



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/13309

Our File Reference Number: Erf 15514, Stellenbosch

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 808 8682

Email address: Ulrich.Vonmolendorff@stellenbosch.gov.za

PER E-MAIL [REDACTED]

Sir/Madam

APPLICATION FOR DEPARTURE: ERF 15514, WELGEVONDEN, STELLENBOSCH

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:

2.1 That the application for a departure on Erf 15514, Cnr of Froetang Street & Welgevonden Blvd, Welgevonden Estate – Stellenbosch in terms of Section 15(2)(b) of the Stellenbosch Municipal Land Use Planning Bylaw 2015 in order:

2.1.1 To increase the height of the existing solid street boundary wall from 1.2m to 1.7m

BE APPROVED in terms of Section 60 of the said Bylaw and subject to conditions of approval.

2.2 The approval is subject to the following conditions imposed in terms of Section 66 of said Bylaw:

2.2.1 The approval will lapse if not implemented/confirmed within five years from the date of final notification of approval of the application.

2.2.2 The approval only applies to the proposed departure under consideration and shall not be construed as authority to depart from any other legal prescriptions or requirements from Council or other legislation or Bylaws or Regulations that may be applicable.

2.2.3 The development must be undertaken generally in accordance with the site plan as referenced Drawing No. A100 – A105, Drawn by Laryssa Theron, dated 09/07/21 and attached as **Annexure C**.

2.2.4 The approval granted shall not exempt the applicant from complying with any other legal prescriptions or requirements that might have a bearing on the proposed use.

2.2.5 The approval granted shall not be contradictory to any other legislation which has a bearing on the use of the property and that should any other legislation be applicable and be more restrictive then the most restrictive conditions will apply.

2.2.6 Building plans must be generally in accordance with the site plan / floor layout plan as referenced Drawing No. A100 – A105, drawn by Laryssa Theron, dated 09/07/21 and attached as **Annexure C**.

2.3 The reasons for the above decision are as follows:

2.3.1 The scale and nature of the proposed development will not compromise the existing character of the surrounding area.

2.3.2 The proposed boundary wall will fit in with the character of the existing residential area and will not interfere with the sight lines of vehicles entering or leaving the property or that of passing traffic.

3. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.

4. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:

(a) The personal particulars of the Appellant, including:

- (I) First names and surname;
- (II) ID number;
- (III) Company of Legal person's name (if applicable)
- (IV) Physical Address;

(V) Contact details, including a Cell number and E-Mail address;

(b) Reference to this correspondence and the relevant property details on which the appeal is submitted.

(c) The grounds of the appeal which may include the following grounds:

(i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);

(ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.

(d) whether the appeal is lodged against the whole decision or a part of the decision;

(e) if the appeal is lodged against a part of the decision, a description of the part;

(f) if the appeal is lodged against a condition of approval, a description of the condition;

(g) the factual or legal findings that the appellant relies on;

(h) the relief sought by the appellant; and

(i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;

(j) That the appeal includes the following declaration by the Appellant:

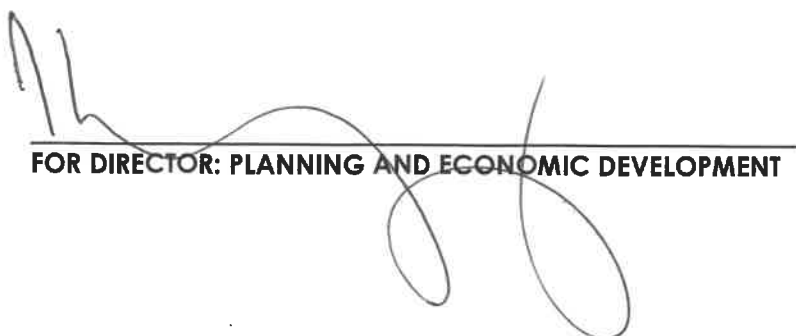
(i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct

(ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.

5. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address: landuse.appeals@stellenbosch.gov.za

6. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.
7. The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking details for the General Account can also be accessed on the municipal website (<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).
8. An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
 - (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
 - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
 - (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
 - (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.
9. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.
10. Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully


FOR DIRECTOR: PLANNING AND ECONOMIC DEVELOPMENT

20/7/2022
DATE:

PROJECT IDENTIFICATION:

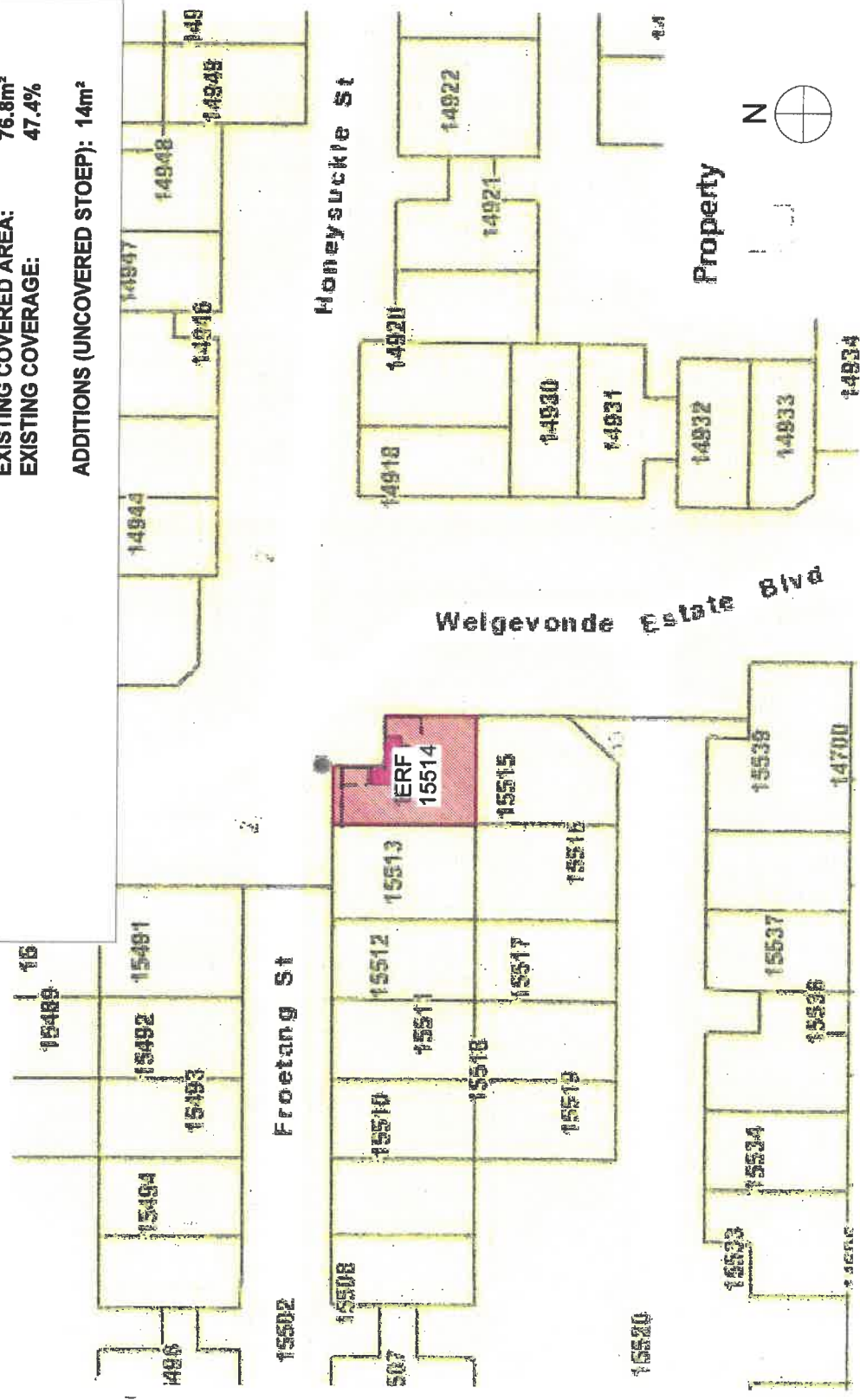
ADDRESS: 1 Freetang Street, Welgevonden
ERF: 15514
ZONING: GROUP HOUSING
SITE AREA: 162m²

