



# STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/12893

Our File Reference Number: Erf 15429, Stellenbosch

Your Reference Number: None

Enquiries: Ulrich von Molendorff

Contact No: 021 – 808 8682

Email address: [Ulrich.Vonmolendorff@stellenbosch.gov.za](mailto:Ulrich.Vonmolendorff@stellenbosch.gov.za)

**PER E-MAIL:** [REDACTED]

Sir / Madam

## **APPLICATION FOR A DEPARTURE: ERF 15429, 15 PATRYSENBOSCH, WELGEVONDEN, STELLENBOSCH**

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:

2.1 The following departure applications in terms of the Stellenbosch Municipal Land Use Planning By-Law, promulgated by notice number 354/2015, dated 20 October 2015 on Erf 15429, Stellenbosch to relax the common building line (adjacent to Erf 15430) from 1,5m to 0m in order to accommodate the proposed braai area as indicated on drawing no. 21-046 sheet 001, 101 & 201 drawn by Red Atlantic Architecture and dated 10 March 2021.

**BE APPROVED** in terms of Section 60 of the said bylaw, subject to conditions in terms of Section 66 of the said Bylaw.

### **3. Conditions of approval:**

- (a) The approval shall lapse if not acted upon within a period of **five years** from the date of approval;
- (b) The approval shall be taken to cover only the departure applied for and shall not be construed as authority to depart from any other Council requirements or legal provisions;
- (c) Building plans must be submitted to this Municipality for approval prior to any building work commencing on site.

4. **The reasons for the above decision are as follows:**

(a) The proposal is in line with the existing land use of the property and will have no negative impact on the surrounding area;

5. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.

6. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:

(a) The personal particulars of the Appellant, including:

(I) First names and surname;

(II) ID number;

(III) Company of Legal person's name (if applicable)

(IV) Physical Address;

(V) Contact details, including a Cell number and E-Mail address;

(b) Reference to this correspondence and the relevant property details on which the appeal is submitted.

(c) The grounds of the appeal which may include the following grounds:

(i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);

(ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.

(d) whether the appeal is lodged against the whole decision or a part of the decision;

(e) if the appeal is lodged against a part of the decision, a description of the part;

(f) if the appeal is lodged against a condition of approval, a description of the condition;

- (g) the factual or legal findings that the appellant relies on;
  - (h) the relief sought by the appellant; and
  - (i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;
  - (j) That the appeal includes the following declaration by the Appellant:
    - (i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
    - (ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.
7. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address: [landuse.appeals@stellenbosch.gov.za](mailto:landuse.appeals@stellenbosch.gov.za)
8. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.
9. The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking details for the General Account can also be accessed on the municipal website (<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).
10. An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
- (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
  - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.

- (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
- (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.
11. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.
12. Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully

