



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/13840

Our File Reference Number: Erf 14744, Stellenbosch

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 808 8682

Email address: Ulrich.Vonmolendorff@stellenbosch.gov.za

PER E-MAIL [REDACTED]

Sir

APPLICATION FOR DEPARTURE: ERF 14744, WILDEKLAWER STREET, WELGEVONDEN, STELLENBOSCH

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:

2.1 That the application for a Departure on Erf 14744, Stellenbosch in terms of Section 15(2)(b) of the Stellenbosch Municipal Land Use Planning Bylaw 2015 in order to relax the common building line from 1.5m to 0m for the proposed braai area and the street building line from 2m to 0.850m for a swimming pool on Erf 14744, Stellenbosch as indicated on DWG NO: 100 PROJ: IV4326 dated 24 OCT 2021 and drawn by Ian H. Gordon Architectural Technologist.

BE APPROVED in terms of Section 60 of the said Bylaw and subject to conditions of approval.

2.2 The approval is subject to the following conditions imposed in terms of Section 66 of said Bylaw:

2.2.1 The approval only applies to the proposed departures under consideration and shall not be construed as authority to depart from any other legal prescriptions or requirements from Council or other legislation or Bylaws or Regulations that may be applicable.

2.2.2 The development and final building plans must be undertaken generally in accordance with the building plan as referenced, DWG NO: 100 PROJ: IV4326

dated 24 OCT 2021 and drawn by Ian H. Gordon Architectural Technologist and attached as **Annexure B**.

2.2.3 The approval granted shall not exempt the applicant from complying with any other legal prescriptions or requirements that might have a bearing on the proposed use.

2.3 The reasons for the above decision are as follows:

2.3.1 The encroachment of the building lines does not undermine the character of the area due to the use (swimming pool and braai area) and the small scale thereof.

2.3.2 The proposal is subsequently in line with the existing land use of the property and will not have a negative impact on the character of the surrounding area.

2.3.3 The proposed developments would not negatively affect the aesthetic appearance of the dwelling, property or surrounding environment and the primary use of the property will remain residential.

3. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.

4. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:

(a) The personal particulars of the Appellant, including:

- (I) First names and surname;
- (II) ID number;
- (III) Company of Legal person's name (if applicable)
- (IV) Physical Address;
- (V) Contact details, including a Cell number and E-Mail address;

(b) Reference to this correspondence and the relevant property details on which the appeal is submitted.

(c) The grounds of the appeal which may include the following grounds:

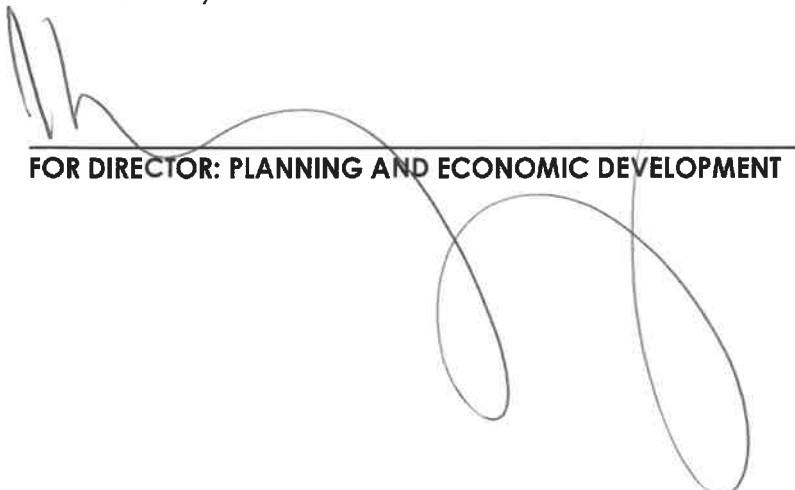
- (i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);
 - (ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.
- (d) whether the appeal is lodged against the whole decision or a part of the decision;
- (e) if the appeal is lodged against a part of the decision, a description of the part;
- (f) if the appeal is lodged against a condition of approval, a description of the condition;
- (g) the factual or legal findings that the appellant relies on;
- (h) the relief sought by the appellant; and
- (i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;
- (j) That the appeal includes the following declaration by the Appellant:
- (i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
 - (ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.

5. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address: landuse.appeals@stellenbosch.gov.za

6. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.

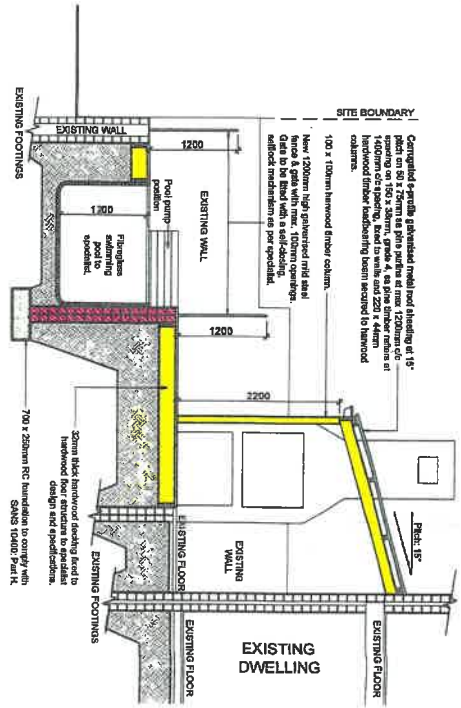
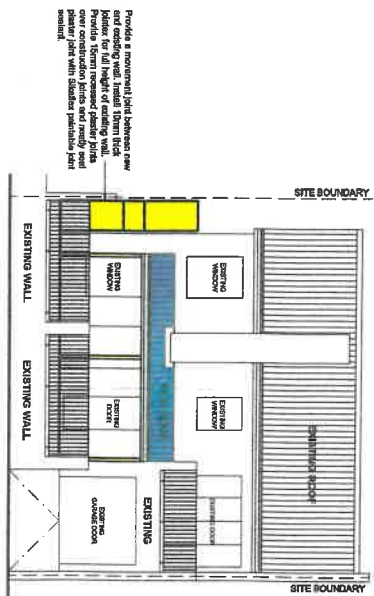
7. The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking details for the General Account can also be accessed on the municipal website (<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).
8. An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
 - (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
 - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
 - (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
 - (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.
9. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.
10. Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully



FOR DIRECTOR: PLANNING AND ECONOMIC DEVELOPMENT

21/4/2022
DATE:

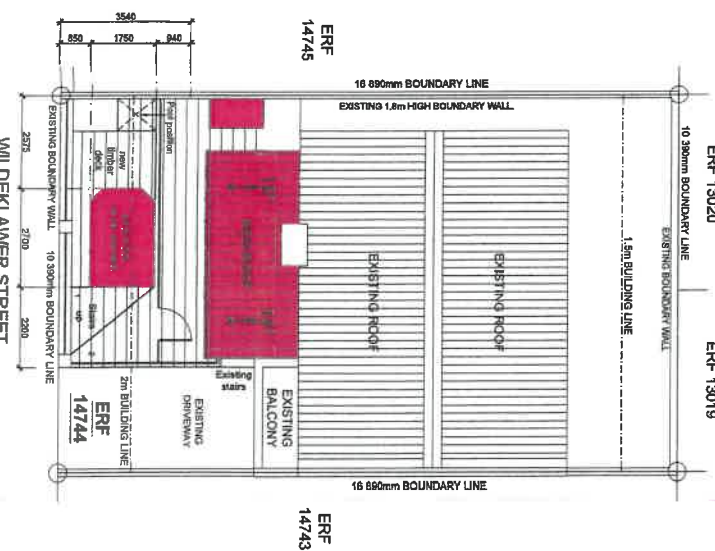
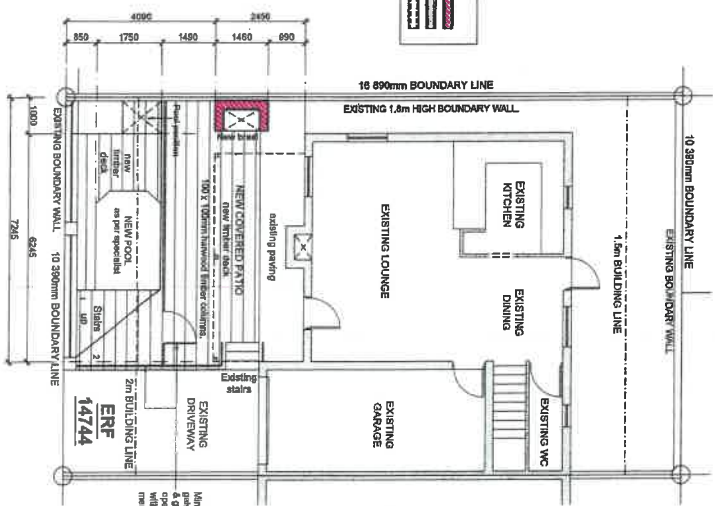


Provide a movement joint between new and existing wall. Install 100mm RIGID POLYSTYRENE INSULATION BOARD over construction. Fix to existing wall with stainless stainless panhead pins.

Completed 4-ply precast reinforced mesh roof sheeting at 15° pitch on 50 x 75mm timber joists at max 1200mm o/c. 1400mm o/c spanning. The gable end shall be precast reinforced concrete at 1400mm o/c spanning. Reinforcing steel shall be provided in accordance with AS 3600. Reinforcing steel shall be provided in accordance with AS 3600. Reinforcing steel shall be provided in accordance with AS 3600.

700 x 200mm RIG reinforced to comply with SANS 10400-Part 1.

LEGEND:
 NEW WALLS
 EXISTING WALLS
 DEMOLISHED



N-W ELEVATION SCALE 1:100

SECTION A-A SCALE 1:50

GROUND FLOOR PLAN SCALE 1:100

SITE & ROOF PLAN SCALE 1:100

General Notes:

Contractor and Sub-Contractor to check all levels and dimensions on site before any work is commenced and any discrepancies to be reported to the Architect. Provide dimensions to be shown in preference to actual measurements and large scale details. All work shall be done in accordance with the latest edition of the relevant standards and specifications. All plans shall be higher than 100mm and at a height of 1000mm from finished floor level to be 600mm. All centres below floor level to be 100mm. All centres below floor level to be 100mm. All centres below floor level to be 100mm.

Specification Notes:

AREA CALCULATION:	
REF SIZE:	77sqm
EXISTING DWELING:	156sqm
NEW COVERED PATIO:	134sqm
TOTAL:	468sqm
COVERABLE:	48.3%

REVISIONS: (See shaded areas)

WELGEVONDEN ESTATE

WILDEKLAAR STREET
 Estate Manager
 Gavin Marx
 Estate Buyer/Architect
 Francois Wilsan
 Date of approval: January 2022



CLIENT: MR. N. FULLARD

PROJECT TITLE:
 PROPOSED NEW ADDITIONS & SWIMMING POOL ON ERF 14744, WELGEVONDEN ESTATE, STELLENBOSCH

PLANS, SECTIONS & ELEVATIONS

NO. DATE
 1:00 1/4/2022
 1:100 1/10/2022
 1:50 24 OCT 2022

COUNCIL SUBMISSION