AREAS:
EXISTING GROUND FLOOR AREAS:
DWELLING 57.9m²
GARAGE 18.9m²
TOTAL 76.8m²

EXISTING FIRST FLOOR AREAS:
DWELLING 58.8m²
TOTAL 58.8m²

EXISTING TOTAL FLOOR AREA: 135.6m²
EXISTING COVERED AREA: 76.8m²
EXISTING COVERAGE: 47.4%

ADDITIONS (UNCOVERED STOEP): 14m²



COUNCIL NOTES

GENERAL:
 1. ALL WORK TO BE DONE IN ACCORDANCE WITH SANS 10400
 2. SANS 10400 TO BE SATISFIED PER MEANS SPECIFIED IN SCHEDULE A AND B, SANS 10400-A: FORM 1.
 3. DO NOT SCALE. REFER ONLY TO PROVIDED DIMENSIONS.
 4. LEVELS, DIMENSIONS, GRADIENTS AND STEPS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
STRUCTURAL DESIGN:
 5. IF NO STRUCTURAL ENGINEER HAS BEEN APPOINTED ACCORDING TO FORM 1, THE STRUCTURAL SYSTEM TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400 PARTS H, J, K, L, M, N AND O IN THE CASE OF TIMBER BUILDINGS WITH SANS 10082.
 6. ALL FOUNDATIONS TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400 PARTS 1, 2, 3 AND 4.
 7. PROVISION OF SANITARY FACILITIES DURING CONSTRUCTION TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-D.
 8. ALL FINISHES TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-P.
 9. ALL DEEP FOOTINGS, SOIL RAFTS, COMPACTED AND SUB-SURFACE DRAINAGE ACCORDING TO CIVIL ENGINEER'S DETAILS UNLESS OTHERWISE SPECIFIED IN FORM 1.
 10. STRUCTURAL STRENGTH AND STABILITY OF WALLS TO BE CONSTRUCTED IN STANDARD SIZE APPROVAL UNLESS OTHERWISE SPECIFIED IN FORM 1.
 11. ALL CLAY MASONRY OR CONCRETE BLOCK WALLS TO BE CONSTRUCTED IN STANDARD SIZE CLAY BRICKS OR STANDARD SIZE CONCRETE BLOCKS.
ROOFS:
 12. ROOFS COVERINGS WATERPROOFING SYSTEMS, AND FLAT ROOFS, GUTTERS AND DOWN PIPES TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-L AND SANS 10400-R UNLESS OTHERWISE SPECIFIED IN FORM 1.
 13. FIRE RESISTANCE AND COMBUSTIBILITY OF ROOF AND CEILING ASSEMBLY TO COMPLY WITH FIRE ENGINEER'S REQUIREMENTS UNLESS OTHERWISE SPECIFIED IN FORM 1.
HEALTH & PUBLIC SAFETY:
 14. CHANGES IN LEVEL, RAMPS, DRIVEWAYS, AND ACCESS TO SWIMMING POOLS TO COMPLY WITH SANS THE DETAIL REQUIREMENTS OF SANS 10400-D UNLESS OTHERWISE SPECIFIED IN FORM 1.
 15. STOREROOMS & DISCONNECTING LOBBIES TO ALL TOILETS TO BE INDEPENDENTLY AND SEPARATELY VENTILATED IN COMPLIANCE WITH SANS 10400-O.
 16. THE DESIGN OF ALL SANITARY FACILITIES FOR PEOPLE WITH DISABILITIES IS IN ACCORDANCE WITH SANS 10400-S UNLESS OTHERWISE SPECIFIED IN FORM 1.
DRAINAGE & STORMWATER:
 17. DRAINAGE SYSTEM TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-P UNLESS OTHERWISE SPECIFIED IN FORM 1.
 18. STORMWATER DISPOSAL TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-R UNLESS OTHERWISE SPECIFIED IN FORM 1.
MATERIALS AND FINISHES:
 19. MATERIALS AND FINISHES AS INDICATED ON THE DRAWINGS, MATERIAL NOTES AND/OR FINISHES SCHEDULES.
 20. INTERIOR WALLS TO BE PLASTERED AND PAINTED UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.

Rev	Description	Date
A	Rev A_Existing boundary wall position	20210517
B	Rev B_Erf Boundaries_Concrete Steep	20210625

Client
Jacques Ferreira
JF Colleen Harrison

Project
Alterations and Additions to 1 Freetang Street, Welgevonden, Stellenbosch

