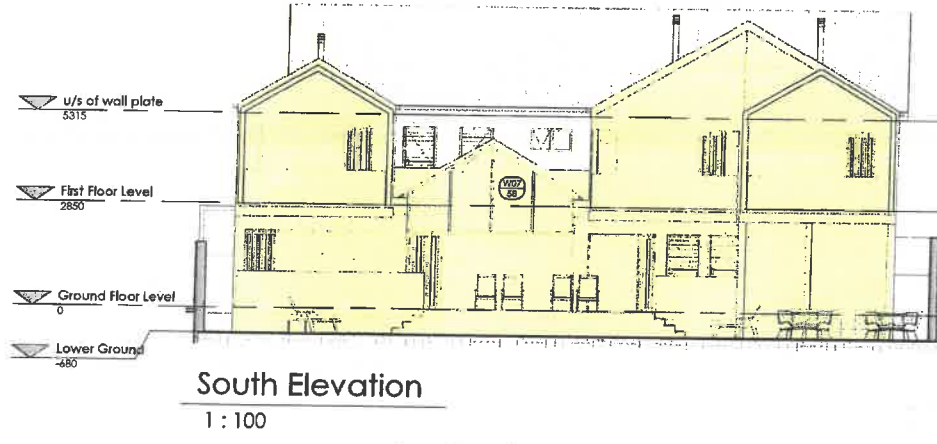
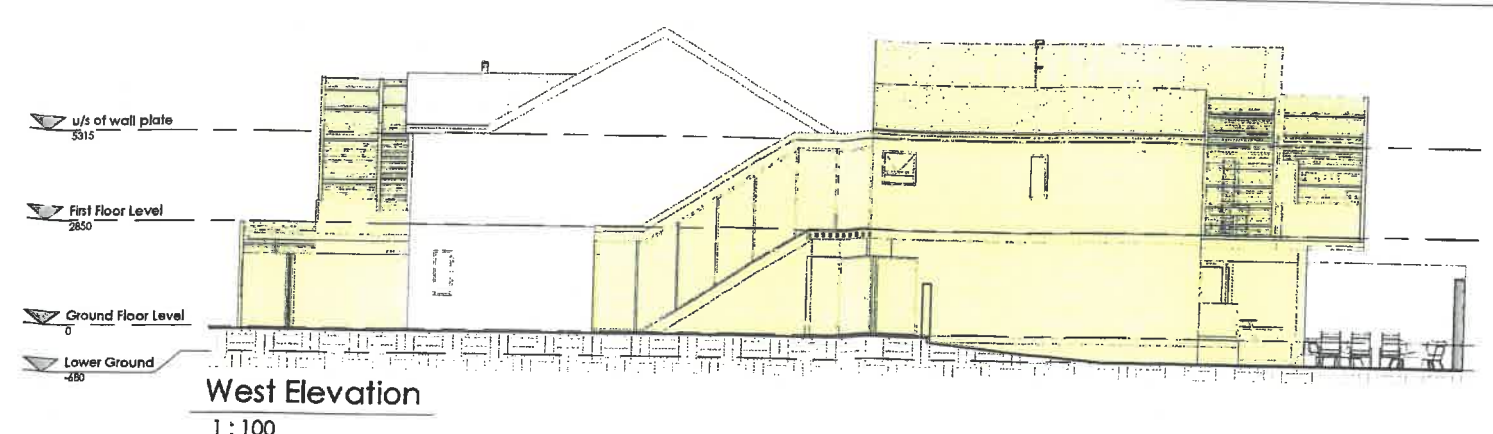
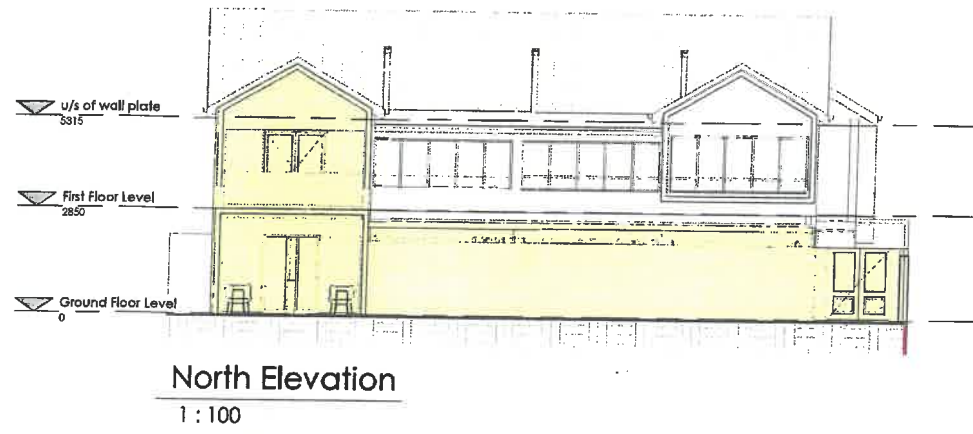
Project: Le Petit Manoir - Franschoek  
 Allotment: Franschoek  
 Client: Le Petit Manoir  
 Architect: J. Pretorius  
 Architectural Firm: J. Pretorius Architectural Firm

### Municipal Drawings

Drawing name: First Floor Plan  
 Date: 2023-12-21  
 Drawing Reference: 2221  
 Revision: 3  
 Scale: 1:50  
 Page Size: A1

M02

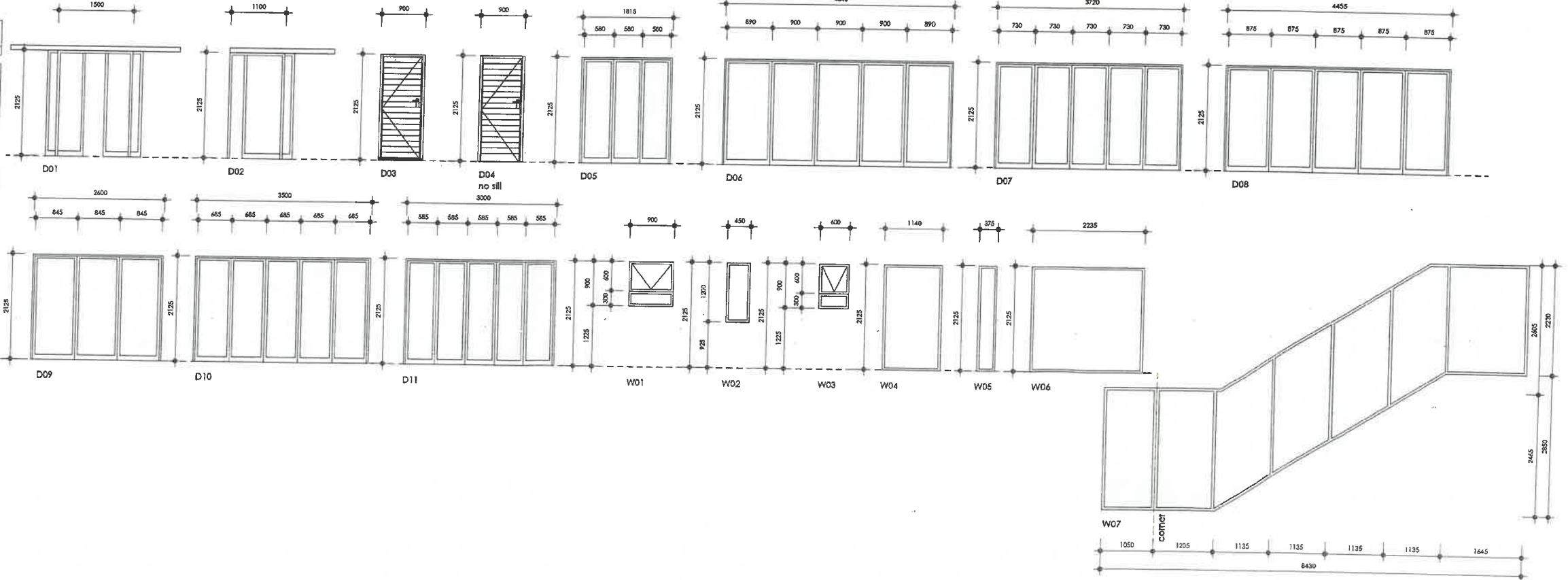
Municipal Statop



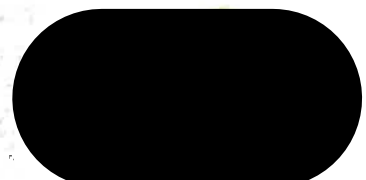
Type Mark	Count	Description	Height	Width	Glazing
D01	2	Charcoal Aluminium Framed Automatic Sliding Doors	2125	1900	As XA Calculations
D02	1	Charcoal Aluminium Framed Automatic Sliding Doors	2125	1100	As XA Calculations
D03	9	Sello Meranti External Door - Horizontal Slatted	2125	900	n/a
D04	11	Sello Meranti Internal Door - Horizontal Slatted	2125	900	n/a
D05	1	Powder Coated Charcoal Sliding Folding Aluminium Glazed door	2125	1815	As XA Calculations
D06	1	Powder Coated Charcoal Sliding Folding Aluminium Glazed door	2125	4545	As XA Calculations
D07	1	Powder Coated Charcoal Sliding Folding Aluminium Glazed door	2125	3720	As XA Calculations
D08	1	Powder Coated Charcoal Sliding Folding Aluminium Glazed door	2125	4455	As XA Calculations
D09	1	Powder Coated Charcoal Sliding Folding Aluminium Glazed door	2125	2600	As XA Calculations
D10	3	Powder Coated Charcoal Sliding Folding Aluminium Glazed door	2125	3000	As XA Calculations
D11	3	Powder Coated Charcoal Sliding Folding Aluminium Glazed door	2125	3000	As XA Calculations
D12	1	Powder Coated Charcoal Sliding Folding Aluminium Glazed door	2125	1800	As XA Calculations
D02	1	Window 1242-3334	2000	1800	n/a

