



Application Number: LU/14281

Our File Reference Number: Erf 15595, Stellenbosch

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 808 8682

Email address: Ulrich.Vonmolendorff@stellenbosch.gov.za

PER E-MAIL: [REDACTED]

Sir/Madam,

APPLICATION FOR CONSENT USE ON ERF 15595, STELLENBOSCH

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:

2.1 That the application in terms of Section 15(2)(o) of the Stellenbosch Municipality Land Use Planning By-Law, promulgated by notice number 354/2015, dated 20 October 2015 for Consent Use in order to operate a commune accommodating a maximum of (3) three boarders in the existing dwelling house on Erf 15595, Stellenbosch;

BE APPROVED in terms of Section 60 of the said Bylaw, subject to conditions of approval in terms of Section 66 of the said Bylaw.

3. Conditions of Approval:

- 3.1 The approval applies only to the Consent Use under consideration as indicated on the referenced First Floor Plan with Project No. PP623/07-2, drawn by Botha and dated 26.09.07, and Parking Layout Plan with Project No. PP623/07-1, drawn by Botha and dated 7 July 2022, attached as **Annexure C** and shall not be construed as authority to depart from any other legal prescriptions or requirements from Council or other legislation or Bylaws or Regulations that may be applicable.

3.2 The development must be undertaken in accordance with the referenced First Floor Plan with Project No. PP623/07-2, drawn by Botha and dated 26.09.07, and Parking Layout Plan with Project No. PP623/07-1, drawn by Botha and dated 7 July 2022, attached as **Annexure C**.

3.3 The approval granted shall not exempt the applicant from complying with any other legal prescriptions or requirements that might have a bearing on the use.

3.4 The establishment may not cause public nuisance (traffic & noise) to the adjacent and adjoining property owners and may not interfere with their rights.

3.5 The number of bedrooms available to boarders be restricted to 3 bedrooms and the number of boarders may not exceed 3 individuals.

3.6 At least one on-site parking bay must be provided per boarder, as indicated on the Parking Layout Plan with Project No. PP623/07-1, drawn by Botha and dated 7 July 2022, attached as **Annexure C**.

3.7 No parking may encroach on the road reserve, all parking must occur on the erf.

4. Matters to be noted:

4.1 Any changes to existing municipal infrastructure due to this application will be for the account of the owner.

5. The reasons for the above decision are as follows:

5.1 The potential negative impacts that the combined activities of 3 boarders will have on surrounding properties will be comparable with that of a single family of the same size, or even less in the case of larger families.

5.2 Engineering services are unaffected and sufficient off-street parking is provided for 3 boarders.

6. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.

7. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:

(a) The personal particulars of the Appellant, including:

- (I) First names and surname;
- (II) ID number;
- (III) Company of Legal person's name (if applicable)
- (IV) Physical Address;
- (V) Contact details, including a Cell number and E-Mail address;

(b) Reference to this correspondence and the relevant property details on which the appeal is submitted.

(c) The grounds of the appeal which may include the following grounds:

- (i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);
- (ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.

(d) whether the appeal is lodged against the whole decision or a part of the decision;

(e) if the appeal is lodged against a part of the decision, a description of the part;

(f) if the appeal is lodged against a condition of approval, a description of the condition;

(g) the factual or legal findings that the appellant relies on;

(h) the relief sought by the appellant; and

(i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;

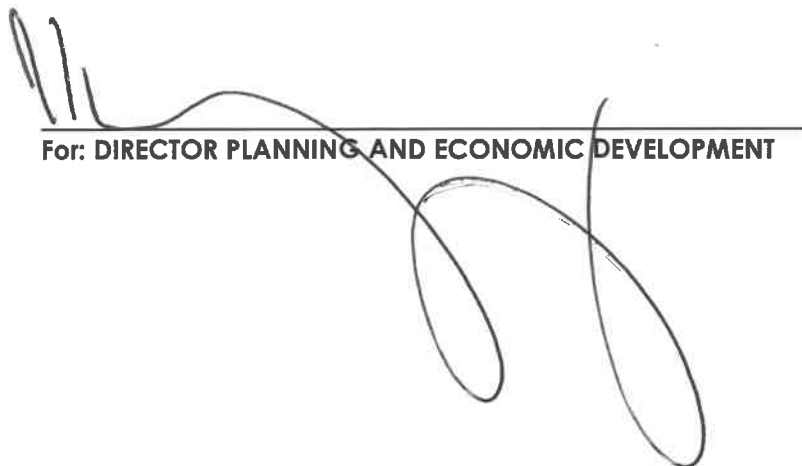
(j) That the appeal includes the following declaration by the Appellant:

- (i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct

- (ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.
8. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address: landuse.appeals@stellenbosch.gov.za
9. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.
10. The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking details for the General Account can also be accessed on the municipal website (<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).
11. An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
- (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
 - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
 - (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
 - (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.
12. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

13. Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully



A handwritten signature in black ink, consisting of several loops and a long horizontal stroke, positioned above a solid horizontal line.