Drawing
Locality Plan

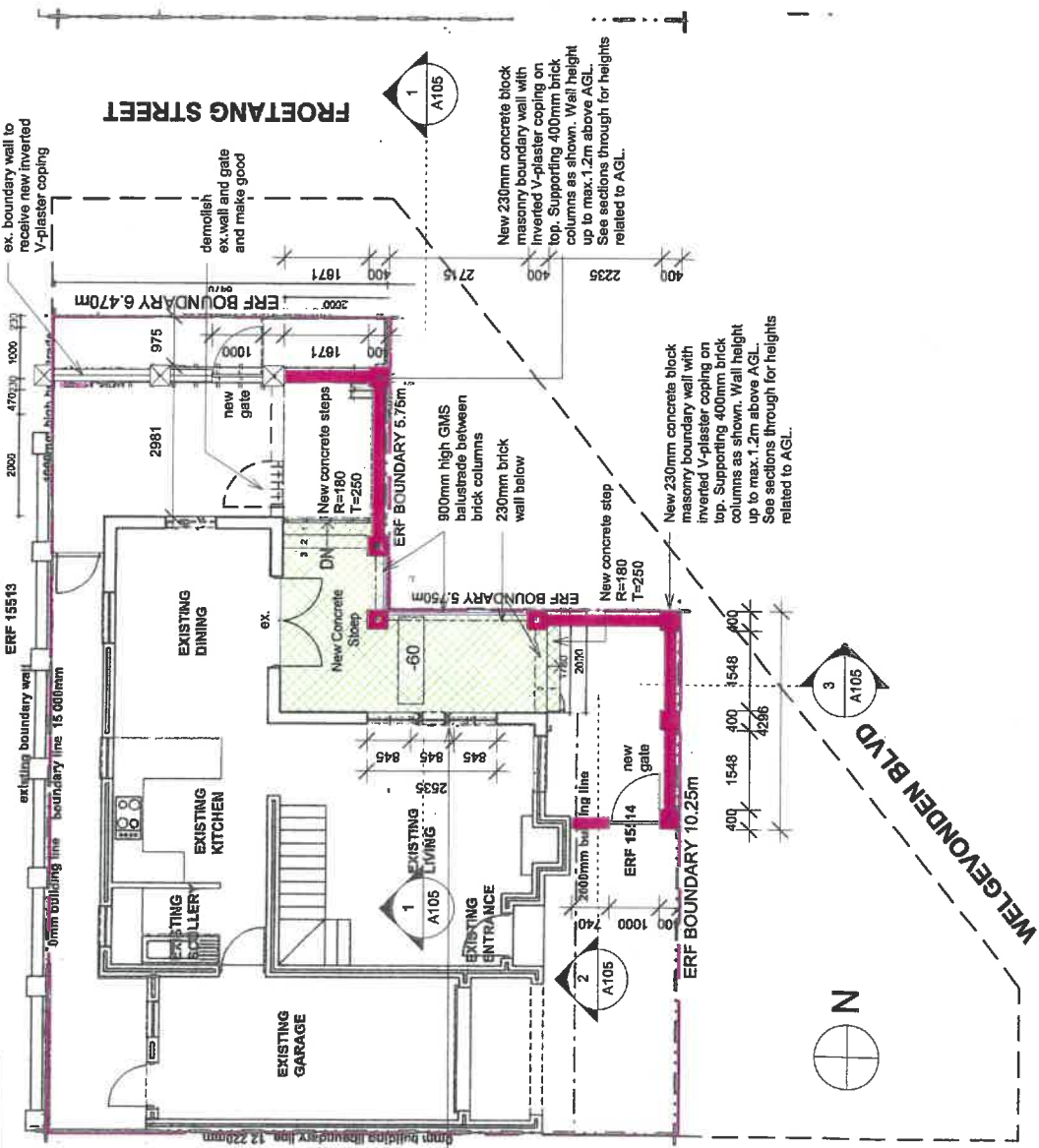
Scale	1 : 500	Date	09/07/21	Drawn	LT
Project No.	0098	Drawing No.	A100	Revision No.	B



Rev	Description	Date
A	Rev A_Existing boundary wall position	2021/05/17
B	Rev B_Erf Boundaries_Concrete Steep	2021/06/25

COUNCIL NOTES

GENERAL:
 1. ALL WORK TO BE DONE IN ACCORDANCE WITH SANS 10400
 2. SANS 10400 TO BE SATISFIED PER MEANS SPECIFIED IN SCHEDULE A AND B, SANS 10400-A: 2015
 3. DO NOT SCALE. REFER ONLY TO FIGURED DIMENSIONS.
 4. ALL LEVELS, DIMENSIONS, GRADIENTS AND STEPS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
STRUCTURAL DESIGN:
 3.F. NO STRUCTURAL ENGINEER HAS BEEN APPOINTED ACCORDING TO FORM 1 THE STRUCTURAL SYSTEM TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400 PARTS 3 AND 4. ALL WORK TO BE DONE IN ACCORDANCE WITH SANS 10400-A: 2015
 3.1. ALL FOUNDATIONS ACCORDING TO STRUCTURAL ENGINEER'S DESIGN UNLESS OTHERWISE SPECIFIED IN FORM 1.
 ALL DEEP FOOTINGS, SOIL RAFTS COMPACTION AND SUB-SURFACE DRAINAGE ACCORDING TO CIVIL ENGINEER'S DETAILS UNLESS OTHERWISE SPECIFIED IN FORM 1.
WALLS:
 1. STRUCTURAL STRENGTH AND STABILITY OF WALLS TO STRUCTURAL ENGINEER'S APPROVAL UNLESS OTHERWISE SPECIFIED IN FORM 1
 2. ALL MASONRY ON CONCRETE BLOCK WALLS TO BE CONSTRUCTED IN STANDARD SIZE CLAY BRICKS OR STANDARD SIZE CONCRETE BLOCKS.
ROOFS:
 1. ROOF COVERINGS, WATERPROOFING SYSTEMS, AND FLAT ROOFS, GUTTERS AND DOWN PIPES TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400, AND SANS 10400-R UNLESS OTHERWISE SPECIFIED IN FORM 1.
 2. FIRE RESISTANCE AND COMBUSTIBILITY OF ROOF AND CEILING ASSEMBLY TO COMPLY WITH FIRE ENGINEER'S REQUIREMENTS UNLESS OTHERWISE SPECIFIED IN FORM 1.
HEALTH & PUBLIC SAFETY:
 1. CHANGES IN LEVEL, RAMPS AND DRIVEWAYS, AND ACCESS TO SWIMMING POOLS TO COMPLY WITH SANS 10400-R UNLESS OTHERWISE SPECIFIED IN FORM 1.
 2. STAIRWAYS AND DISCONNECTING COBBLES TO ALL TOILETS TO BE INDEPENDENTLY AND ADEQUATELY VENTILATED IN COMPLIANCE WITH SANS 10400-R UNLESS OTHERWISE SPECIFIED IN FORM 1.
 3. THE MEANS FOR PROVIDING FACILITIES FOR PEOPLE WITH DISABILITIES IS IN ACCORDANCE WITH SANS 10400-S UNLESS OTHERWISE SPECIFIED IN FORM 1.
DRAINAGE & STORMWATER:
 1. DRAINAGE SYSTEM TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-P UNLESS OTHERWISE SPECIFIED IN FORM 1.
 2. STORMWATER DISPOSAL TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-R UNLESS OTHERWISE SPECIFIED IN FORM 1.
 3. ALL DRAINAGE AND STORMWATER FINISHES SCHEDULES
 4. MASONRY WALLS TO BE PLASTERED AND PAINTED UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.