Type Mark	Count	Description	Height	Width	Window Glazing
W01	8	Powder Coated Charcoal Aluminium Frame	900	900	As per XA Calculations
W02	7	Powder Coated Charcoal Aluminium Frame	1500	450	Slatted Glass or equivalent
W03	5	Powder Coated Charcoal Aluminium Frame	900	600	As per XA Calculations
W04	4	Powder Coated Charcoal Aluminium Frame	2125	1140	As per XA Calculations
W05	1	Powder Coated Charcoal Aluminium Frame	2125	375	As per XA Calculations
W06	1	Powder Coated Charcoal Aluminium Frame	2125	2235	As per XA Calculations
W07	1	Powder Coated Charcoal Aluminium Frame	0	0	As XA Calculations

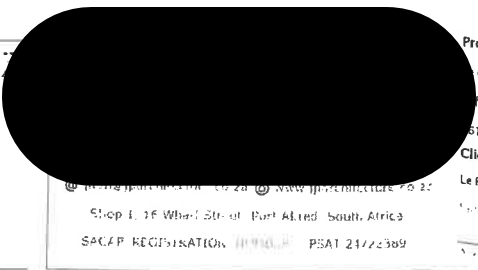


Notes



Number	Description	Date
1	Note added on boundary end gas as at boundary wall. 2. E-trace (as noted at pcd w.c.) Fire plan added.	2023-08-23
2	New building lines shown as per Land Use application TP428/2023. Parking note shown boundary wall added. 3. New wall added.	2023-08-16

Mixed Use Zone	Total Area (sqm)
Residential	882.10
Commercial	227.11
Industrial	124.12
Public Use	401.13
Other	45.14
Unzoned	452.15
Other	227.16
Other	679.17



Project	Le Petit Manoir - Franschoek
Allotment	Franschoek
Client	Le Petit Manoir
Project	Shop 1, 1F Wharf Str of Port Alfred South Africa
SACAP REGISTRATION NUMBER	PSA1 2122389

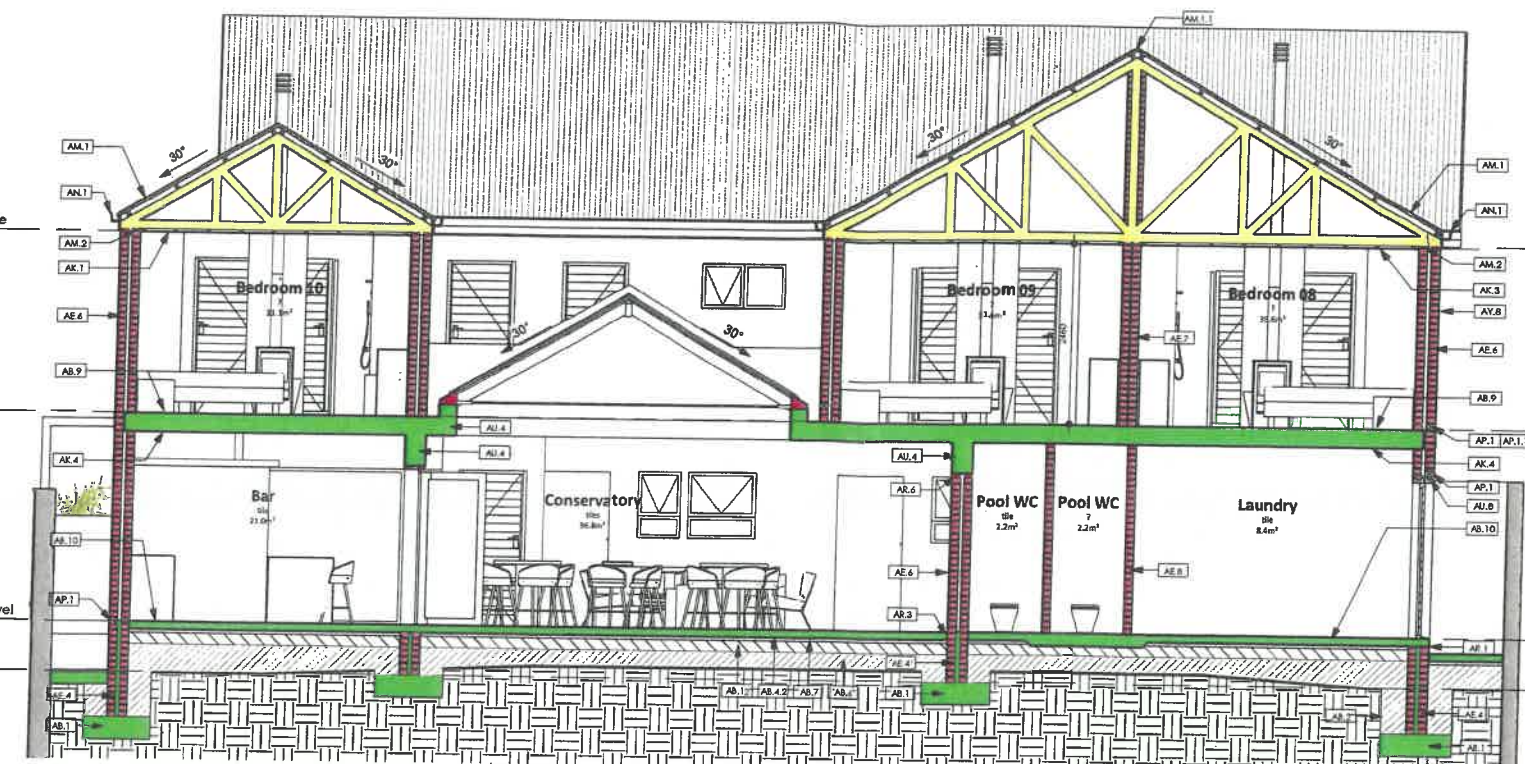
**Municipal Drawings**

Drawing name	Elevations & Schedules
Date	2023-12-21
Scale	As indicated
Drawing Reference	2221
Revision	3
Page Size	A1