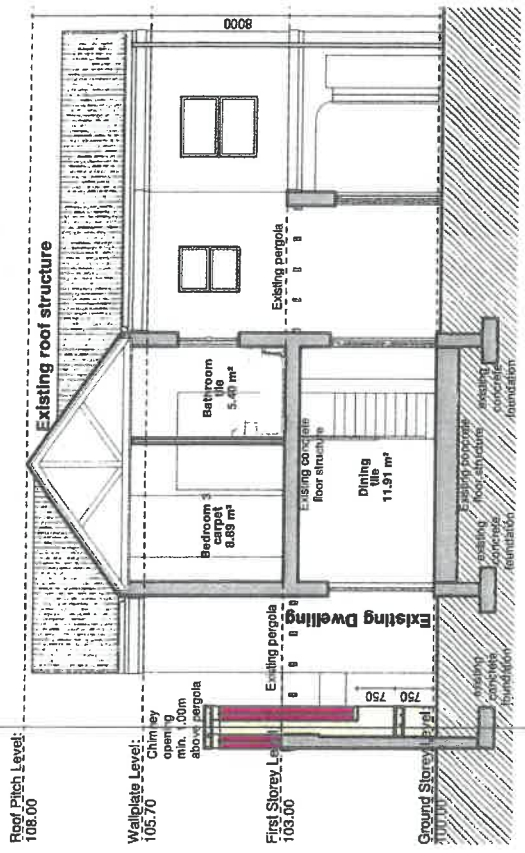


**FOR: DIRECTOR PLANNING AND ECONOMIC DEVELOPMENT**

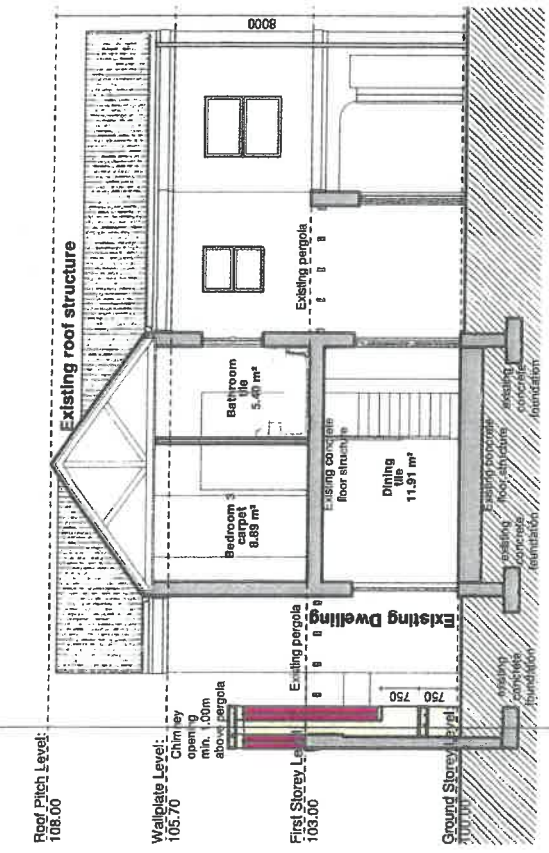
8/9/2021

**DATE:**

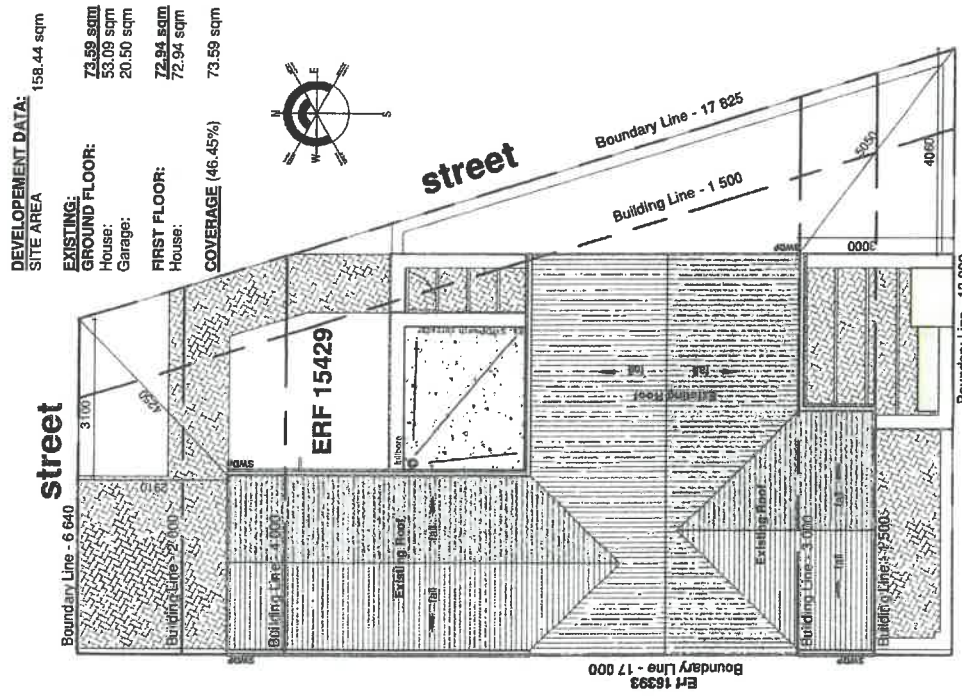
**DEVELOPMENT DATA:**  
 SITE AREA: 158.44 sqm  
**EXISTING:**  
 GROUND FLOOR:  
 House: 73.59 sqm  
 Garage: 20.50 sqm  
**FIRST FLOOR:**  
 House: 72.94 sqm  
**COVERAGES (46.45%)**  
 73.59 sqm



