



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/13885

Our File Reference Number: Erf 14805, Stellenbosch

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 808 8682

Email address: Ulrich.Vonmolendorff@stellenbosch.gov.za

PER E-MAIL: [REDACTED]

Sir

APPLICATION FOR A DEPARTURE ON ERF 14805, STELLENBOSCH

1. The above application refers.

2. The duly authorised decision maker has decided on the above application as follows:

2.1 That the application for a Departure on Erf 14805, Welgevonden Estate, Stellenbosch in terms of Section 15(2)(b) of the Stellenbosch Municipal Land Use Planning Bylaw 2015 to increase the permissible coverage from 50% to 51.83% for the new covered stoep as indicated on Drawing No. 21/07/01/REVL1, Drawn by Andre Du Toit Architects, dated July 2021 attached as **Annexure B**.

BE APPROVED in terms of Section 60 of the said Bylaw and subject to conditions of approval.

2.2 The approval is subject to the following conditions imposed in terms of Section 66 of said Bylaw:

2.2.1 The approval only applies to the proposed departures under consideration and shall not be construed as authority to depart from any other legal prescriptions or requirements from Council or other legislation or Bylaws or Regulations that may be applicable.

2.2.2 The development and final building plans must be undertaken generally in accordance with the building plan as referenced, Drawing No. 21/07/01/REVL1, Drawn by Andre Du Toit Architects, dated July 2021 attached as **Annexure B**.

2.2.3 The approval granted shall not exempt the applicant from complying with any other legal prescriptions or requirements that might have a bearing on the proposed use.

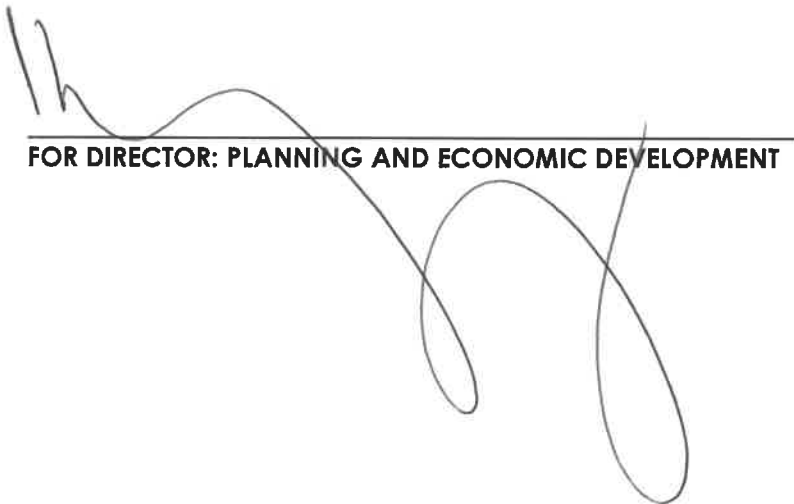
3. The reasons for the above decision are as follows:
 - 3.1 The proposed developments would not negatively affect the aesthetic appearance of the dwelling, property, or surrounding environment, and the primary use of the property will remain residential.
 - 3.2 The proposal is subsequently in line with the existing land use of the property and will not have a negative impact on the character of the surrounding area.
- 4 You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.
- 5 Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:
 - (a) The personal particulars of the Appellant, including:
 - (I) First names and surname;
 - (II) ID number;
 - (III) Company of Legal person's name (if applicable)
 - (IV) Physical Address;
 - (V) Contact details, including a Cell number and E-Mail address;
 - (b) Reference to this correspondence and the relevant property details on which the appeal is submitted.
 - (c) The grounds of the appeal which may include the following grounds:
 - (i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);
 - (ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.
 - (d) whether the appeal is lodged against the whole decision or a part of the decision;

- (e) if the appeal is lodged against a part of the decision, a description of the part;
- (f) if the appeal is lodged against a condition of approval, a description of the condition;
- (g) the factual or legal findings that the appellant relies on;
- (h) the relief sought by the appellant; and
- (i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;
- (j) That the appeal includes the following declaration by the Appellant:
 - (i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
 - (ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.