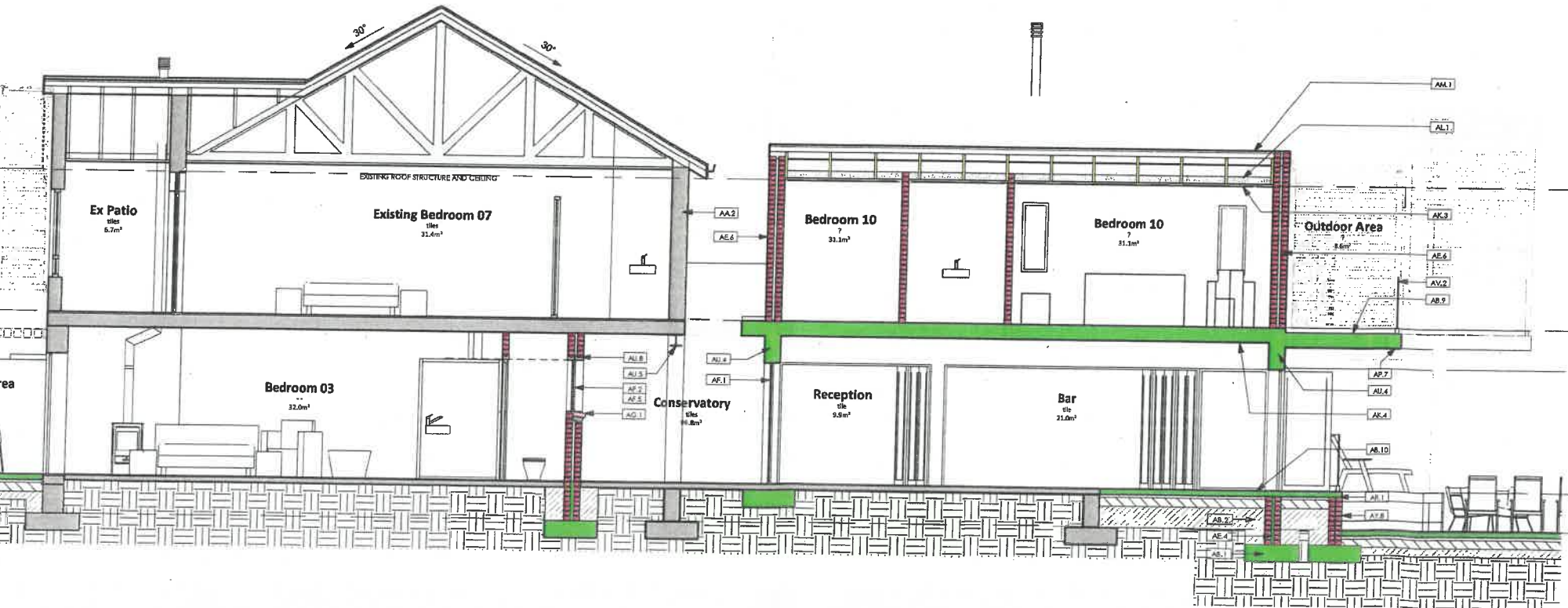
**M03**



Key Value	Keynote Text
AA.2	All existing services to be protected and maintained during the construction period. Any damage which occurs is to be made good by the contractor.
AA.1	Reinforced concrete footings, ground beams and column bases as per Structural Engineer's foundation plan and specifications. Initial 50mm blinding layer under all structural concrete.
AA.3	Check ground conditions before commencing with final foundation excavation. Excavation to be checked and suitably verified by the Structural Engineer prior to casting foundations. The contractor is liable to inform the Local Authority's building inspector and the principal agent of intended dates for inspecting the foundation excavations.
AA.4	1.5M mason block polyethylene embossed damp proof membrane, complying with SABS specification R23 Type B. In maximum width with 150mm overlap of all joints with pressure sensitive tape / welded applied to all substrate areas.
AA.5	Well watered and compacted fill, free of all vegetable matter, in layers not exceeding 150mm in depth.
AA.6	50mm thick layer of clean builder's sand.
AA.7	Selected floor finish as per Architect specification on 30mm screed layer on 25mm thick reinforced concrete floor and finish to Structural Engineer specifications and details.
AA.8	Selected floor finish as per Architect specification on 30mm screed layer on 150mm thick concrete surface bed C28/35 fine stone concrete on 50mm thickness cement stabilised and gravel substrate over 150mm thickness G5 material compacted to 98% Mod Aasho over 150mm thick platform of minimum G7 material compacted to 95% Mod Aasho.
AA.9	Fill Material: Selected fill material to Structural Engineer specifications and details, well compacted and free of organic matter.
AA.10	Walls: Cavity filled foundation wall with brick face reinforcement spanning across the cavity of every 2nd course. Engineer to verify additional structural reinforcement requirements.
AA.11	Walls: All 270 cavity walls to consist of brickwork bedded in class II mortar and to have staggered galvanized courses in height and more than 1m apart. Install 100mm wide bedded type brickwork every 5 horizontal bed courses bedded in cement mortar - with between 15mm to 30mm cover from the brickwork edge. No bed courses to cross cavity, unless otherwise specified by the engineer.
AA.12	Walls: All 230 walls to consist of brickwork bedded in class II mortar and to have ladder type brickwork every 5 horizontal courses bedded in cement mortar - with between 15mm to 30mm cover from the brickwork edge. Ladder courses bedded in cement mortar - with between 15mm to 30mm cover from the brickwork edge.
AA.13	Walls: All 110 walls to consist of brickwork bedded in class II mortar and to have ladder type brickwork every 5 horizontal courses bedded in cement mortar - with between 15mm to 30mm cover from the brickwork edge. Ladder courses bedded in cement mortar - with between 15mm to 30mm cover from the brickwork edge.
AA.14	Custom made aluminium window and door profiles with powder coating finish, applied by a certified mark holder of SANS 1576 and SANS 1774, and manufactured in accordance with AAWS, SAGA, NIB and ABS regulations. All sections to receive 40-60µm powder coating and configured as per Schedules. All joints are to be mechanically finished and electrically sealed with an approved sealant. As far as possible all glass in aluminium doors and windows to be factory glazed and wrapped in protective plastic. All glazing to illustrate the appropriate mark to confirm type of glass used, i.e. toughened glass.
AA.15	All glazing specification with regard to maximum mass, appropriate thickness and performance to be checked and verified by a specialist. The responsibility of a competent installation (SANS, AAWSA, SAGGA, etc.) must be with the main contractor and his sub-contractor.
AA.16	The contractor is to inform the aluminium manufacturer as to when the openings are ready for measurement - All dimensions to be checked and verified on site prior to commencement of manufacture.
AA.17	External Brickwork: External walls to be formed by plastered and pointed masonry brickwork (one brick course down) ending flush with plastered wall as per detail. To be laid on embossed slip grip blue (or similar approved) 375 micron DPC, bearing SABC R23 Type B, well topped at all joints and intersections, bedded and jointed in cement mortar. Refer to Finishing Schedule for paint system.
AA.18	Substrate and Ceiling (flat): Gyproc Rhinocell Heritage S (or similar approved) flat plastered ceiling 9.5mm thick tapered edge. Reinforced fixed side up and secured to Damp DPC saw up ceiling grid with drywall 600mm centres, all suspended with 25 x 25mm galvanized main feet of 1200mm centres, and cross feet of 100mm centres. Joints to be covered with Gyproc board over joints (bedded over buff joints) and then plastered with 6mm thick Rhinocell gypsum skim plaster applied as per manufacturer's instructions.
AA.19	Ceiling: Evolve Nutec 6mm thick plain ceiling board, manufactured in accordance with SANS 9001:2000 carrying 1.8kN/m², fixed to 38 x 100mm battens at 600mm centres using 25 x 2.5mm serrated ceiling nail at 150mm centres, minimum of 12mm battens edge at 600mm centres using 25 x 2.5mm serrated ceiling nail at 150mm centres, all in accordance with the manufacturer's recommendations.
AA.20	Soffit: Interior: Oil-sealed concrete with 12mm plaster and Gyproc Rhinocell Heritage S applied to concrete surface. (With concrete surfaces with a plastering agent to remove grease and oil, rinse with water until all traces of plastering agent are removed. Apply first coat of Gyproc plaster bonding liquid using a paint roller. While the second minimum thickness of 3mm to 6mm thick and finish off with steel trowel and paint finish. Refer to Finishing Schedule.
AA.21	Insulation: 150mm thick Aeroflex non-combustible light weight fibreglass glasswool thermal ceiling insulation 12kg/m³ closely fitted with ends butted flush between the beams and laid flush on top of Zone 4. R-value: 3.6m² K/W. Thermal conductivity: 0.04 W/mK. Installation to be in strict accordance with manufacturer's specifications.
AA.22	Global Roofing Solutions 0.6mm thick 484mm cover 884mm profile 3004 Charcoal Grey ColorTech G4 panels of MAX 1200mm centres (final spacing to be calculated by an Engineer) using Hex Range Head - vary depending on the insulation (or requirements). Full fast to fast, third fast and seventh fast of each sheet end and of each sheet end, all following the manufacturer's specifications by a GRS approved contractor.
AA.23	Global Roofing Solutions 0.6mm thick 504 Charcoal Grey Aluminium edge cap, girth 442mm fixed in accordance with manufacturer's specifications.
AA.24	Wall Finish: 114mm x 38mm S.A. Pine Timber treated wall plate with black fill above.
AA.25	Holdover Aluminium Cladding: commercial 150mm flat profile aluminium extrusion gutters, overall size 100mm x 140mm x 0.6mm thick. Colour coated externally and internally with ColorTech G4 in colour Charcoal Grey including cut and milled angles covered with a miter strip externally, stop end riveted and all sealed on the inside with Dow Corning 913 silicone sealant, secured to fibre cement facade with 25 x 2.5mm - Shaped lead guard set over gutters with 100mm x 25mm x 0.6mm thick Charcoal Grey aluminium downpipes, fixed to walls with steps of 1500mm centres using nail clips, with downpipes riveted and silicone sealed to gutter outlets, including all necessary bends, elbows, shoes etc.
AA.26	Stepped damp proof course, built into inner skin slopping 10mm short from the inner face of the inner brick skin and stepped outwards to one brick-course lower. Every 4th step on the outside to be left open. Stepped damp-proof course to consist of embossed Bitumastic Blue (or similar approved) 375 micron DPC, bearing SABC R23-1985 Type B, well topped at all joints and intersections, bedded and jointed in cement mortar.
AA.27	Paper on the outer face of cavity walls to be left open as weathervoles - Carinated and equally spaced above all external windows and doors. Weathervoles to be joints and equal in size. Refer to building elevations for approximate positions.
AA.28	12mm wide continuous rainwater drain.
AA.29	All joints between the concrete surface back and columns/masonry to be formed with 125 Wides (or similar approved) 10mm thick polyethylene slip, fixed as per Structural Engineer's requirements. Joints sealed with EPDM-based self-healing type 17 self-healing sealant, or similar approved sealant, mixed and applied onto primed surfaces.
AA.30	Construction and movement joints in the building structure and/or between different building materials to be installed as per the Structural Engineer's specifications and details.
AA.31	Reinforced concrete beams as per Structural Engineer's drawings and specifications.
AA.32	Reinforced concrete beams as per Structural Engineer's drawings and specifications.
AA.33	Reinforced concrete beams as per Structural Engineer's drawings and specifications.
AA.34	Reinforced concrete beams as per Structural Engineer's drawings and specifications.
AA.35	Reinforced concrete beams as per Structural Engineer's drawings and specifications.
AA.36	Reinforced concrete beams as per Structural Engineer's drawings and specifications.
AA.37	Reinforced concrete beams as per Structural Engineer's drawings and specifications.
AA.38	Reinforced concrete beams as per Structural Engineer's drawings and specifications.
AA.39	Reinforced concrete beams as per Structural Engineer's drawings and specifications.
AA.40	Reinforced concrete beams as per Structural Engineer's drawings and specifications.
AA.41	Reinforced concrete beams as per Structural Engineer's drawings and specifications.
AA.42	Reinforced concrete beams as per Structural Engineer's drawings and specifications.
AA.43	Reinforced concrete beams as per Structural Engineer's drawings and specifications.
AA.44	Reinforced concrete beams as per Structural Engineer's drawings and specifications.
AA.45	Reinforced concrete beams as per Structural Engineer's drawings and specifications.
AA.46	Reinforced concrete beams as per Structural Engineer's drawings and specifications.
AA.47	Reinforced concrete beams as per Structural Engineer's drawings and specifications.
AA.48	Reinforced concrete beams as per Structural Engineer's drawings and specifications.
AA.49	Reinforced concrete beams as per Structural Engineer's drawings and specifications.
AA.50	Reinforced concrete beams as per Structural Engineer's drawings and specifications.