For: DIRECTOR PLANNING AND ECONOMIC DEVELOPMENT

30/9/2022.
DATE:



STELLENBOSCH
STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNICIPALITY • UMASIPALA • MUNISIPALITEIT

ANNEXURE C

SITE PLAN

DENNIS MOSS VEY, ING ROEBRUEUR
 TEL. (021) 887 0124
 FAKS. (021) 886 5383
 REG NR. 1990/04/08/21

ESTERESE DOEDMEURING
 Omskrywing van die ontwerp van die gebou se struktuur en die materiaalkeuses. Die tekening is 'n voorbeeld van 'n tekening wat gebruik word vir die goedkeuring van die ontwerp deur die OORLIGTOEGELIETE AMPT. Die tekening is 'n voorbeeld van 'n tekening wat gebruik word vir die goedkeuring van die ontwerp deur die OORLIGTOEGELIETE AMPT.

1. Copyright and right of reproduction in this drawing or any portion thereof is reserved by the architect/engineer.
2. The drawing is to be used only for the project and site mentioned herein.
3. The contractor is responsible for correct siting of the works, all external and internal walls, and all other matters.
4. Contractor to verify all levels, heights and dimensions on site and to check before starting the concrete work.
5. Contractor to ensure that all concrete is cast in the correct form and to the correct depth.
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pretplan

BOUPLANNE BUILDING PLANS

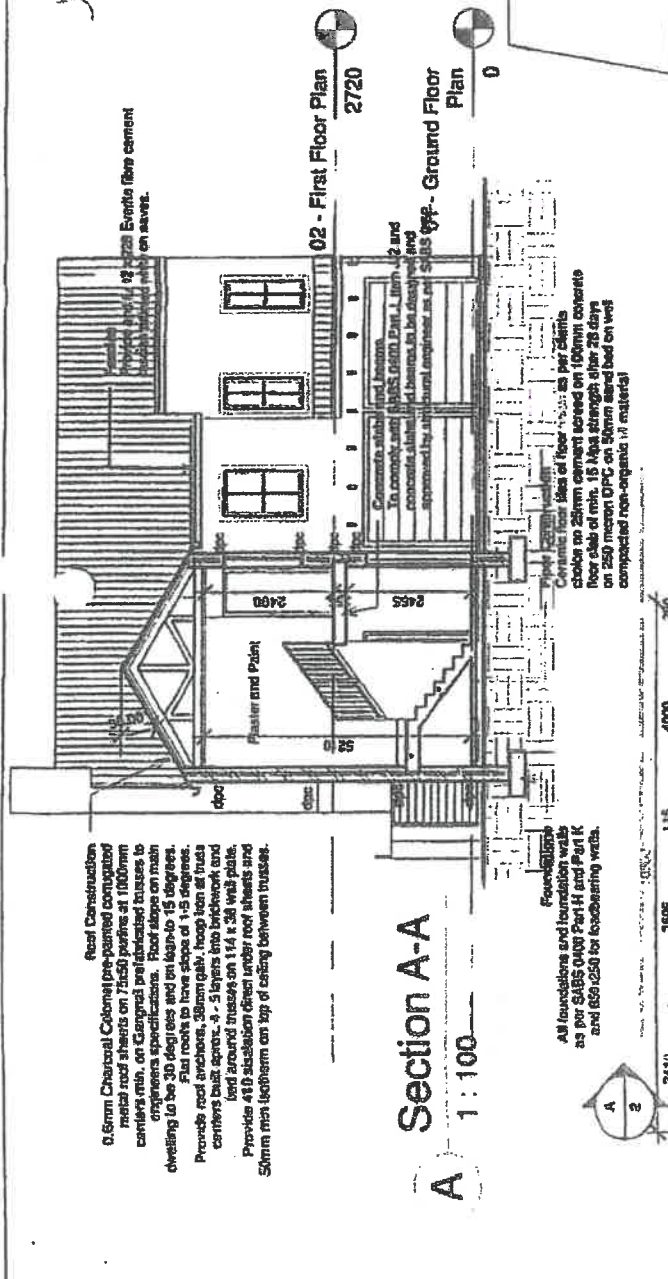
Green Oaks Trust
 Proposed New Dwelling on
 Erf 15585, Weigevanden,
 Stellenbosch