Site and Ground Storey Plan
 1 : 100

Client
Jacques Ferreira
Colleen Harrison

Project
Alterations and Additions to 1 Frootang Street, Welgevonden, Stellenbosch

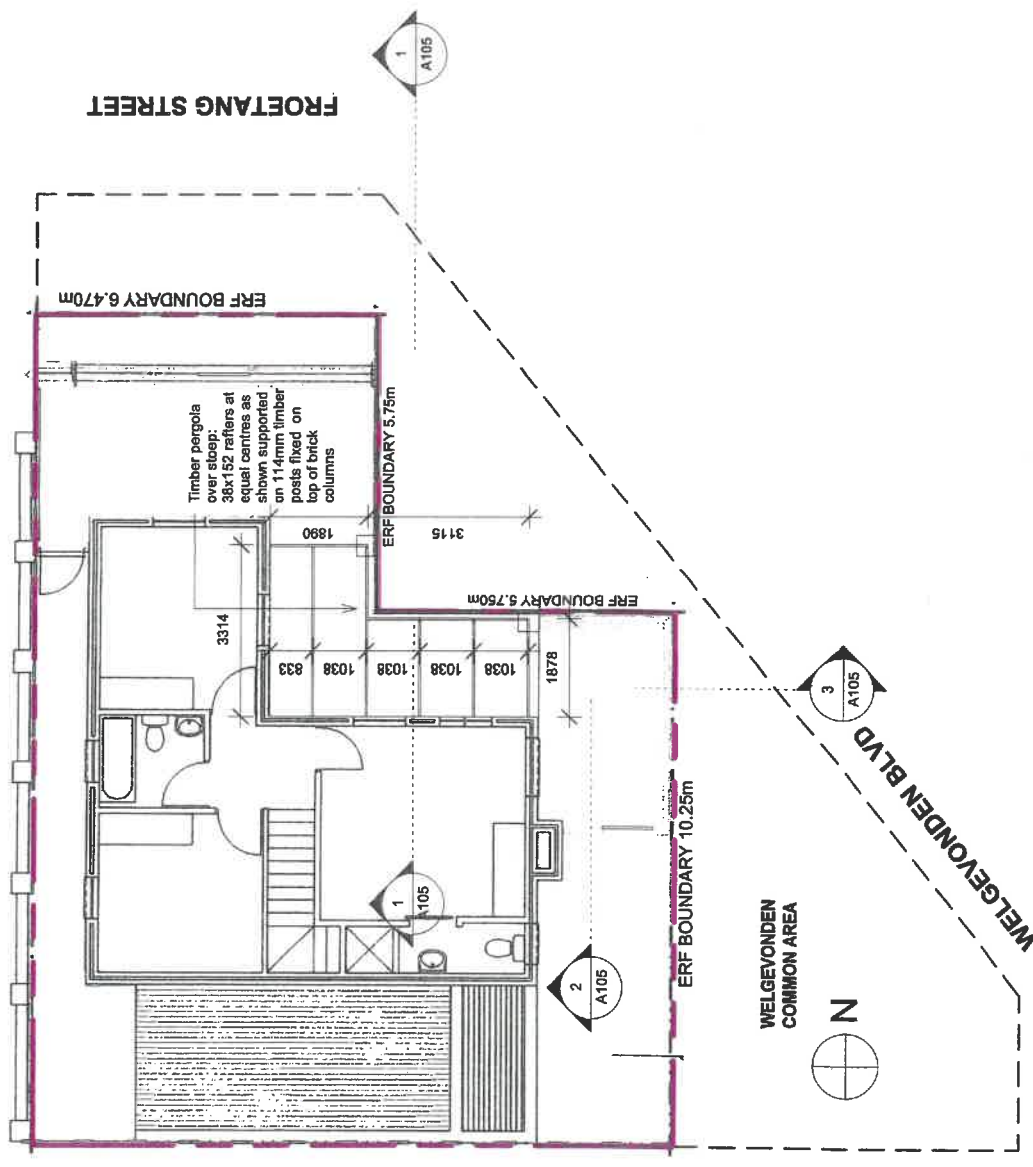
Drawing
Site and Ground Storey Plan

Scale	1 : 100	Date	09/07/21	Drawn	LT
Project No.	0086	Drawing No.	A101	Revision No.	B

Rev	Description	Date
A	Rev A_Existing boundary wall position	20210617
B	Rev B_Erf Boundaries_Concrete Steep	20210625

COUNCIL NOTES

- GENERAL:**
1. ALL WORK TO BE DONE IN ACCORDANCE WITH SANS 10400
 2. SANS 10400 TO BE SATISFIED PER MEANS SPECIFIED IN SCHEDULE A AND B, SANS 10400-A: FORM 1.
 3. DO NOT SCALE. REFER ONLY TO FIGURED DIMENSIONS.
 4. ALL LEVELS, DIMENSIONS, GRADIENTS AND STEPS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- STRUCTURAL DESIGN:**
3. IF NO STRUCTURAL ENGINEER HAS BEEN APPOINTED ACCORDING TO FORM 1, THE STRUCTURAL SYSTEM TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400 PARTS H, J, K, L, M, N AND IN THE CASE OF TIMBER BUILDINGS WITH SANS 10282.
- SITE OPERATIONS:**
1. PROVISION OF SANITARY FACILITIES DURING CONSTRUCTION TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-D. SUBMIT PROPOSAL TO THE ARCHITECT FOR APPROVAL.
- FOUNDATIONS:**
- ALL FOUNDATIONS ACCORDING TO STRUCTURAL ENGINEER'S DESIGN UNLESS OTHERWISE SPECIFIED IN FORM 1.
- WALLS:**
1. STRUCTURAL STRENGTH AND STABILITY OF WALLS TO STRUCTURAL ENGINEERS APPROVAL OTHERWISE SPECIFIED IN FORM 1
 2. ALL CLAY MASONRY OR CONCRETE BLOCK WALLS TO BE CONSTRUCTED IN STANDARD SIZE CLAY BRICKS OR STANDARD SIZE CONCRETE BLOCKS.
- ROOFS:**
1. ROOF COVERINGS, WATERPROOFING SYSTEMS, AND FLAT ROOFS, GUTTERS AND DOWN PIPES TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-L AND SANS 10400-R UNLESS OTHERWISE SPECIFIED IN FORM 1.
 2. FIRE RESISTANCE TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-R UNLESS OTHERWISE SPECIFIED IN FORM 1.
 3. FIRE ENGINEER'S REQUIREMENTS UNLESS OTHERWISE SPECIFIED IN FORM 1.
- HEALTH & PUBLIC SAFETY:**
1. CHANGES IN LEVEL, RAIRS AND DRIVEWAYS, AND ACCESS TO SWIMMING POOLS TO COMPLY WITH SANS 10400-P. THE DETAIL REQUIREMENTS OF SANS 10400-Q UNLESS OTHERWISE SPECIFIED IN FORM 1
 2. STOREROOMS & DISCONNECTING LOBBIES TO ALL TOILETS TO BE INDEPENDENTLY AND ADEQUATELY LIT & VENTILATED IN COMPLIANCE WITH SANS 10400-Q.
 3. THE MEANS FOR PROVIDING FACILITIES FOR PEOPLE WITH DISABILITIES IS IN ACCORDANCE WITH SANS 10400-S UNLESS OTHERWISE SPECIFIED IN FORM 1
- PLUMBING, SANITARY AND ELECTRICAL:**
1. ALL PLUMBING, SANITARY AND ELECTRICAL TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-P UNLESS OTHERWISE SPECIFIED IN FORM 1.
 2. STORMWATER DISPOSAL TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-R UNLESS OTHERWISE SPECIFIED IN FORM 1.
- MATERIALS AND FINISHES:**
1. MATERIALS AND FINISHES AS INDICATED ON THE DRAWINGS, MATERIAL NOTES AND/OR FINISHES SCHEDULES
 2. MASONRY WALLS TO BE PLASTERED AND PAINTED UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.