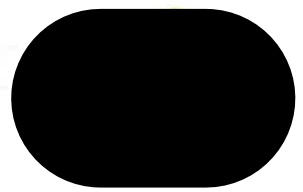


Section 01  
1 : 50



Section 02  
1 : 50

Municipal Stamps



Number	Description	Date	Author
1	1. Initial, added on Load, ty and gates at boundary wall, 2. External fire-rated at pool wall, 3. Fire plan added	2023-06-25	

Project: Le Petit Manoir - Franschoek  
 Drawing Name: Sections 01  
 Date: 2023-12-21  
 Drawing Reference: 2221  
 Revision: 1  
 Page Size: A1

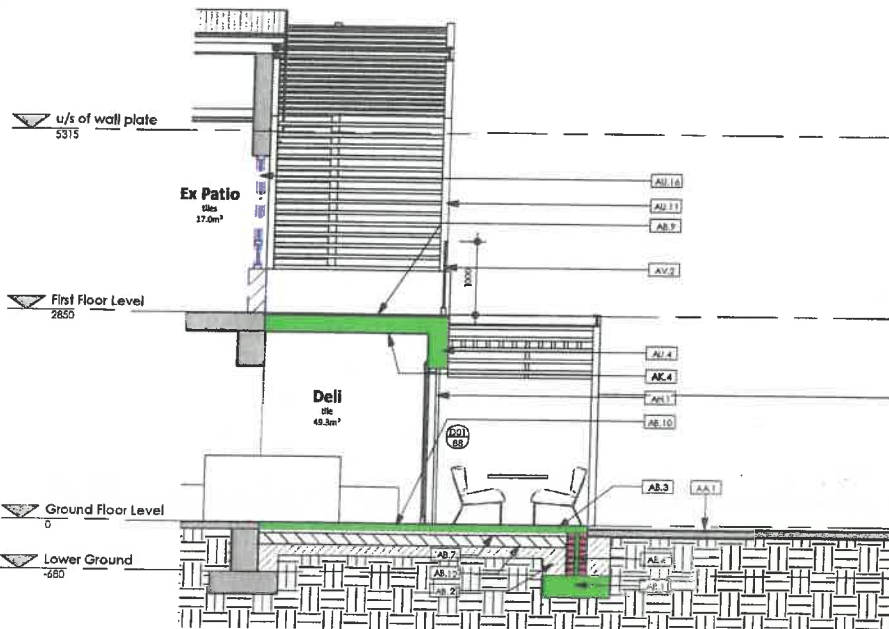
**Municipal Drawings**

Project: Le Petit Manoir - Franschoek  
 Drawing Name: Sections 01  
 Date: 2023-12-21  
 Drawing Reference: 2221  
 Revision: 1  
 Page Size: A1