- 6 Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address: landuse.appeals@stellenbosch.gov.za
- 7 Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.
- 8 The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking details for the General Account can also be accessed on the municipal website (<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).
- 9 An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:

- (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
 - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
 - (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
 - (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.
- 10 Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.
- 11 Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully



FOR DIRECTOR: PLANNING AND ECONOMIC DEVELOPMENT

26/5/2022
DATE:

MUNICIPAL STAMP COLUMN

GENERAL CONSTRUCTION NOTES:

YOU MUST BE DONE BEFORE APPROVAL FROM ALL RELEVANT DEPARTMENTS OF RATEPAYERS ASSOCIATION, BUT APPROVE BY THE OWNERS ASSOCIATION DIRECTIVES AND DESIGN GUIDELINES

HEALTH & SAFETY:

Principal contractor to advise adequate provision for health & safety ensure the safety of the construction site. Principal contractor to comply with the construction regulations No. 3720 of February 2014. Principal contractor to provide site with health & safety plan before construction commences and sub-contractors are to amend all dimensions and levels on the drawings as to be before commencing work. Firmed dimensions to be taken on the building site before commencing work. Firmed dimensions to be taken on the building site before commencing work and large scale details to be taken on the building site before commencing work.

ALL SPECIFICATIONS ETC. TO BE IN ACCORDANCE WITH APPLICABLE CODES OF PRACTICE AS PERMITTED BY THE RELEVANT DEPARTMENTS OF RATEPAYERS ASSOCIATION AND APPROVED AND FITTED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

STRUCTURAL DESIGN:

Structural design shall be done in accordance with the relevant codes of practice and specifications. All dimensions are in millimetres unless shown otherwise. All building work shall be done in accordance with SANS 10400-6:2016.

PUBLIC SAFETY:

Public safety to be maintained at all times during construction. All dimensions are in millimetres unless shown otherwise. All building work shall be done in accordance with SANS 10400-6:2016.

CONCRETE WORK:

Concrete work shall be done in accordance with SANS 10400-6:2016. All concrete work shall be done in accordance with SANS 10400-6:2016.

STEEL WORK:

Steel work shall be done in accordance with SANS 10400-6:2016. All steel work shall be done in accordance with SANS 10400-6:2016.

TIMBER WORK / CURBBOARDS:

Timber work shall be done in accordance with SANS 10400-6:2016. All timber work shall be done in accordance with SANS 10400-6:2016.

SANITARY FITTINGS:

Sanitary fittings shall be done in accordance with SANS 10400-6:2016. All sanitary fittings shall be done in accordance with SANS 10400-6:2016.

NEW GLAZING:

New glazing shall be done in accordance with SANS 10400-6:2016. All new glazing shall be done in accordance with SANS 10400-6:2016.

NEW PAINTING / EXPOSED AGGREGATE:

New painting shall be done in accordance with SANS 10400-6:2016. All new painting shall be done in accordance with SANS 10400-6:2016.

SOUP-FACED:

Soup-faced shall be done in accordance with SANS 10400-6:2016. All soup-faced shall be done in accordance with SANS 10400-6:2016.

EARTH / FELLING:

Earth / felling shall be done in accordance with SANS 10400-6:2016. All earth / felling shall be done in accordance with SANS 10400-6:2016.

GRABING & SOIL PILES:

Grabing & soil piles shall be done in accordance with SANS 10400-6:2016. All grabing & soil piles shall be done in accordance with SANS 10400-6:2016.

WASTE PILES:

Waste piles shall be done in accordance with SANS 10400-6:2016. All waste piles shall be done in accordance with SANS 10400-6:2016.