Client
Jacques Ferreira
Collaboration

Project
Alterations and Additions to 1 Froetang Street, Welgevonden, Stellenbosch

Drawing
First Storey Plan

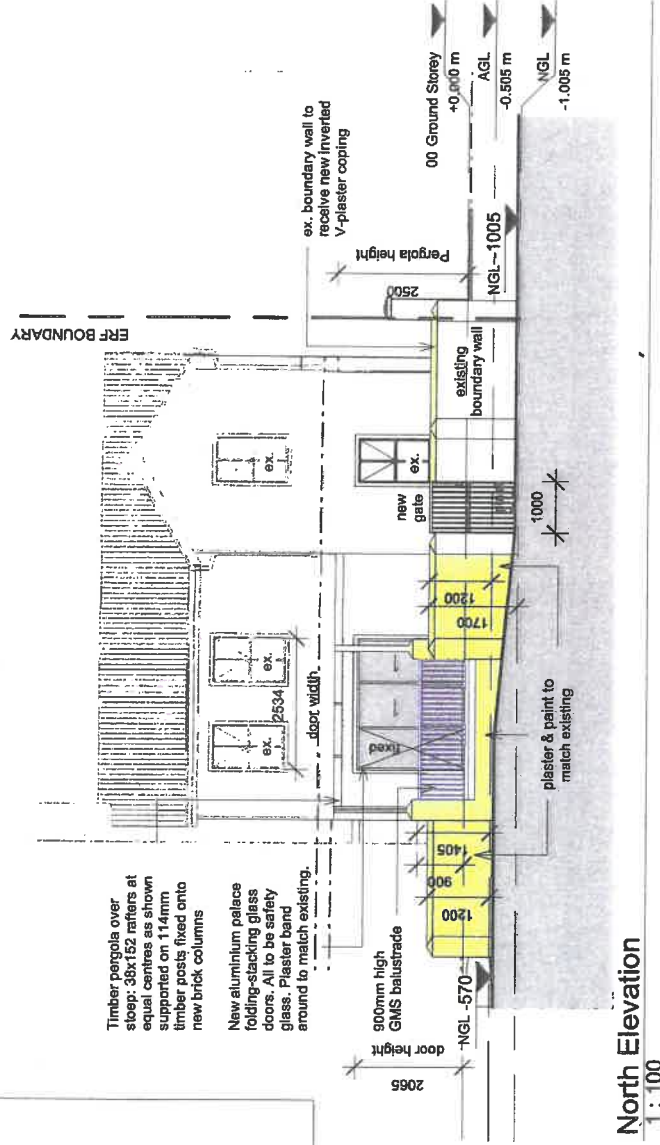
Scale	Size	Date	Drawn
1:100		09/07/21	LT

Project No.	Drawing No.	Revision No.
0086	A102	B

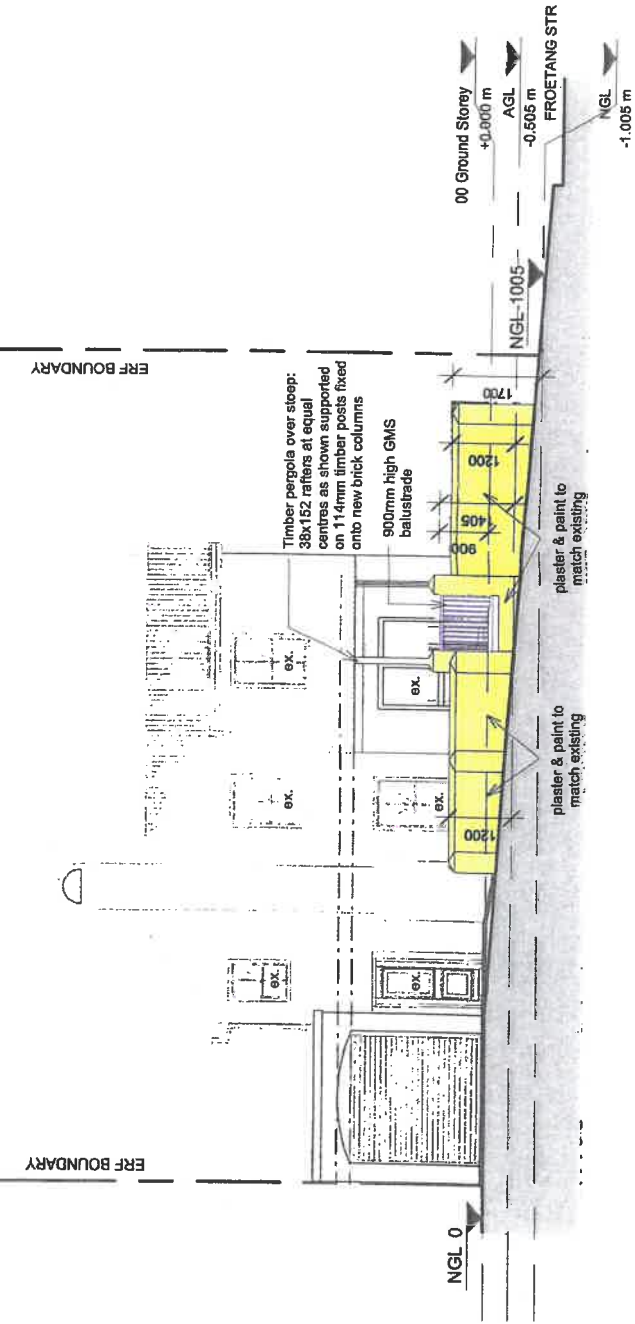
Rev	Description	Date
A	Rev A_Existing boundary wall position	20210517
B	Rev B_Erf Boundaries_Concrete Slope	20210625