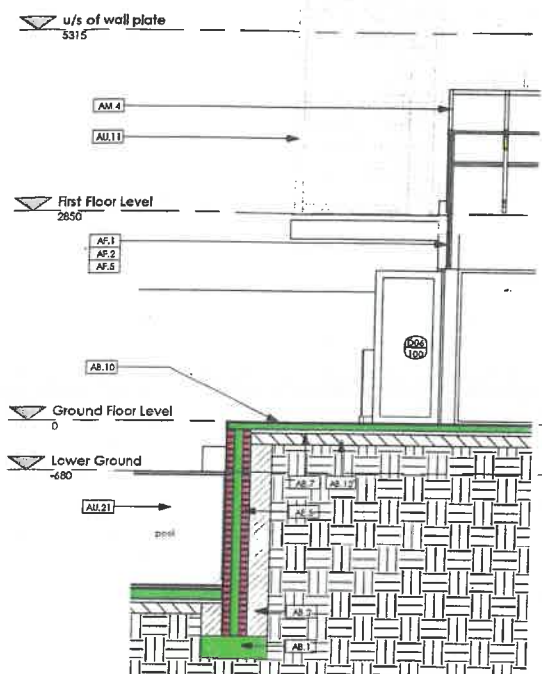
Scale: 1 : 50

Author: J. Pretorius

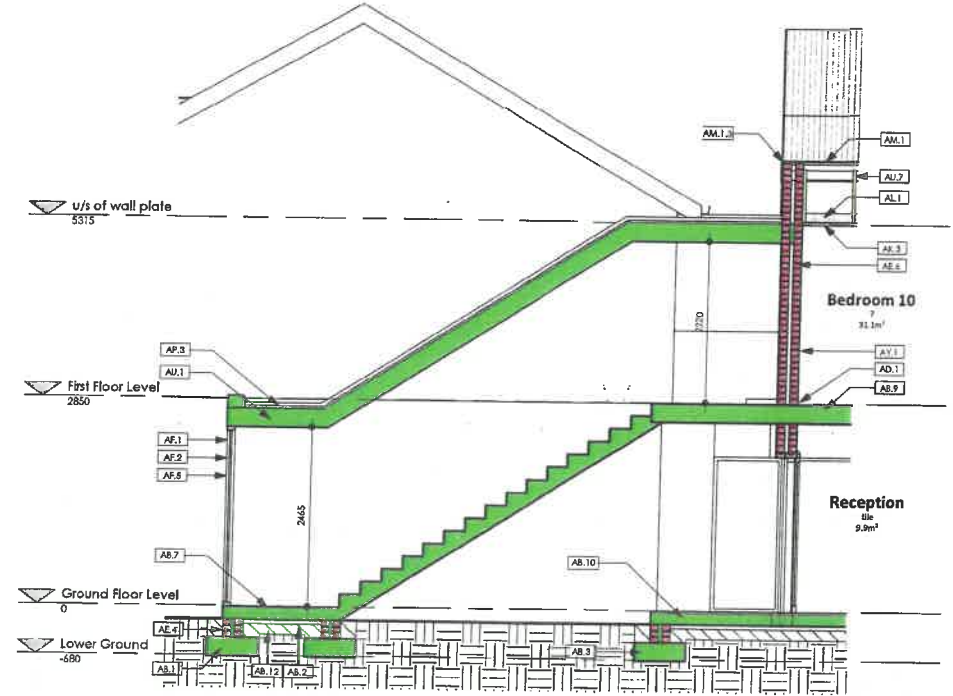
Municipal Stamps



Section 03  
1 : 50



Section 04  
1 : 50



Section 05  
1 : 50

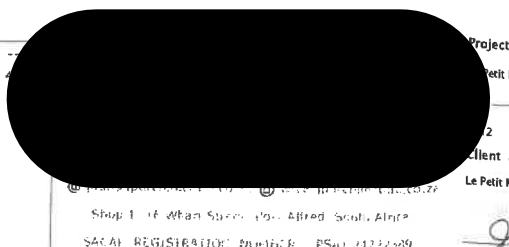
Key Value	Keynote Text
AA.1	Refer to Engineer's drawings for all specifications and levels to track, paved areas, foot water and storm water lay-outs, etc. Unless otherwise stated. All civil works levels and structural floor levels to be built according to the Engineer's drawings. All material and construction including tolerances shall conform to the requirements of SANS 1200 - The Standard Specification for Civil Engineering Construction.
AB.1	Reinforced concrete footings, ground beams and column bases as per Structural Engineer's foundation plan and specifications. Typically install a 50mm bedding layer under all structural concrete.
AB.2	Check ground conditions before commencing with final foundation excavations. Excavation to be checked and suitability verified by the Structural Engineer prior to casting foundations. The contractor is liable to inform the Local Authority's building inspector and the principal agent of intended dates for inspecting the foundation excavations.
AB.3	Reinforced concrete surface bed and raft foundation design all in accordance with Structural Engineer's design, details, sub-base layers and specifications.
AB.4	50mm thick layer of clean builder's sand.
AB.5	Selected floor finish as per architect specification on 30mm screed layer on 25mm thick reinforced concrete floor and finish to Structural Engineer's specifications and details.
AB.10	Selected floor finish as per Architect specification on 30mm screed layer on 100mm thick concrete surface bed on 50mm fine stone concrete on 50mm thick cement stabilized sand gravel substrate over 150mm thickness G5 material compacted to 95% Mod Aasho.
AB.12	Fill Material: Selected fill material to Structural Engineer's specifications and details, well compacted and free of organic matter.
AE.1	Sliding Timber: COLLEK55 varnished Pine, Victorian Sliding. Painted with one coat of MDA5 ENVIROLE wood primer, sanded down and painted with one coat MDA5 ENVIROLE undercoat, sanded down and finished with STORING BOARD ADHESIVE or equal approved glue. Important: Allow 4 hours minimum drying time between coats. Kindly note that the complete system as specified including the Manufacturer's specific PREMABLES, are to be used or equally approved comprehensive paint system. Colour by Architect.
AE.4	Wall: Cavity filled foundation wall with brick face reinforcement spanning across the cavity at every 2nd course. Engineer to verify additional structural reinforcement requirements.
AE.5	Wall: All 270 cavity filled concrete walls to consist of brickwork bedded in class II mortar and to have staggered galvanized mesh butterfly cavity ties bedded in cement mortar - 5 ltrs per 1sqm brickwork. Spacing not to exceed 5 brick courses in height and more than 1m apart. Install 150mm wide ladder type brackets every 5 horizontal courses bedded in cement mortar. No brackwork to cross cavity. Unless otherwise specified by the engineer.
AE.6	Wall: All 270 cavity walls to consist of brickwork bedded in class II mortar and to have staggered galvanized mesh butterfly cavity ties bedded in cement mortar - 5 ltrs per 1sqm brickwork. Spacing not to exceed 5 brick courses bedded in cement mortar - with between 15mm to 30mm cover from the brickwork edge. No brackwork to cross cavity. Unless otherwise specified by the engineer.
AE.7	Custom made aluminium windows and doors with powder coating finish, applied by a certified mark regulator. All sections to receive 4000hrs powder coating and configured as per schedules. All joints are to be mechanically joined and adequately sealed with approved sealant. As far as possible all glazed aluminium doors and windows to be factory glazed and wrapped in protective plastic. All glazing to illustrate the appropriate mark to confirm type of glass used, i.e. toughened glass.
AE.8	All glazing specification with regard to maximum mass, appropriate thickness and performance to be checked and verified by a specialist. The responsibility of a competent installation (SANS, AANMA, SAGA, SAGGA, etc.) will with the main contractor and his sub-contractor.
AE.9	The contractor is to inform the aluminium manufacturer as to when the openings are ready for measurement. All dimensions to be checked and verified in situ prior to commencement of manufacture.
AH.1	Doors: All doors, door frames, furnishings, and finishing specifications as per Door Schedules.
AK.3	Ceiling: Everite Nucleo 6mm thick plain ceiling board, manufactured in accordance with SANS 9001:2000 conforming to SANS 303:2005 mark, bed to 600mm centres and 600mm ceiling using 2 x 25mm sanded ceiling nails of 150mm centres, minimum of 12mm from edge of board. All joints to be covered using H-profile with PVC jointing strips, all in accordance with the manufacturer's recommendations.
AK.4	Plaster: Interior Gypsum concrete with 15mm plaster and Gyproc Rhinoceros Ceresitone applied to concrete bases of cleaning agent are removed. Apply first coat of Gyproc plaster bonding liquid using a paint roller. Allow 4 hrs. Apply a second coat of Gyproc plaster bonding liquid using a paint roller. While the second minimum thickness of 3mm to 6mm thick and finish off with steel trowel and paint finish. Refer to Finishing Schedule.
AL.1	Insulation: Cover 150mm thick Aeroflex non-combustible light weight fibreglass glasswool thermal ceiling insulation 120mm² closely fitted with web butted finish between the beams and laid loose on top of Zone 4. R-value: 3.38m² K/W. Thermal conductivity: 0.04 W/mK. Installation to be in strict accordance with manufacturer's specifications.
AM.1	Global Roofing Solutions 0.5mm thick 3004 Charcoal Grey Aluminium gable/ridge, girth 462mm fixed in accordance with manufacturer's specifications.
AM.1.3	Global Roofing Solutions 0.5mm thick 3004 Charcoal Grey Aluminium gable/ridge, girth 462mm fixed in accordance with manufacturer's specifications.
AM.2	Global Roofing Solutions 0.5mm thick 3004 Charcoal Grey Aluminium gable/ridge, girth 462mm fixed in accordance with manufacturer's specifications.
AM.3	Concrete Waterproofing: Approved Stone Bitulast on 5 ply methacrylate protection layer on above floor. Refer to UTM-F 4 mm. Fully bonded on a bituminous primed surface on 8mm coarse sand to bed with joint isolation fabric to engineer detail using Dow Camdex DC 813 C. Allowance as per.
AU.1	Reinforced concrete structure, retaining and waterproofing specifications to Structural Engineer's drawings and specifications.
AU.4	Reinforced concrete beams as per Structural Engineer's drawings and specifications.
AU.7	Engineered timber roof trusses / rafters as per SANS 1040:2012 or FSC CCA T3 treated S.A.Pine structural timber. Timber size, configuration and connection details all as per Structural Engineer.
AU.11	Timber and Steel Structure to further detail.
AU.14	Demolish structure as shown by dashed lines. Contractor to make good all elements around demolished area and restore/paint to match existing.
AU.21	Pool waterproofing and details to Structural Engineer's details.
AV.2	BAULTRADE GLASS: 1000mm High floor (down) mounted glass balustrade with continuous stainless-steel handrail, mounted on finished floor, installed by approved specialist and to comply with AANMA and SANS 10400 PART N. Water proofing for balustrading to form part of balustrading installation works.
AT.1	Low sheen paint to interior new cement plaster. Lightly sand down all surfaces to provide smooth surfaces. Clean down all surface dust, grease and dirt. Scrape off all loose material and cement splashes. Plaster REPAIR (or similar approved) as recommended. REPAIR: All substrates must be dry before plastering. Plaster with a moisture content not exceeding 7% as measured with an approved moisture meter. For a similar approved directly to raw plastered walls. Spread rate approximately 2 - 3m²/m² depending on the of the finishing coats. Apply one coat of Midoran 190 (or similar approved) PLASTER PRIMER to prepared surfaces. Allow 12 hours drying time. Thereafter apply and apply a minimum of two coats of Midoran 240 to finish note that the complete system as specified, including the Manufacturer's specific PREMABLES, are to be used or equally approved comprehensive paint system. Colour to be selected from the Midas 300 range by Architect.

2023/12/21 10:06:01



Revision Number	Description	Date
1	Notes added to Layout and pages in boundary wall. 2. Erection of wall at ground level. Plan Added	2023-10-21

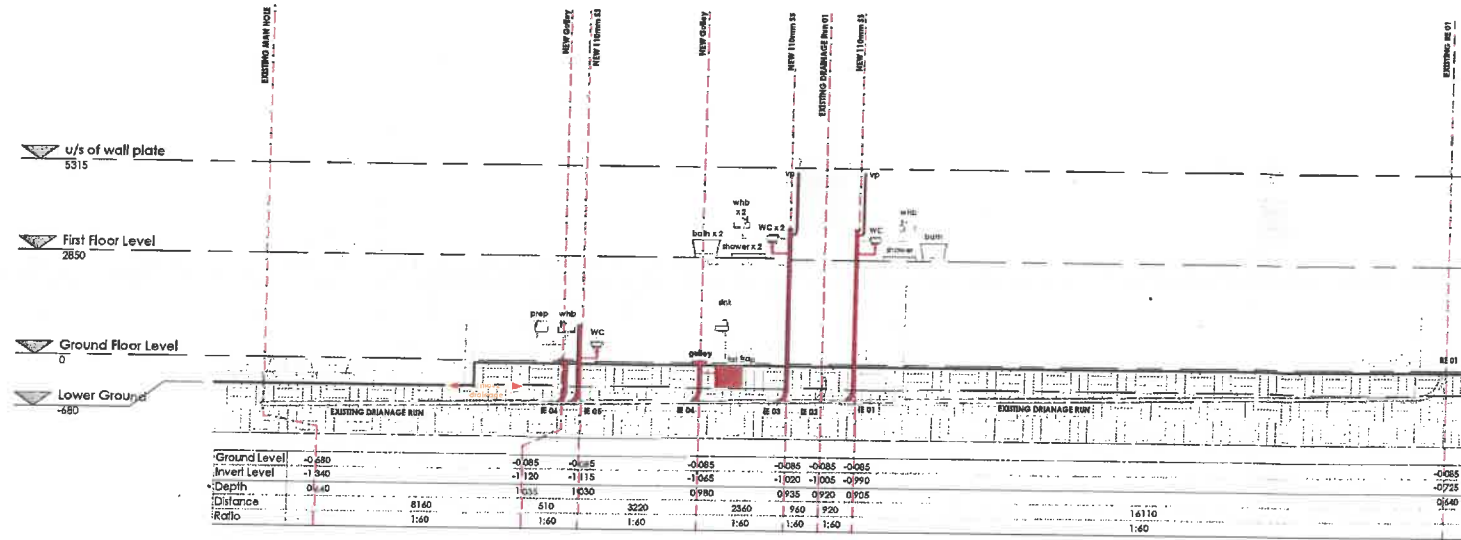
Mixed Use Zone	Area (m²)
882 m²	
277 m²	
124 m²	
401 m²	
45 m²	
452 m²	
227 m²	
679 m²	



Project	Le Petit Manoir - Franschoek
Client	Franschoek
Drawing Name	Sections 02
Date	2023-12-21
Scale	1 : 50
Drawing Reference	2221
Revision	1
Page Size	M05
	A1