STORMWATER PIPES:

Stormwater pipes shall be done in accordance with SANS 10400-6:2016. All stormwater pipes shall be done in accordance with SANS 10400-6:2016.

CONSULTANTS:

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ANY PERCEIVED INADEQUACIES OR CONTRADICTIONS IN THE DOCUMENTS MUST IMMEDIATELY BE CLEARED WITH THE ARCHITECT

RATEPAYERS/HWBC/HOA CONSENT

ABUTTING OWNERS CONSENT

Er 14806 *[Signature]* M. Water

Er 14806 *[Signature]*

Er 14807 *[Signature]*

HATCHING LEGEND

	BRICKWORK
	CONCRETE WORK
	STEEL WORK
	TIMBER WORK / CURBBOARDS
	SANITARY FITTINGS
	NEW GLAZING
	NEW PAINTING / EXPOSED AGGREGATE
	SOUP-FACED
	EARTH / FELLING
	GRABING & SOIL PILES
	WASTE PILES
	STORMWATER PIPES

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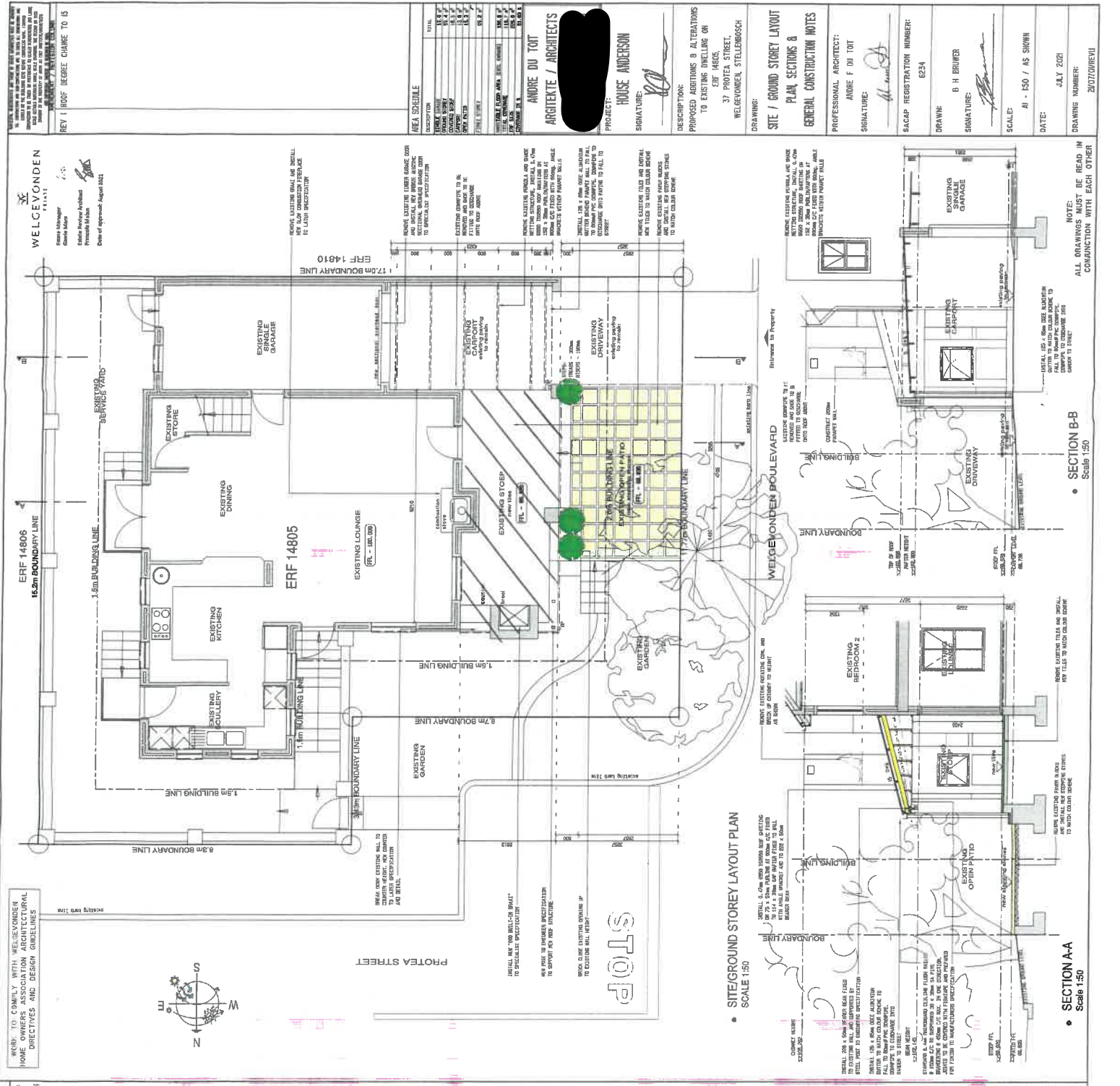
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WELGELYONDEN