COUNCIL NOTES

GENERAL
 1. ALL WORK TO BE DONE IN ACCORDANCE WITH SANS 10400
 2. SANS 10400 TO BE SATISFIED PER MEANS SPECIFIED IN SCHEDULE A AND B, SANS 10400-A: FORM 1
 3. DO NOT SCALE. REFER ONLY TO FIGURED DIMENSIONS.
 4. ALL LEVELS, DIMENSIONS, GRADIENTS AND STEPS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
STRUCTURAL DESIGN
 3. IF NO STRUCTURAL ENGINEER HAS BEEN APPOINTED ACCORDING TO FORM 1, THE STRUCTURAL SYSTEM TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400 PARTS 3, 4, 5, 6 AND 7 IN THE CASE OF TIMBER BUILDINGS WITH SANS 10082.
 4. PRELIMINARY FACILITIES, DURING CONSTRUCTION TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-D. SUBMIT PROPOSAL TO THE ARCHITECT FOR APPROVAL.
FOUNDATIONS
 ALL FOUNDATIONS ACCORDING TO STRUCTURAL ENGINEER'S DESIGN UNLESS OTHERWISE SPECIFIED IN FORM 1.
 ALL DEEP FOOTINGS, SOIL RAFTS COMPACTION AND SUB-SURFACE DRAINAGE ACCORDING TO CIVIL ENGINEER'S DETAILS UNLESS OTHERWISE SPECIFIED IN FORM 1.
WALLS
 1. STRUCTURAL STRENGTH AND STABILITY OF WALLS TO STRUCTURAL ENGINEERS UNLESS OTHERWISE SPECIFIED IN FORM 1.
 2. ALL WALLS UNLESS OTHERWISE SPECIFIED IN FORM 1.
 3. ALL CLAY OR CONCRETE BLOCK WALLS TO BE CONSTRUCTED IN STANDARD SIZE CLAY BRICKS OR STANDARD SIZE CONCRETE BLOCKS.
ROOFS
 1. ROOF COVERINGS WATERPROOFING SYSTEMS, AND FLAT ROOFS GUTTERS, AND DOWN PIPES TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-A AND SANS 10400-R UNLESS OTHERWISE SPECIFIED IN FORM 1.
 2. FIRE RESISTANCE AND COMBUSTIBILITY OF ROOF AND CEILING ASSEMBLY TO COMPLY WITH FIRE ENGINEER'S REQUIREMENTS UNLESS OTHERWISE SPECIFIED IN FORM 1.
HEALTH & PUBLIC SAFETY
 1. CHANGES IN LEVEL, RAMP AND DRIVEWAYS, AND ACCESS TO SWIMMING POOLS TO COMPLY WITH SANS THE DETAIL REQUIREMENTS OF SANS 10400-D UNLESS OTHERWISE SPECIFIED IN FORM 1.
 2. STOREROOMS & DISCONNECTING LOBBIES TO ALL TOILETS TO BE INDEPENDENTLY AND ADEQUATELY VENTILATED IN COMPLIANCE WITH SANS 10400-D.
 3. THE MEANS FOR PROVIDING FACILITIES FOR PEOPLE WITH DISABILITIES IS IN ACCORDANCE WITH SANS 10400-S UNLESS OTHERWISE SPECIFIED IN FORM 1.
DRAINAGE & STORMWATER
 1. DRAINAGE SYSTEM TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-P UNLESS OTHERWISE SPECIFIED IN FORM 1.
 2. STORMWATER DISPOSAL TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-R UNLESS OTHERWISE SPECIFIED IN FORM 1.
FINISHES AND PAINTS
 1. MATERIALS AND FINISHES AS INDICATED ON THE DRAWINGS, MATERIAL NOTES AND/OR FINISHES SCHEDULES.
 2. MASOCHARY WALLS TO BE PLASTERED AND PAINTED UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.



North Elevation
1 : 100



East Elevation
1 : 100

Client
Jacques Ferreira
Collaboration

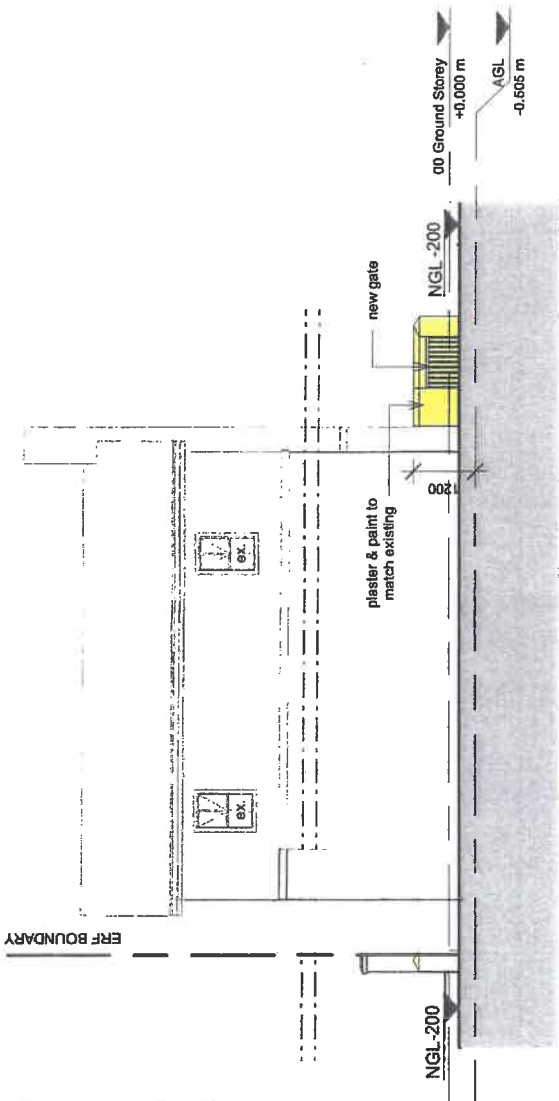
Project
Alterations and Additions to 1 Freetang Street, Welgevonden, Stellenbosch