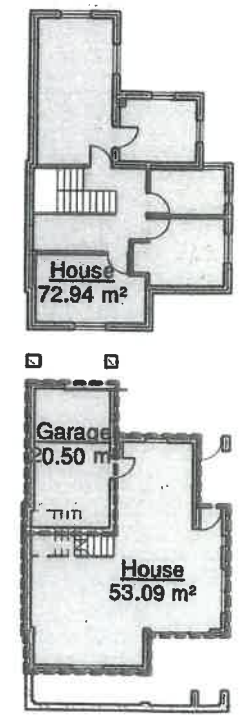
**Section A**  
 Scale 1:100



**Section B**  
 Scale 1:100



**Site and Roof Plan**  
 Scale 1:200



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**HOA Approval Stamps**

WELGEVONDEN ESTATE LANDROU  
 Date of approval: March 2023  
 Project Number: [Redacted]  
 Council: [Redacted]  
 Project Name: [Redacted]

Owner Signature

Date: / /  
 Architect Signature

Date: / /  
**H4 - Dwelling House**



Renier van Jaarsveld (Pv.Snr.Arch.T)  
 Director

**House Willemse**

Property description

**Erf 15429 Stellenbosch,  
 15 Patrysenbosch Street,  
 Welgevonden Estate, Stellenbosch**

Project description

**New outside braai**

Sheet description

Site and Roof Plan, Area Plans & Sections

Project number	Sheet no	City	Project status
24-0-16	001	Capetown	Completed
Project Date	Designed by	Scale	
2021-03-10	RVJ	as Indicated	
Issue Date	Drawn by	Page Size	
2021/03/13 08:44:49 PM	MB	A1	

HOA Approval Stamps

**WELGEVONDEN ESTATE/LANDSCAPE**  
 Date of approval: March 2021  
 Estate Manager: Conny Maré  
 Estate Architect: François Malan