ERF 14805

ERF 14810

PROTEA STREET

WELGELYONDEN BOULEVARD

SECTION A-A Scale 1:50

SECTION B-B Scale 1:50

NOTES:

ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH EACH OTHER

DATE: JULY 2021

DRAWING NUMBER: 2027029REVU

SCALE: A1 - 150 / AS SHOWN

SIGNATURE: B. H. BRUIER

DRAWN: 6234

SACAP REGISTRATION NUMBER: 6234

PROFESSIONAL ARCHITECT: ANDRE F DU TOIT

SIGNATURE: *[Signature]*

GENERAL CONSTRUCTION NOTES

SITE / GROUND STOREY LAYOUT PLAN, SECTIONS & GENERAL CONSTRUCTION NOTES

PROPOSED ADDITIONS & ALTERATIONS TO EXISTING DWELLING ON ERF 14805

37 PROTEA STREET, WELGELYONDEN, STELLENBOSCH

PROJECT: HOUSE ANDERSON

ARCHITECTS: ANDRE DU TOIT ARCHITECTE / ARCHITECTS

NEW SCHEDULE

DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
FOUNDATION	1.0	m ²	1000.00	1000.00
WALLS	1.0	m ²	1500.00	1500.00
FLOORS	1.0	m ²	2000.00	2000.00
ROOF	1.0	m ²	1200.00	1200.00
GLAZING	1.0	m ²	800.00	800.00
MECHANICAL	1.0	m ²	1000.00	1000.00
ELECTRICAL	1.0	m ²	1000.00	1000.00
PLUMBING	1.0	m ²	1000.00	1000.00
LANDSCAPE	1.0	m ²	1000.00	1000.00
PAINT	1.0	m ²	1000.00	1000.00
OTHER	1.0	m ²	1000.00	1000.00
TOTAL				12000.00

WE ADVISE AS CONTRACTOR TO BE RESPONSIBLE FOR THE DESIGN OF THE ROOF STRUCTURE AND TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE ROOF STRUCTURE AND TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

REY | ROOF DEGREE CHANGE TO IS

ANDRE DU TOIT
ARHITEKTE / ARCHITECTS
[REDACTED]
HOUSE ANDERSON

PROJECTS
HOUSE ANDERSON

DESCRIPTION:
PROPOSED ADDITIONS & ALTERATIONS
TO EXISTING DWELLING ON
ERF 14805,
37 PROTEA STREET,
NELSONMANDELA STELLENBOSCH

DRAWING:
FIRST STOREY LAYOUT
PLAN & ELEVATIONS

PROFESSIONAL ARCHITECT:
ANDRE F DU TOIT

SIGNATURE:
[Signature]