Drawing
North and East Elevations

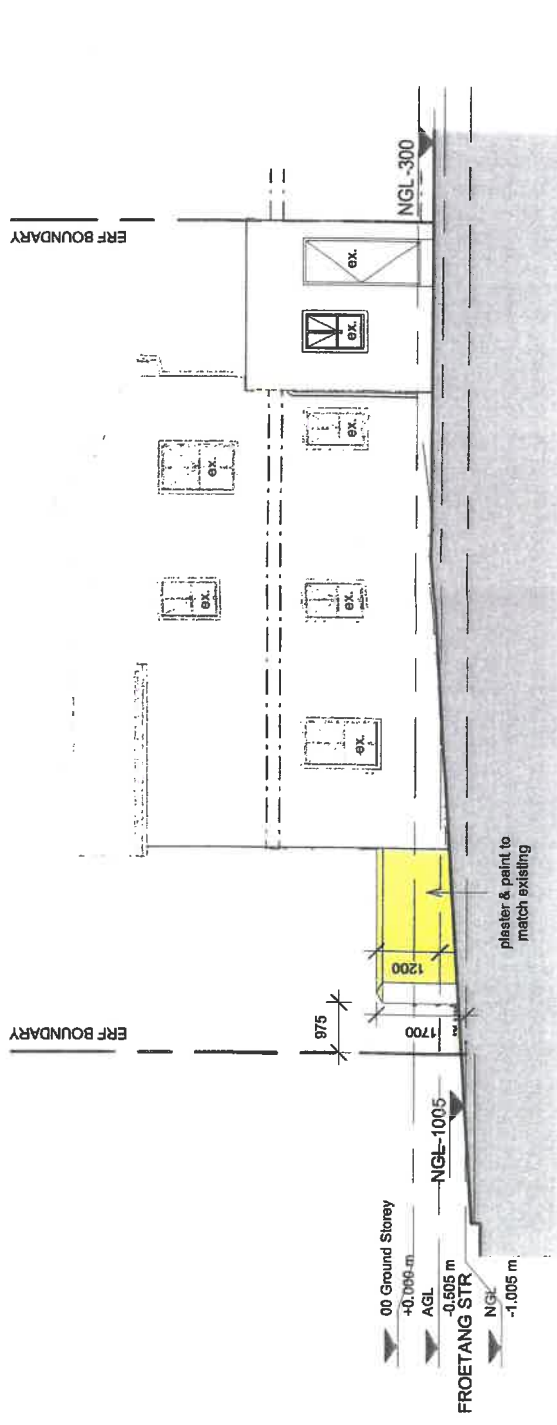
Scale	1 : 100	Date	09/07/21	Drawn	LT
Project No.	0086	Drawing No.	A103	Revision No.	B

COUNCIL STAMPS

Rev	Description	Date
A	Rev A_Existing boundary wall position	2021/05/17
B	Rev B_Erf Boundaries_ Concrete Sloep	2021/06/25



South Elevation
1:100



West Elevation
1:100

COUNCIL NOTES

- GENERAL:
1. ALL WORK TO BE DONE IN ACCORDANCE WITH SANS 10400
 2. SANS 10400 TO BE SATISFIED PER MEANS SPECIFIED IN SCHEDULE A AND B, SANS 10400-A: FORM NOT SCALE. REFER ONLY TO FIGURED DIMENSIONS.
 3. ALL LEVELS, DIMENSIONS, GRADEMENTS AND STEPS, TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- STRUCTURAL DESIGN:
- 3.F. NO STRUCTURAL ENGINEER HAS BEEN APPOINTED ACCORDING TO FORM 1 THE STRUCTURAL SYSTEM TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400 PARTS H, K, L, M or N AND IN THE CASE OF TIMBER BUILDINGS WITH SANS 10082.
 4. PROVISION OF SANITARY FACILITIES DURING CONSTRUCTION TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-D. SUBMIT PROPOSAL TO THE ARCHITECT FOR APPROVAL.
 5. ALL FOUNDATIONS ACCORDING TO STRUCTURAL ENGINEER'S DESIGN UNLESS OTHERWISE SPECIFIED IN FORM 1.
 6. ALL DEEP FOOTINGS, SOIL RAFTS, SOIL NAILS AND SUB-SURFACE DRAINAGE ACCORDING TO CIVIL ENGINEER'S DETAILS UNLESS OTHERWISE SPECIFIED IN FORM 1.
- WALLS:
1. STRUCTURAL STRENGTH AND STABILITY OF WALLS TO STRUCTURAL ENGINEER'S APPROVAL UNLESS OTHERWISE SPECIFIED IN FORM 1
 2. ALL CLAY MASONRY OR CONCRETE BLOCK WALLS TO BE CONSTRUCTED IN STANDARD SIZE CLAY BRICKS OR STANDARD SIZE CONCRETE BLOCKS.
 3. ROOF COVERINGS, WATERPROOFING SYSTEMS, AND FLAT ROOFS, GUTTERS AND DOWN PIPES TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-L AND SANS 10400-R UNLESS OTHERWISE SPECIFIED IN FORM 1.
 4. FIRE RESISTANCE AND COMBUSTIBILITY OF ROOF AND CEILING ASSEMBLY TO COMPLY WITH FIRE ENGINEER'S REQUIREMENTS UNLESS OTHERWISE SPECIFIED IN FORM 1.
 5. HEALTH & PUBLIC SAFETY:
- CHANGE IN LEVEL, RAMPS AND DRIVEWAYS, AND ACCESS TO SWIMMING POOLS TO COMPLY WITH SANS 10400-D. THE DETAIL REQUIREMENTS OF SANS 10400-D UNLESS OTHERWISE SPECIFIED IN FORM 1
1. CHANGES IN LEVEL, RAMPS AND DRIVEWAYS, AND ACCESS TO SWIMMING POOLS TO COMPLY WITH SANS 10400-D. THE DETAIL REQUIREMENTS OF SANS 10400-D UNLESS OTHERWISE SPECIFIED IN FORM 1
 2. STORMWATER DISPOSAL TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-R UNLESS OTHERWISE SPECIFIED IN FORM 1.
 3. MATERIALS AND FINISHES AS INDICATED ON THE DRAWINGS, MATERIAL NOTES AND/OR SPECIFICATIONS.
 4. MASONRY WALLS TO BE PLASTERED AND PAINTED UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.