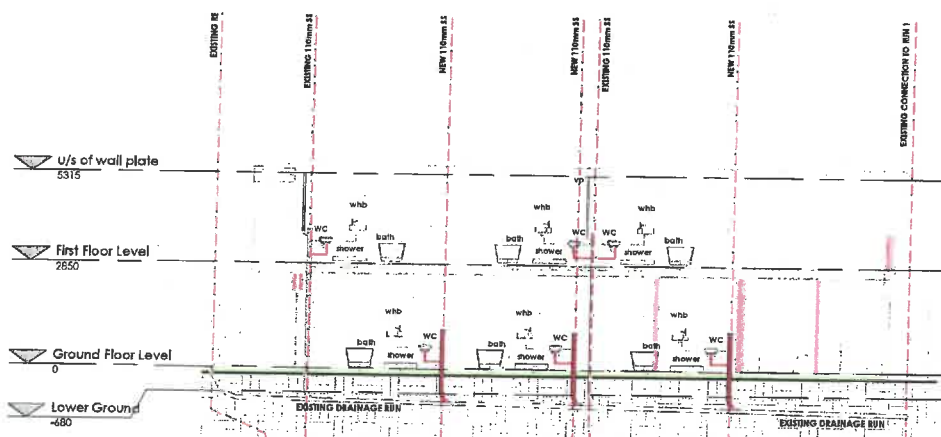
Municipal Drawings

Municipal Stamps



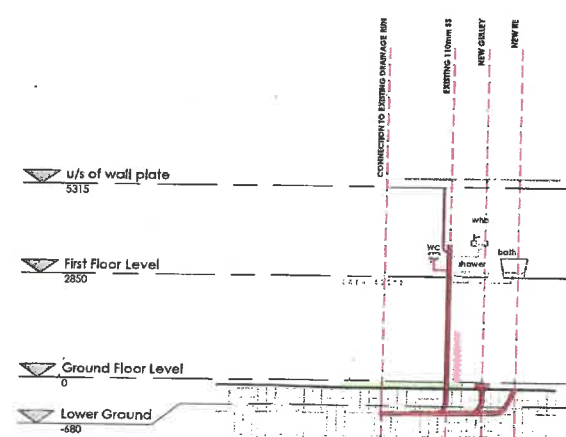
Drainage Run 01

1 : 100



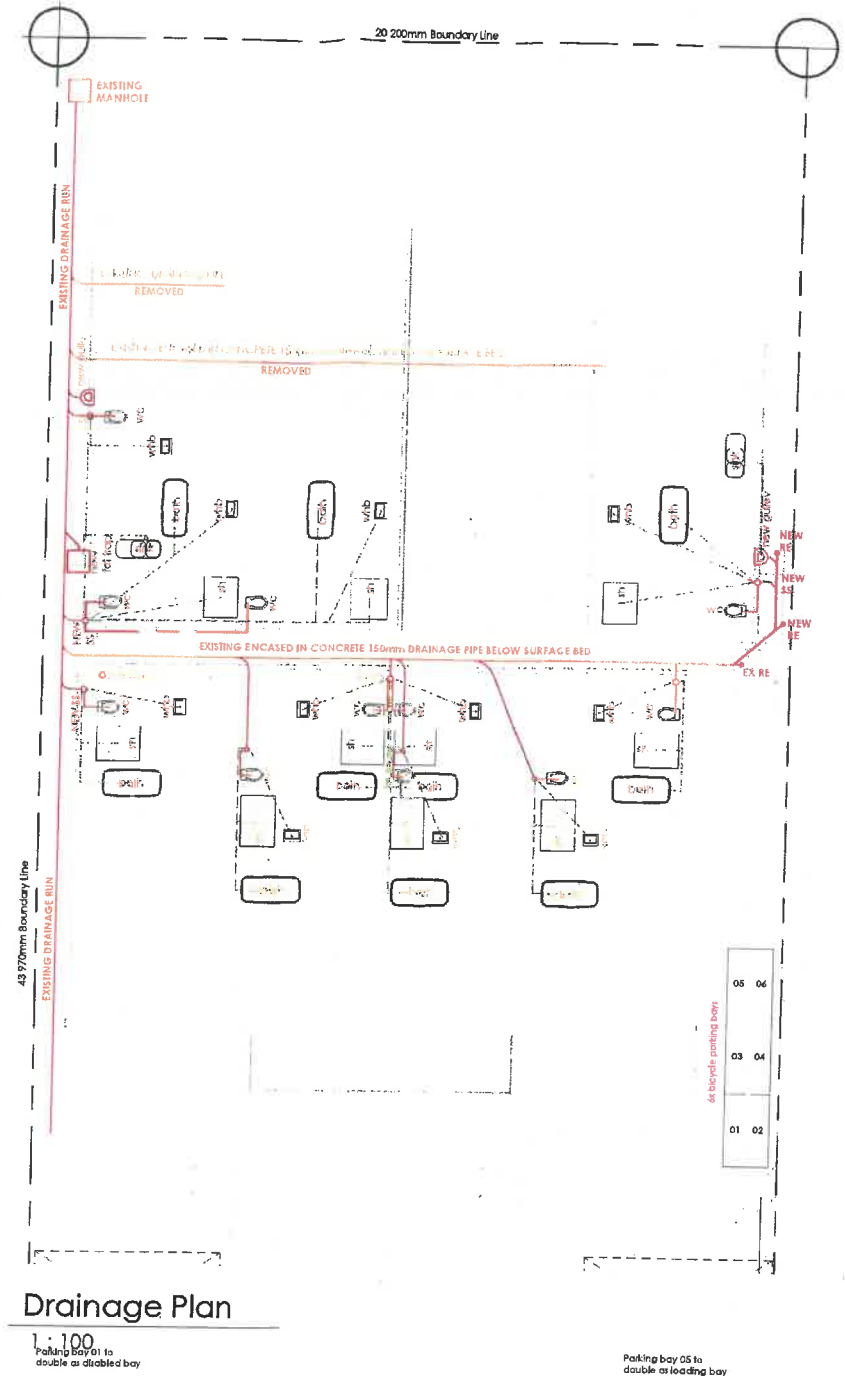
Drainage Run 02

1 : 100



Drainage Run 03

1 : 100



Drainage Plan

1 : 100  
Parking bay 05 to double as disabled bay

Construction Notes

No.	Description	Date
1	Note added to boundary and gates of boundary wall. 2. Extract has noted at pool. For plan added.	2023-09-23

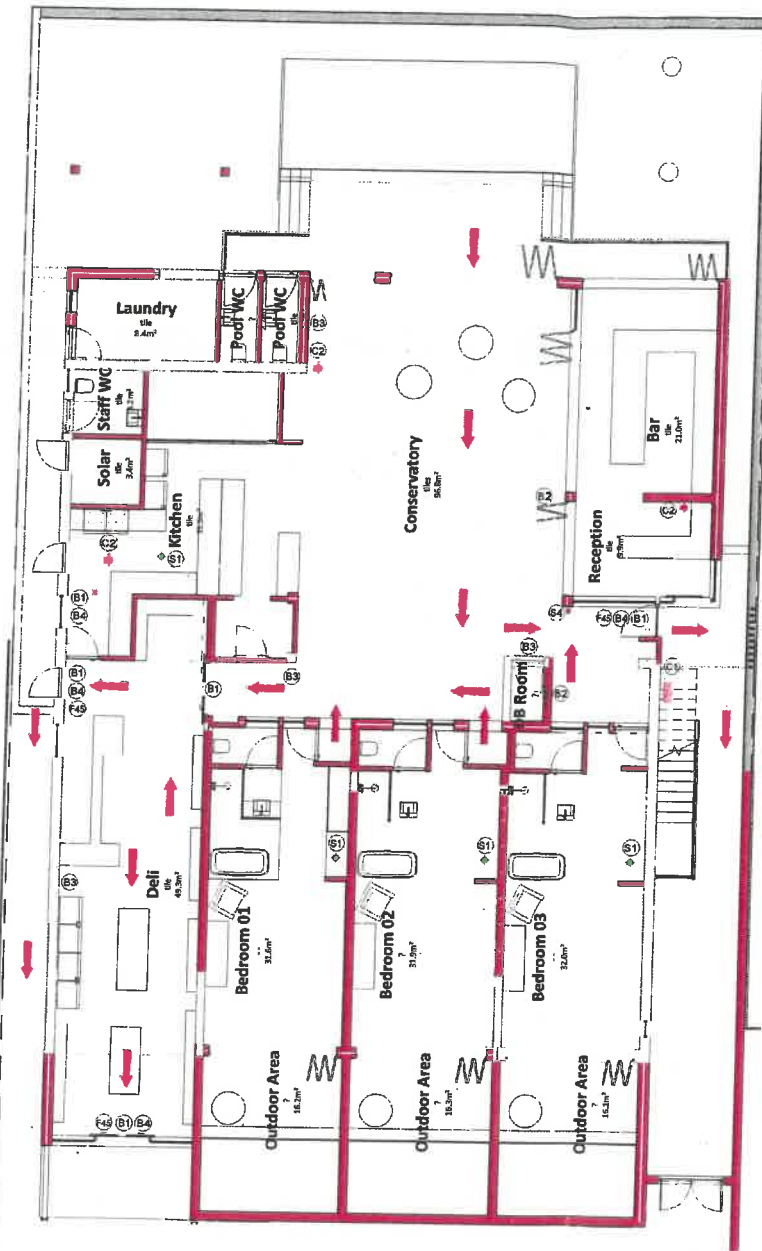
Mixed Use Zone	Total Driveway	Total Pool Area	Garage	Boundary Wall
882m	277m	124m	40m	45m
452m	227m	679m	--	--