SAGAP REGISTRATION NUMBER:
6234

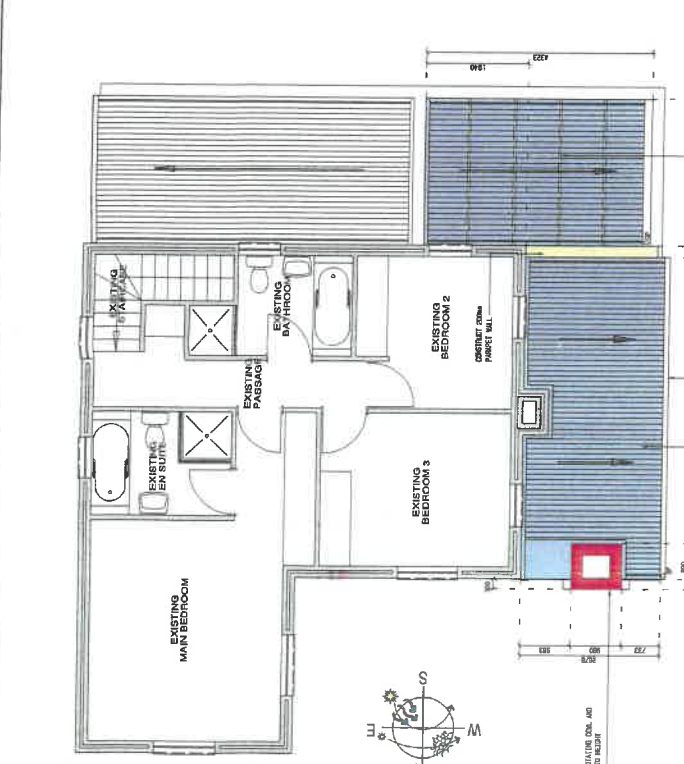
DRAWING:
B. H. BROWER

SIGNATURE:
[Signature]