Sheet Description

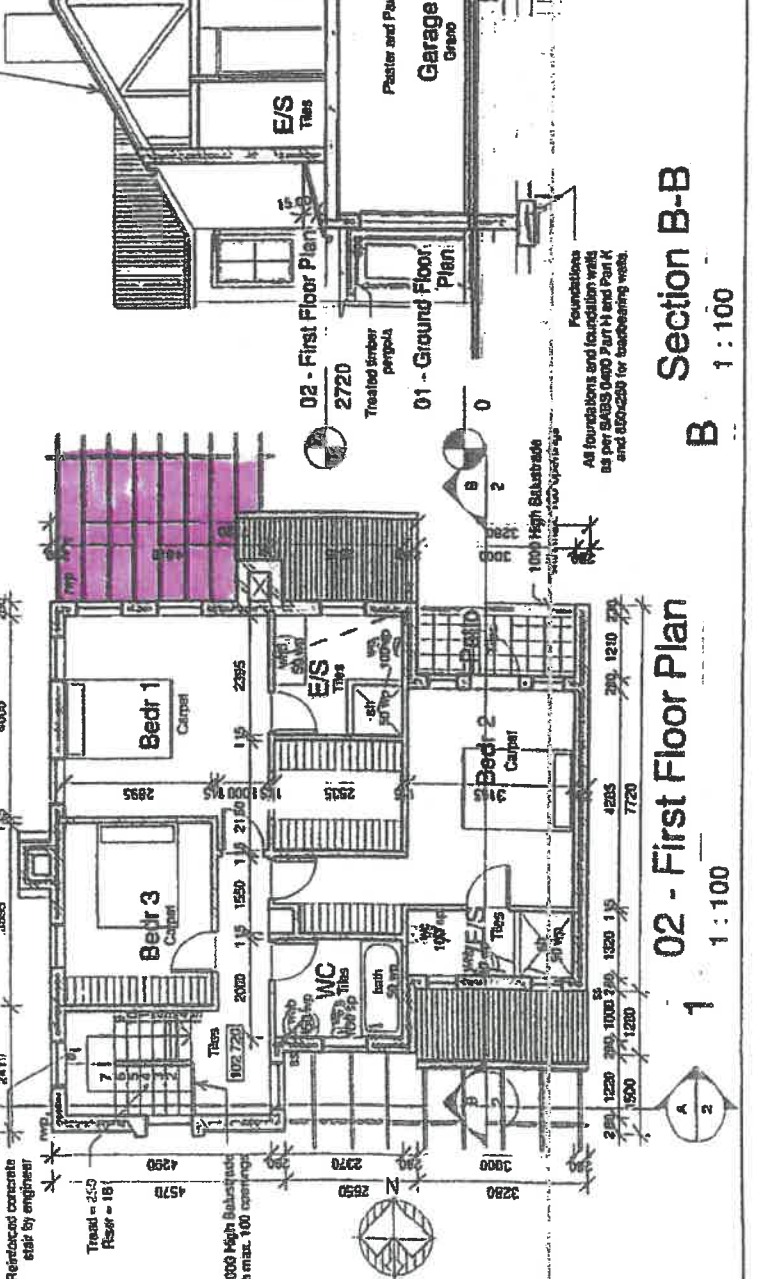
First Floor Plan Sections

Project Number	PP623/07
Sheet	2
Scale	1 : 100
Date	26.09.07
Drawn by	Bolha

REGISTERED ARCHITECT
SUBMITTED
 REGULATORY CONTROL



Section A-A
 1 : 100



02 - First Floor Plan
 1 : 100

Section B-B
 B 1 : 100

Roof Construction
 0.6mm Charcoal Colored pre-painted corrugated metal roof sheets on 75x50 purlins at 1000mm centres min. on Gypsum prefabricated trusses to engineering specifications. Roof slope on main dwelling to be 30 degrees and on 14x15 degrees. Flat roofs to have slope of 1:5 degrees. Provide roof anchors, 38mm galv. hoop iron at truss centers built approx. 4 - 5 layers into battenwork and level around trusses on 114 x 38 wall plate. Provide 410 stainless steel under roof sheets and 50mm min battens on top of ceiling between trusses.

Fascias
 Provide and fix 12 x 228 Events fire cement fascias painted white on eaves.

1000 High Balustrade
 1000 High Balustrade with max. 100 openings

Concrete slabs and beams
 To comply with SABS 0400 Part H and Part K. All foundations and foundation walls to be per SABS 0400 Part H and Part K and 650-250 for walling walls.

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Foundations
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