Owner Signature \_\_\_\_\_ Date \_\_\_\_\_

Architect Signature \_\_\_\_\_ Date \_\_\_\_\_

**H4 - Dwelling House**



**House Willemse**

Property description

**Erf 15429 Stellenbosch,  
 15 Patrysenbosch Street,  
 Welgevonden Estate, Stellenbosch**

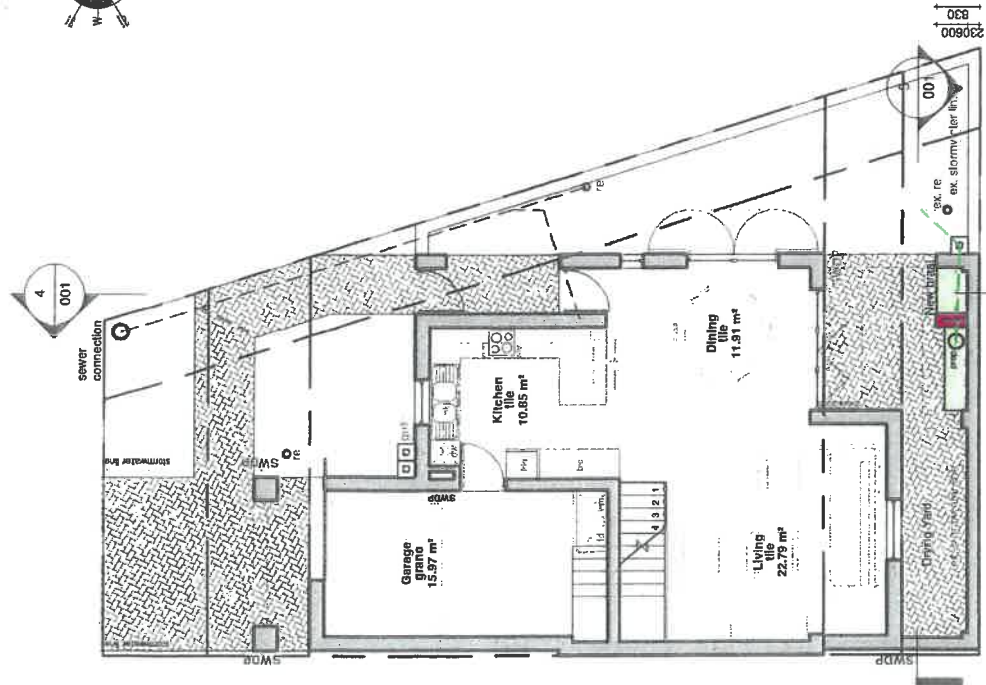
Project description

**New outside braai**

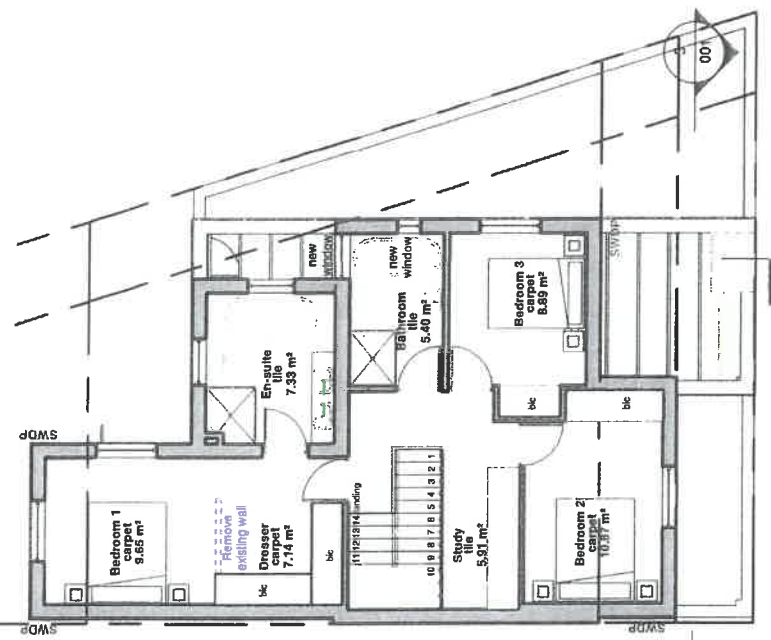
Sheet description

Floor Plans & Notes

Project number	Sheet no	Rev	Project status
21-0418	1/01		Issued for construction
Project Date	Designed by	Scale	
2021-03-10	RJV	As Indicated	
Issue Date	Drawn by	Page Size	
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**First Storey Plan**  
Scale 1:100



**SANS 10400 - Part K: WALL CONSTRUCTION**  
 External: 270mm clay brick cavity walls. The internal and external skin must be laid together with battens, at 5 / 2.5 mm in walls. The cavity must be no less than 50mm wide and clean of any cement. Cavity to be filled with concrete between foundations and ground floor DPC and 3 brick courses below wall plate.  
 External: Smooth plastered and pashed. No vertical face may be higher than 6.10m measured externally from the NGL, vertically below it.

**CONCRETE/PLASTER MIXTURE:**  
 Structural concrete mix must be: 1 part cement, 4 parts sand and 5 parts 19mm gravel stone. A concrete strength of 10 mpa on day 28 is required. Plaster cement must be mix 1 part cement, 1.5 parts lime and 9 parts sand. Sand for plaster must be clean with no vegetable material like seeds, etc.

**FOUNDATIONS: (SANS 10400 - Part H)**  
 Foundation mass concrete in-situ 14:5 nominal mix having a compressive strength of 20MPa at 28 days, consisting of ordinary Portland cement, sand and 26mm stone screenings, for load-bearing walls. Foundation walls to be filled with concrete up to floor level. Minimum requirements: lead bearing walls min. 800x300mm and non load bearing walls minimum 600 x 250mm.

**SITE OPERATIONS: (SANS 10400 - Part E) PREPARATION OF SITE**  
 Before any foundation is laid the area to be covered by any building shall be properly cleaned of vegetable matter, tree stumps, timber and other cellulose material, debris or refuse and any material contaminated with faecal matter. Any building that is situated on a site where water will drain naturally towards it, drainage shall be provided to direct such drainage away from such site or buildings to a stormwater drain or to dispose of it in a way that does not cause any pollution. This must be provided by the owner and be available for use for any personnel employed for the work to be done.