SCALE:
A1 - 1:50 / AS SHOWN

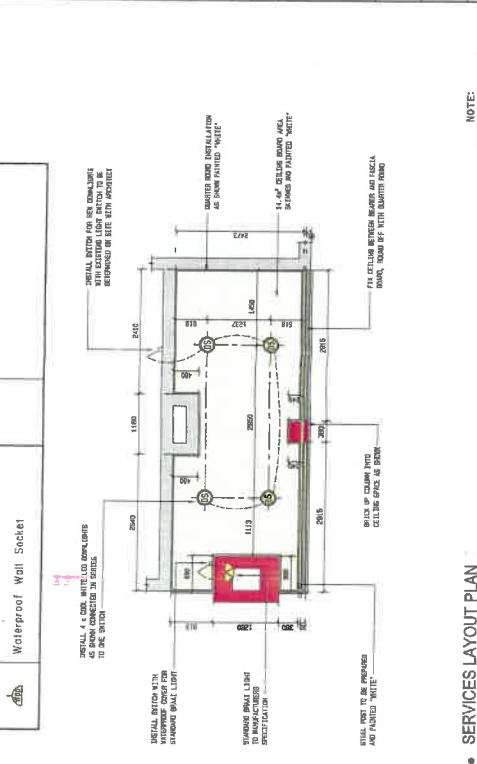
DATE:
JULY 2023

DRAWING NUMBER:
2107/02/REV2



• FIRST STOREY
Scale 1:50

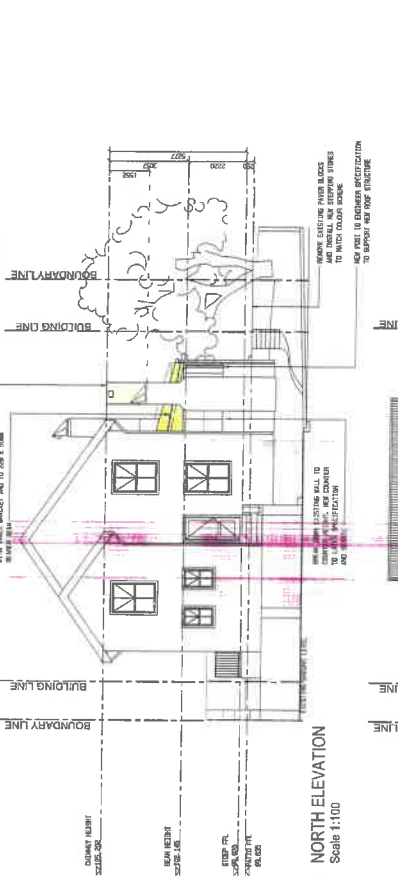
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
(Symbol)	Downlight Spot	(Symbol)	Light Conduit
(Symbol)	Wall Mounted Light	(Symbol)	Wall Switch
(Symbol)	Waterproof Wall Socket		



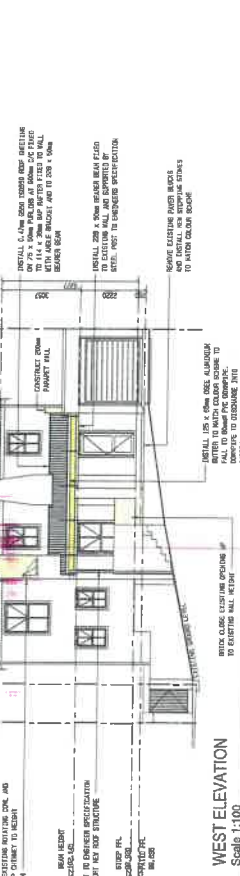
• SERVICES LAYOUT PLAN
Scale 1:50



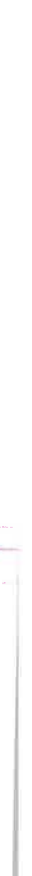
• EAST ELEVATION
Scale 1:100



• SOUTH ELEVATION
Scale 1:100



• NORTH ELEVATION
Scale 1:100



• WEST ELEVATION
Scale 1:100

WELGEOYONDEN
11111111
Erf 14805
Erf 14806
Erf 14807

RATEPAYERS/HWC/BCH/ROA CONSENT

ABUTTING OWNERS CONSENT
Erf 14810
Erf 14808
Erf 14807

GUTTER & DOWNPIPE CALCS:
Existing Gutter Capacity Calculations
Water Rainfall 80mm according to
SANS 10400-6: 2012 (Table 2)
Roof Area 15.6m²
15.6m² x 80mm = 1248
√1248 = 35.33
• Install 125 x 85mm Domestic "Ogee"
0.6mm aluminium gutter with brackets
as supplied by manufacturer fixed
at 600mm C/C.

Existing Gutter Roof Downpipe Calculations
75 x 50 rectangular or 60mmØ can
discharge 252ℓ of roof surface
or
100 x 75 rectangular or 110mmØ can
discharge 150ℓ of roof surface.
Roof Area 15.6m² / 75mm² = 0.21
• 1 x Downpipe is needed
Install one 80mmØ PVC Downpipe as
shown on plan and elevations to
match existing

Current Roof Gutter Calculations
Water Rainfall 80mm according to
SANS 10400-6: 2012 (Table 2)
Roof Area 11.7m² x 80mm = 936
√936 = 30.59
• Install 125 x 85mm Domestic "Ogee"
0.6mm aluminium gutter with brackets
as supplied by manufacturer fixed
at 600mm C/C.

Current Roof Downpipe Calculations
75 x 50 rectangular or 60mmØ can
discharge 75ℓ of roof surface
or
100 x 75 rectangular or 110mmØ can
discharge 150ℓ of roof surface.
Roof Area 11.7m² / 75mm² = 0.16
• 1 x Downpipe is needed
Install one 80mmØ PVC Downpipe as
shown on plan and elevations to
match existing

ANY PERCEIVED INADEQUACIES OR CONTRADICTIONS
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WITH THE ARCHITECT

NOTE: ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH EACH OTHER