Parking 04 08 08

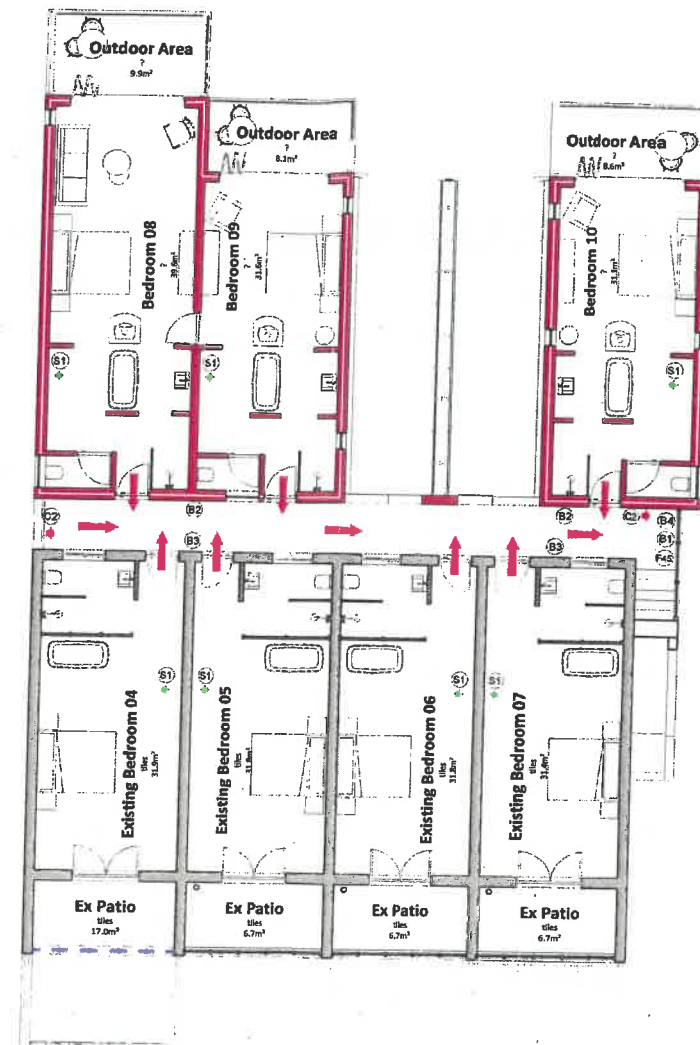
**Municipal Drawings**

Project: Petit Manoir - Franschhoek  
 Allotment: Franschhoek  
 Drawing name: Drainage  
 Date: 2023-12-21  
 Drawing Reference: 2221  
 Revision: 1  
 Scale: 1 : 100  
 Page Size: A1  
**M06**

Municipal Stamps



Fire Plan - Ground Floor  
1 : 100



Fire Plan - First Floor  
1 : 100

- WARNING / SYMBOLIC SAFETY SIGNS to be PHOTOLUMINESCENT on PVC**
- DIRECTION / FIRE ESCAPE**
- (B1) 450x900mm Signscreen on PVC Sign to be fixed to wall
  - (B2) 450x600mm Signscreen on PVC Sign to be fixed to wall
  - (B3) 450x600mm Signscreen on PVC Sign to be fixed to wall
  - (B4) 150x400mm Signscreen on PVC Sign to be fixed to ceiling
  - (B5) 150x150mm Signscreen on PVC Sign to be fixed to door
  - (B6) 150x400mm Signscreen on PVC Sign to be fixed to wall

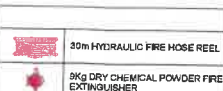
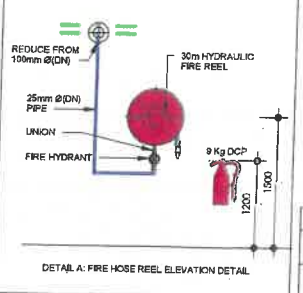
- WARNING / SYMBOLIC SAFETY SIGNS to be PHOTOLUMINESCENT on PVC**
- SIGNAGE**
- (F25) 450 x 450mm Signscreen on PVC Sign to be fixed to wall
  - (F26) 450 x 450mm Signscreen on PVC Sign to be fixed to wall
  - (F27) 450 x 450mm Signscreen on PVC Sign to be fixed to wall
  - (F33) 450 x 450mm Signscreen on PVC Sign to be fixed to wall
  - (F46) FIRE EXIT KEEP CLEAR 150 x 450mm Signscreen on PVC Sign to be fixed to wall

- WARNING / SYMBOLIC SAFETY SIGNS to be PHOTOLUMINESCENT on PVC**
- INFORMATION FIRE FIGHTING**
- (C1) 200x400mm Signscreen on PVC Sign to be fixed to wall at 2100mm from FFL
  - (C2) 200x600mm Signscreen on PVC Sign to be fixed to wall at 2100mm from FFL

- DOORS**
- (D1) 40mm Solid HardCore door fitted with self closing mechanism and thumb lock

- FIRE WATER PIPE SUPPLY**
- (R) Reducer
  - (P1) Main Water Supply - Class 15 uPVC Pipe
  - (P2) Water Supply Connection - Class 10 uPVC Pipe
  - (P3) Water Supply Connection Above ground - Hot Dip Galvanized Pipe to comply with SANS 10 783

- FIRE DETECTION / WARNING EQUIPMENT**
- (S1) Point Smoke Detector
  - (S2) Sounder / Strobe
  - (S3) Smoke Detector Replaces Panels with Plug point
  - (S4) Break Glass Panel
  - (S5) Stop-cock (Shut-off Valve)
  - Firewall



Item Number	Description	Date	Quantity	Unit	Total Quantity
1	Notes: added on boundary and gates at boundary wall. 2. Extra fan noted at roof. Fire plan added.	2023-06-25			

**Municipal Drawings**

Drawing name: Fire Plan  
 Date: 2023-12-21  
 Drawing Reference: 2221  
 Revision: 1  
 Scale: As indicated  
 Page Size: A1

Project: Le Petit Manoir - Franschoek  
 Client: Franschoek  
 Architect: J. Pretorius  
 Registration Number: ESAT 24/22/359

**Annexure C:**

Comments Directorate:  
Infrastructure Services (Principal  
Technician: Development)



**STELLENBOSCH MUNICIPALITY**  
STELLENBOSCH · PNIEL · FRANSCHHOEK

# MEMORANDUM

**DIREKTORAAT: INFRASTRUKTUURDIENSTE**  
**DIRECTORATE: INFRASTRUCTURE SERVICES**

**CIVIL ENGINEERING SERVICES**

---

**To ▫ Aan:** Director: Planning + Economic Development  
**Att Aandag:** Nicole Katts  
**From ▫ Van:** Principal Technician: Development (Infrastructure Services)  
**Author ▫ Skrywer:** Ilze Fillies  
**Date ▫ Datum:** 21 December 2023  
**Our Ref ▫ Ons Verw:** Civil LU 2582  
**Town Planning Ref:** LU/15864 – TP428/2023  
**Re ▫ Insake:** Erf 1612, Franschhoek: Application for departure in terms of Section 15(2)(b) of the Stellenbosch Municipality: By-law on Municipal Land Use Planning 2023; 1. to relax the common boundaries adjacent or Erf 1611, 149 and 167, Franschhoek from 4.5m to 1m on ground and first floor, and 2. to departure from the parking requirements to provide 8 parking bays instead of 9 parking bays, with a subsequent shortfall of 1 parking bay on erf 1612, Franschhoek.

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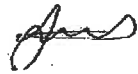
The application is recommended for approval, subject to the following conditions:

This approval is based on the revised building plan Le Petit Manor Site plan Rev 4 drawing reference 2221 dated 21 December 2023.

1. **Civil Engineering services**
  - 1.1 No objection, no municipal services are affected.

**2. Development Charges (DCs)**

- 2.1 The following DC's are payable: See **Development Charge Calculation** attached. Please note that this calculation is indicative at this stage and will be amended based on the detail information provided on subsequent applications ie building plans.
- 2.2 The DC's were calculated by using the 2023/2024 tariff structure. If DC's are paid after 30 June 2024 it will have to be recalculated by using the tariff structure and DC Policy principles applicable at date of payment.
- 2.3 The appropriate DC's are payable before building plan approval or if Building plans are not applicable, then the appropriate DC's are payable before the facility is put to its approved use

**Ilze Fillies****Principal Technician: Development (Infrastructure Services)**

N:\2.0 DEVELOPMENT\01 Land Use applications\2582 (IF) Erf 1612 Franschoek (LU-15864 TP-428-2023)\2582 Erf 1612 Franschoek (LU-15864 TP-428-2023) - Copy.doc



# Stellenbosch Municipality

## Development Charge Calculation



Application Number:	2582 (IF) Erf 1812 Franschoek (LU-15864 TP-428-2023)
Development Name:	
Date:	21 December 2023
Financial Year:	2023/2024
Erf Location (Select from 7 Locations):	Franschoek
Erf Region (Select Urban or Rural):	Urban
Erf No. / Farm No.:	1812
DC Parameters Reference:	Site plan Rev 4 Drawing Reference 2221 by Juan Pretorius architecture dated 21 December 2023