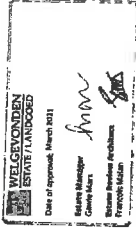
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Municipal Approval Stamps

HOA Approval Stamps



Owner Signature

Date

Architect Signature

H4 - Dwelling House

Renier van Jaarsveld (Pr.Smr.Arch.T)



House Willemse

Property description

Ert 15429 Stellenbosch, 15 Patrysenbosch Street, Welgevonden Estate, Stellenbosch

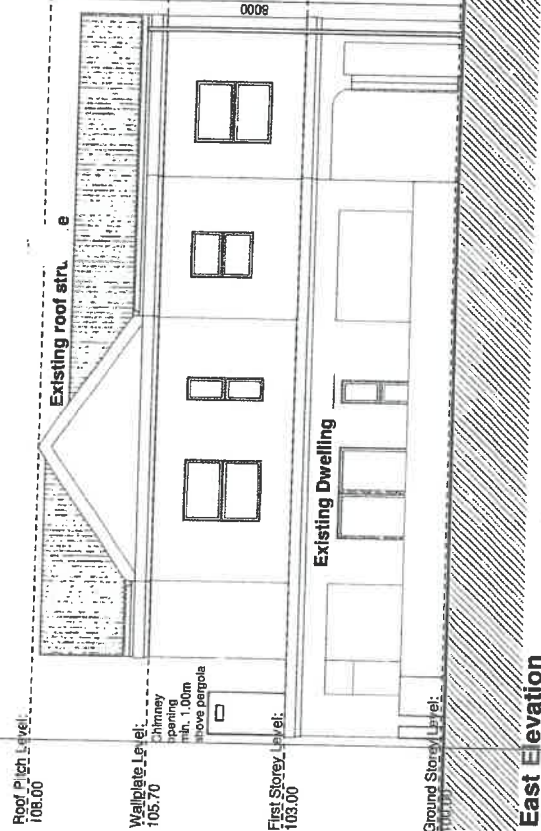
Project description

New outside braai

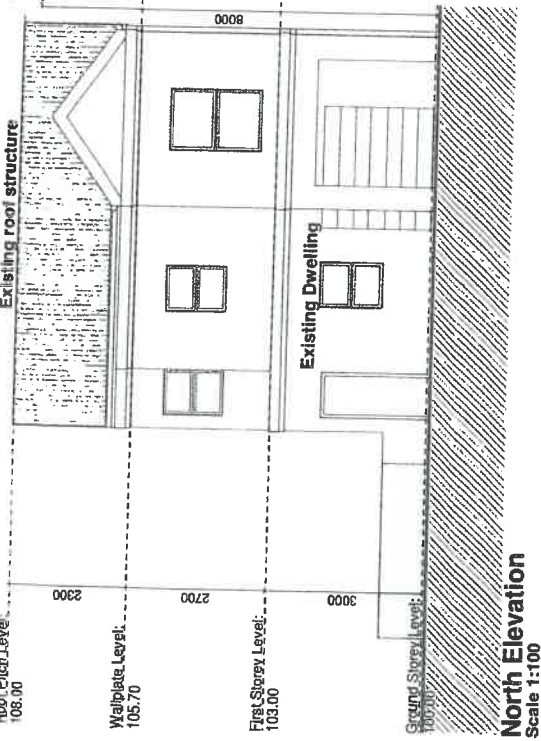
Sheet description

Elevations & Notes

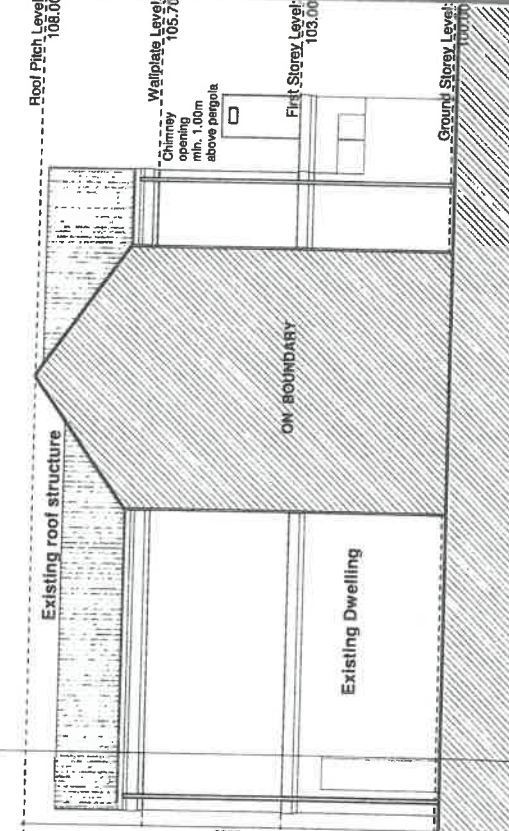
Project number	Rev	Sheet of	Project status
21-011E		2/09	Checked for publication
Project Date	Designed by	Scale	Page Size
2021-03-10	R.V.J.	as indicated	A1
Issue Date	Drawn by		
2021/03/13 06:44:51 PM	MB		