Client
Jacques Ferreira
Colleen Harrison

Project
**Alterations and Additions to 1
Froetang Street, Weigevonden,
Stellenbosch**

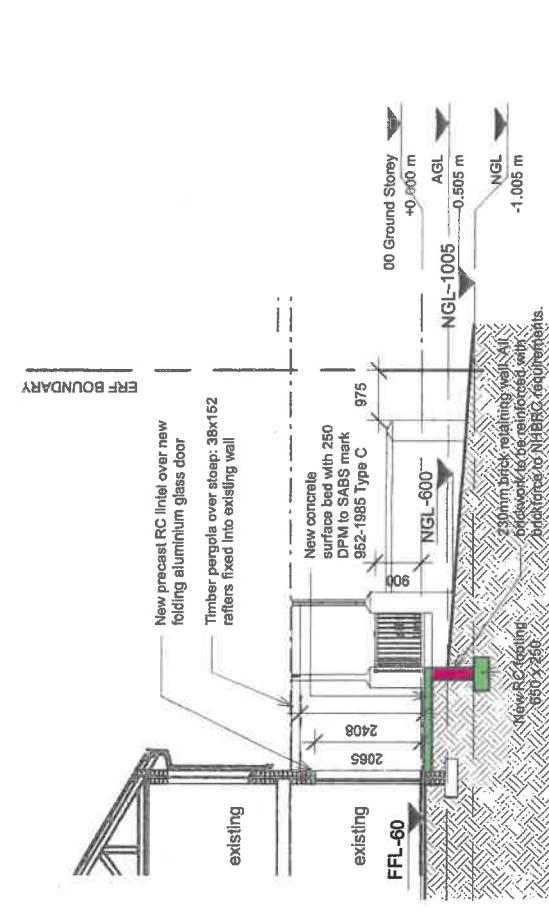
Drawing
South and West Elevations

Scale 1 : 100	Size	Date 09/07/21	Drawn LT
Project No. 0086	Drawing No. A104	Revision No. B	



PROVIDED ON THIS DRAWING IS RECEIVED. ALL DIMENSIONS AND NOTES ARE TO BE REFERRED TO THE CORRESPONDING AND INDICATED IN THE DRAWING.

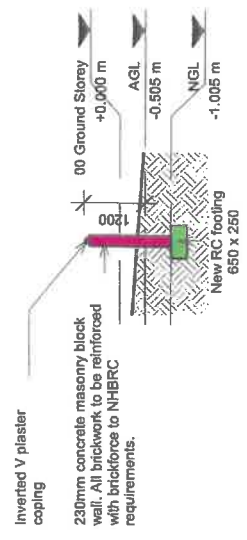
Rev	Description	Date
A	Rev A_Existing boundary wall position	20210517
B	Rev B_Erf Boundaries_Concrete Steep	20210525



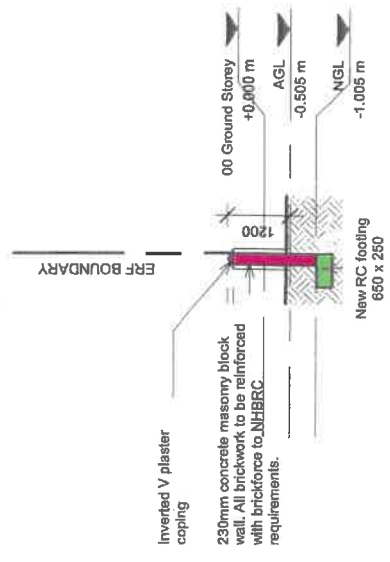
Section A-A
1 : 100

COUNCIL NOTES

- GENERAL:**
 1. ALL WORK TO BE DONE IN ACCORDANCE WITH SANS 10400
 2. SANS 10400 TO BE SATISFIED PER MEANS SPECIFIED IN SCHEDULE A AND B, SANS 10400-A: FORM 1.
 3. DO NOT SCALE. REFER ONLY TO FIGURED DIMENSIONS.
 4. ALL LEVELS, DIMENSIONS, GRADIENTS AND STEPS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT
- STRUCTURAL DESIGN:**
 3. IF NO STRUCTURAL ENGINEER HAS BEEN APPOINTED ACCORDING TO FORM 1 THE STRUCTURAL SYSTEM TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400 PARTS H,K,L,M AND IN THE CASE OF TIMBER BUILDINGS WITH SANS 10882.
- SITE OPERATIONS:**
 1. PROVISION OF SANITARY FACILITIES DURING CONSTRUCTION TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-D. SUBMIT PROPOSAL TO THE ARCHITECT FOR APPROVAL.
- FOUNDATIONS:**
 ALL FOUNDATIONS ACCORDING TO STRUCTURAL ENGINEER'S DESIGN UNLESS OTHERWISE SPECIFIED IN FORM 1.
 ALL REINFORCED CONCRETE, SOIL RAFTS, CONVICTION AND SUBSURFACE DRAINAGE ACCORDING TO CIVIL ENGINEER'S DETAILS UNLESS OTHERWISE SPECIFIED IN FORM 1.
- WALLS:**
 1. STRUCTURAL STRENGTH AND STABILITY OF WALLS TO STRUCTURAL ENGINEER'S APPROVAL UNLESS OTHERWISE SPECIFIED IN FORM 1
 2. ALL CLAY MASONRY OR CONCRETE BLOCK WALLS TO BE CONSTRUCTED IN STANDARD SIZE CLAY BRICKS OR STANDARD SIZE CONCRETE BLOCKS.
- ROOFS:**
 1. ROOF COVERINGS, WATERPROOFING SYSTEMS, AND FLAT ROOFS, GUTTERS AND DOWN PIPES TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-I, AND SANS 10400-R UNLESS OTHERWISE SPECIFIED IN FORM 1.
 2. FIRE RESISTANCE AND COMBUSTIBILITY OF ROOF AND CEILING ASSEMBLY TO COMPLY WITH FIRE ENGINEER'S REQUIREMENTS UNLESS OTHERWISE SPECIFIED IN FORM 1.
 HEALTH & PUBLIC SAFETY:
 1. CHANGES IN LEVEL, RAMPS AND DRIVEWAYS, AND ACCESS TO SWIMMING POOLS TO COMPLY WITH SANS 10400-D.
 2. STOREROOMS & DISCONNECTING LOBBIES TO ALL TOILETS TO BE INDEPENDENTLY AND ADEQUATELY LIT & VENTILATED IN COMPLIANCE WITH SANS 10400-D.
 3. THE MEANS FOR PROVIDING FACILITIES FOR PEOPLE WITH DISABILITIES IS IN ACCORDANCE WITH SANS 10400-D UNLESS OTHERWISE SPECIFIED IN FORM 1
- DRAINAGE SYSTEM TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-P UNLESS OTHERWISE SPECIFIED IN FORM 1**
 2. STORMWATER DISPOSAL TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-R UNLESS OTHERWISE SPECIFIED IN FORM 1.
- MATERIALS AND FINISHES:**
 1. MATERIALS AND FINISHES AS INDICATED ON THE DRAWINGS, MATERIAL NOTES AND/OR FINISHES SCHEDULES
 2. MASONRY WALLS TO BE PLASTERED AND PAINTED UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.



Section B-B
1 : 100



Section C-C
1 : 100

Client
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Colleen Harrison

Project
Alterations and Additions to 1 Freetang Street, Welgevonden, Stellenbosch

Drawing
Sections

Scale	Size	Date	Drawn
1 : 100		09/07/21	L.T
Project No.	Drawing No.	Revision No.	
00886	A105	B	