Service:	Water	Sewer	Stormwater	Solid Waste	Roads & Transport	Sub-Total (Civil Eng Services)	Community	Totals
Unit(s):	l/day	l/day	ha°C	l/week	trips/day		persons	
Total Increased Services Usage:	1,32	1,08	0,024	0,09	19,5		6	
Total Service Usage Reduction:	0	0	0	0	0,0		0	
Total Service Usage after Reduction:	1,32	1,08	0,02400	0,090	19,5		6	
Charges before adjusting for positive only, before Deductions	R 39 185,16	R 39 272,59	R 3 827,04	R 8 803,05	R 151 233,64	R 242 121,48	R 23 145,46	R 265 266,94
Charges adjusted for positive only, before Deductions	R 39 185,16	R 39 272,59	R 3 827,04	R 8 803,05	R 151 233,64	R 242 121,48	R 23 145,46	R 265 266,94
Total Deductions:	R -	R -	R -	R -	R -	R -	R -	R -
Total Development Charges Payable (excluding VAT):	R 39 185,16	R 39 272,59	R 3 827,04	R 8 803,05	R 151 233,64	R 242 121,48	R -	R 265 266,94
VAT:	R 5 877,77	R 5 890,89	R 544,06	R 1 320,46	R 22 695,05	R 36 318,22	R -	R 39 790,04
Total Development Charges Payable (including VAT):	R 45 062,93	R 45 163,48	R 4 171,10	R 10 123,50	R 173 918,68	R 278 439,70	R -	R 305 056,98

Application Processed by: Ize Filles

Signature:

Notes:



Land Use Category	Unit Type	Existing Usage		Proposed New Usage		Increased Usage Amount	Water	Sewer	Stormwater	Development Charge Levied (excl VAT)		Sub Total (Civil Eng Services)	Community	Total
		Unit Amount	Area (m2)	Unit Amount	Area (m2)					Solid Waste	Roads & Transport			
Residential	Single Residential >100m2	du				0	R	R	R	R	R	R	R	R
	Single Residential >500m2	du				0	R	R	R	R	R	R	R	R
	Single Residential <250m2	du				0	R	R	R	R	R	R	R	R
	Second Dwelling	du				0	R	R	R	R	R	R	R	R
	Less Formal Residential	du				0	R	R	R	R	R	R	R	R
	Group Residential	du				0	R	R	R	R	R	R	R	R
	Apartments	du				0	R	R	R	R	R	R	R	R
	Retirement Village	du				0	R	R	R	R	R	R	R	R
	Old age home	du				0	R	R	R	R	R	R	R	R
	Student Accommodation/Commune/Hostels	rooms				0	R	R	R	R	R	R	R	R
Accommodation	Guest House	rooms				0	R	R	R	R	R	R	R	R
	Converted Guest House	rooms				0	R	R	R	R	R	R	R	R
	Hotel, Residential	rooms				0	R	R	R	R	R	R	R	R
	General Business	rooms				0	R	R	R	R	R	R	R	R
	Office	m2 GLA				0	R	R	R	R	R	R	R	R
	Retail/Shop	m2 GLA				0	R	R	R	R	R	R	R	R
	Restaurant	m2 GLA				0	R	R	R	R	R	R	R	R
	Outdoor Function / Picnic Area	persons				0	R	R	R	R	R	R	R	R
	Conference Facility/Place of assembly	m2 GLA				0	R	R	R	R	R	R	R	R
	Hospital/Clinic/Medical Rooms	m2 GLA				0	R	R	R	R	R	R	R	R
Commercial	University/College	student				0	R	R	R	R	R	R	R	R
	School/Day Care	student				0	R	R	R	R	R	R	R	R
	Industrial - light	m2 GLA				0	R	R	R	R	R	R	R	R
	Industrial - heavy	m2 GLA				0	R	R	R	R	R	R	R	R
	Warehousing/Light Manufacturing	m2 GLA				0	R	R	R	R	R	R	R	R
	Storage Facilities	unit				0	R	R	R	R	R	R	R	R
	Open Space/Natural Environment/Utility Site	ha				0	R	R	R	R	R	R	R	R
	Roads and Parking	ha				0	R	R	R	R	R	R	R	R
	To be calculated	ha				0,0000	R	R	R	R	R	R	R	R
	(Based on equivalent demands)	ha				0,0000	R	R	R	R	R	R	R	R
Total Area:		0												

Category	Charges before adjusting for positive only, before Deductions	Charges adjusted for positive only, before Deductions	Deductions per service (from usage reductions)	Discount Deduction (%)	Additional Deduction per service - from Service Agreement (sum)	Sub Total after Adjustments and Deductions (excluding VAT)	VAT	Total Development Charges
Deduct	R 38 185,16	R 38 272,59	R 3 627,04	R 8 803,05	R 151 233,64	R 242 121,48	R 23 145,46	R 265 266,94
Total	R 38 185,16	R 38 272,59	R 3 627,04	R 8 803,05	R 151 233,64	R 242 121,48	R 23 145,46	R 265 266,94
Percentage: 0,00%								
Total Development Charges								

**Annexure D:**

Comments Directorate:  
Infrastructure Services (Electrical  
Engineering Section)

Nicole  
**Charlene Williams**



**From:** Nicole Katts  
**Sent:** Wednesday, 20 September 2023 09:26  
**To:** Charlene Williams  
**Subject:** FW: LAND USE APPLICATION FOR COMMENT: ERF 1612 FRANSCHHOEK - ELECTRICAL SERVICES

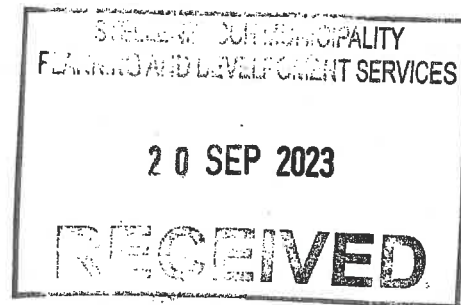
Hi Charlene

Plaas asb op leer vir my aandag.



*Kind regards / Vriendelike Groete*  
**Nicole Katts**  
Administrative Officer  
Development Management  
Planning & Economic Development

T: +27 21 808 8318  
NPK Building, 20 Plein Street  
Stellenbosch, 7600  
[www.stellenbosch.gov.za](http://www.stellenbosch.gov.za)



FILE NR:	<del>OUTCOME POST</del>
	218 1612 FH
SCAN NR:	
COLLABORATOR NR:	756473

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[http://www.stellenbosch.gov.za/main\\_pages/disclaimerpage.htm](http://www.stellenbosch.gov.za/main_pages/disclaimerpage.htm)

**From:** Martin Slabber <Martin.Slabber@stellenbosch.gov.za>  
**Sent:** Wednesday, 20 September 2023 09:20  
**To:** Nicole Katts <Nicole.Katts@stellenbosch.gov.za>; Bradley Williams <Bradley.Williams@stellenbosch.gov.za>  
**Subject:** RE: LAND USE APPLICATION FOR COMMENT: ERF 1612 FRANSCHHOEK - ELECTRICAL SERVICES

**GENERAL: NONE**

**CONDITIONS:** If any electrical services must move, remove, change or upgrade – apply via recoverable cost application, for applicants cost.  
Subject to SANS 10142,204-1-2008, energy savings and efficiency implementation and Municipal bylaws – Only existing electrical connection is available.

1. Installation of 10A electrical control units
2. Solar water heating/heat pump installation
3. Energy efficient lightning
4. Roof insulation
5. Cooking with gas fired appliances
6. Control air condition equipment with energy saving devices.
7. Preheat at least 50% of hot water with alternative energy savings devices.

TX


Groete:  
Martin Slabber  
Sin. Supt. Dwarsrivier Elect.  
Engineering Services

---



[Martin.slabber@stellenbosch.gov.za](mailto:Martin.slabber@stellenbosch.gov.za)  
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 [www.facebook.com/stellenboschmunicipality](http://www.facebook.com/stellenboschmunicipality)

 [twitter.com/StellMun](https://twitter.com/StellMun)  
Huguenote Road 23 Franschhoek 7690  
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PO Box 17, Stellenbosch, 7599

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Published at the following link: <http://www.stellenbosch.gov.za/main/pages/disclaimerpage.htm>

**From:** Nicole Katts <[Nicole.Katts@stellenbosch.gov.za](mailto:Nicole.Katts@stellenbosch.gov.za)>  
**Sent:** Wednesday, 20 September 2023 08:58  
**To:** Bradley Williams <[Bradley.Williams@stellenbosch.gov.za](mailto:Bradley.Williams@stellenbosch.gov.za)>; Martin Slabber  
<[Martin.Slabber@stellenbosch.gov.za](mailto:Martin.Slabber@stellenbosch.gov.za)>  
**Subject:** LAND USE APPLICATION FOR COMMENT: ERF 1612 FRANSCHHOEK - ELECTRICAL SERVICES

Good day;

Please find attached the relevant documentation regarding the abovementioned application.  
Kindly furnish me with your comment by email, if any, in order to enable me to submit the  
application to the decision making authority for consideration.

**ERF / FARM NUMBER & APPLICATION NUMBER:** Erf 1612, Franschhoek (LU/15864)(TP428/2023)

**DESCRIPTION OF THE PROPOSAL:**

Application for departure in terms of Section 15(2)(b) of the Stellenbosch Municipality: By-law on Municipal Land Use Planning 2023;

1. to relax the common boundaries adjacent or Erf 1611, 149 and 167, Franschhoek from 4.5m to 1m on ground and first floor, and
2. to departure from the parking requirements to provide 8 parking bays instead of 9 parking bays, with a subsequently shortfall of 1 parking bay on erf 1612, Franschhoek.

**APPLICANT:** Juan Pretorius – Juan Pretorius Architecture

**PROPERTY ADDRESS:** 54 Huguenot Street, Franschhoek

Please note that your comments must be submitted on or before 20 October 2023 from the date of this email.



*Kind regards / Vriendelike Groete*  
**Nicole Katts**  
Administrative Officer  
Development Management  
**Planning & Economic Development**

---

T: +27 21 808 8318  
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