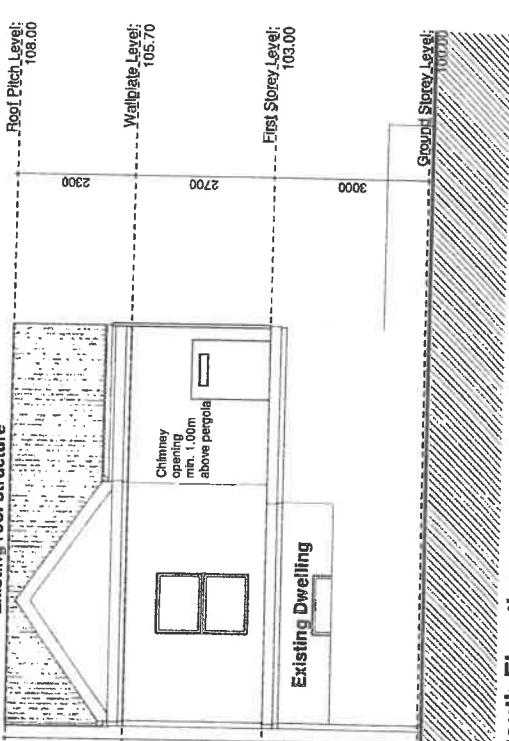
North Elevation Scale 1:100



South Elevation Scale 1:100



East Elevation Scale 1:100



West Elevation Scale 1:100

**DRAINAGE (SANS 10400 - Part F)**  
110mm UPVC drainage connected to existing manhole to min. 150 and max 1:5 fall as indicated on site and ground floor plans. Invert level to be min 450mm. Rodding Eye at every bend and min. every 25.0m. Each drainage to ventilate with 50mm dia. ventpipe. Drainage fixtures to be anti-siphoned or deep seal traps provided (where applicable). Drainpipe to be encased in 300mm concrete surround underneath constructed floor and/or driveway. No visible pipes on outside of building, all pipework to be concealed. Dual flush toilets to be used.

**LEVELS AND DIMENSIONS:**  
Level survey to confirm all boundary pegs and to check all levels before construction commences. The building to be laid out and erected in the positions indicated on the drawings. All top soil must be removed from the area to be built upon. All grading and leveling of ground will be done by a qualified civil contractor. All levels and dimensions to be checked prior to commencement of any building work or ordering of building material. Read figured dimensions in preference to scale. All work to comply with SANS 10400. All finishes to comply with the HOME OWNERS ASSOCIATION.

**GENERAL PRINCIPLES AND REQUIREMENTS BUILDING CLASSIFICATION (SANS 10260 - Part A)**  
Occupancy - H4 - Dwelling house  
Population - 2 persons per bedroom

**STRUCTURAL DESIGN (SANS 10400 - Part B)**  
A competent person, Structural Engineer, will design, specify and certify Jans H. J. K. L. and M. M.

**DIMENSIONS (SANS 10400 - Part C)**  
Minimum ceiling height to be 2.40m. Minimum Habitable Room size to be 5.0mp

**PUBLIC SAFETY (SANS 10400 - Part D) CHANGE IN LEVEL**  
Any floor level higher than 1.00m above adjacent ground or floor level must be provided with a balustrade or wall. Balustrade or wall may not be less than 1.00m high, must not have openings that will permit the passage of a 100mm diameter ball.

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