



Application Number: LU/12518

Our File Reference Number: Erf 14538 Stellenbosch

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 – 808 8682

Email address: [Ulrich.Vonmolendorff@stellenbosch.gov.za](mailto:Ulrich.Vonmolendorff@stellenbosch.gov.za)

**PER E-MAIL:** [REDACTED]

Sir / Madam

**APPLICATION FOR DEPARTURE: ERF 14538, 4 SUIKERBOS STREET, STELLENBOSCH**

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:
  - 2.1 Application in terms of section 15(2)(b) of the Stellenbosch Municipality Land Use Planning Regulations as Promulgated in 2015 to relax the common building line (adjacent to Erf 14539) from 1,5m to 0m in order to accommodate the proposed additions on the ground floor (scullery) and first floor (bedroom with en-suite) of the existing dwelling on Erf 14538, Stellenbosch.

**BE APPROVED** in terms of Section 60 of the said bylaw, subject to conditions in terms of Section 66 of the said Bylaw.

**3. Conditions of approval:**

- 3.1 That this approval applies only to the departure in question as per Site and floor layout plan 19-011, drawn by Red Atlantic Architecture and shall not be construed as authority to depart from any legal prescriptions or requirements;
- 3.2 Appropriate caution shall be taken during construction to prevent damage to existing electrical equipment in the vicinity. Should damage occur, the applicant will be liable for the cost involved repairing damages;

3.3 This approval shall lapse if not acted upon within a period of five years from the date of the final letter of approval;

3.4 Building plans for the proposed buildings must be submitted to this Municipality for consideration prior to any building work being undertaken.

4. **The reasons for the above decision are as follows:**

4.1 The proposal will not have any negative impact on the privacy of the adjacent property owner (Erf 14539) as there are no habitable structures adjacent to the proposed additions on the first floor of the subject property.

4.2 The proposal is residential in nature and will not detract from the character of the area.

5. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.

6. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:

(a) The personal particulars of the Appellant, including:

- (I) First names and surname;
- (II) ID number;
- (III) Company of Legal person's name (if applicable)
- (IV) Physical Address;
- (V) Contact details, including a Cell number and E-Mail address;

(b) Reference to this correspondence and the relevant property details on which the appeal is submitted.

(c) The grounds of the appeal which may include the following grounds:

- (i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);

(ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.

(d) whether the appeal is lodged against the whole decision or a part of the decision;

(e) if the appeal is lodged against a part of the decision, a description of the part;

(f) if the appeal is lodged against a condition of approval, a description of the condition;

(g) the factual or legal findings that the appellant relies on;

(h) the relief sought by the appellant; and

(i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;

(j) That the appeal includes the following declaration by the Appellant:

(i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct

(ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.

7. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address: [landuse.appeals@stellenbosch.gov.za](mailto:landuse.appeals@stellenbosch.gov.za)

8. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.

9. The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking details for the General Account can also be accessed on the municipal website (<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).

10. An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
- (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
  - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
  - (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
  - (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.
11. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.
12. Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully



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**FOR: DIRECTOR PLANNING AND ECONOMIC DEVELOPMENT**

21/9/2021  
**DATE:**

COPIES TO:





**STELLENBOSCH**  
STELLENBOSCH • PNIEL • FRANSCHHOEK  
MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

# ANNEXURE C

(DEPARTURE ON ERF 14538, STELLENBOSCH)

SITE & FLOOR PLAN

**CONTRACTOR'S OBLIGATION:** The contractor shall be responsible for the design and construction of the electrical system in accordance with the approved drawings and specifications. The contractor shall be responsible for the coordination of the electrical system with the other trades and for the protection of the existing services. The contractor shall be responsible for the safety of the work and for the compliance with the applicable laws and regulations. The contractor shall be responsible for the completion of the work within the agreed time and budget. The contractor shall be responsible for the maintenance and repair of the electrical system. The contractor shall be responsible for the training of the staff. The contractor shall be responsible for the documentation of the work. The contractor shall be responsible for the communication with the client and the other stakeholders. The contractor shall be responsible for the quality of the work. The contractor shall be responsible for the safety of the work. The contractor shall be responsible for the compliance with the applicable laws and regulations. The contractor shall be responsible for the completion of the work within the agreed time and budget. The contractor shall be responsible for the maintenance and repair of the electrical system. The contractor shall be responsible for the training of the staff. The contractor shall be responsible for the documentation of the work. The contractor shall be responsible for the communication with the client and the other stakeholders. The contractor shall be responsible for the quality of the work. The contractor shall be responsible for the safety of the work. The contractor shall be responsible for the compliance with the applicable laws and regulations.

**CLIENT'S OBLIGATION:** The client shall be responsible for the provision of the site and for the access to the site. The client shall be responsible for the provision of the necessary information and documents. The client shall be responsible for the payment of the fees and charges. The client shall be responsible for the coordination of the project. The client shall be responsible for the approval of the drawings and specifications. The client shall be responsible for the completion of the work within the agreed time and budget. The client shall be responsible for the maintenance and repair of the electrical system. The client shall be responsible for the training of the staff. The client shall be responsible for the documentation of the work. The client shall be responsible for the communication with the contractor and the other stakeholders. The client shall be responsible for the quality of the work. The client shall be responsible for the safety of the work. The client shall be responsible for the compliance with the applicable laws and regulations.

**WELGEWONDEN ERSTE/LANDGOED**  
 Date of approval: \_\_\_\_\_  
 Name: \_\_\_\_\_  
 Position: \_\_\_\_\_  
 Signature: \_\_\_\_\_

**RED ATLANTIC architecture**  
 Project description:  
 ERF 14539, Welgevonden Estate,  
 4 Starfield Street,  
 Stellenbosch

**House Smart**

Project description:  
 Additions and Alterations

Sheet description:  
 Site and Roof Plans, Floor Plans,  
 Electrical Plans, Door and Window Schedule

Project number:  
 19-011

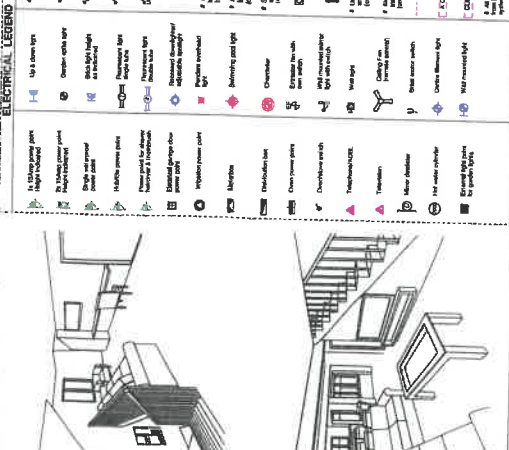
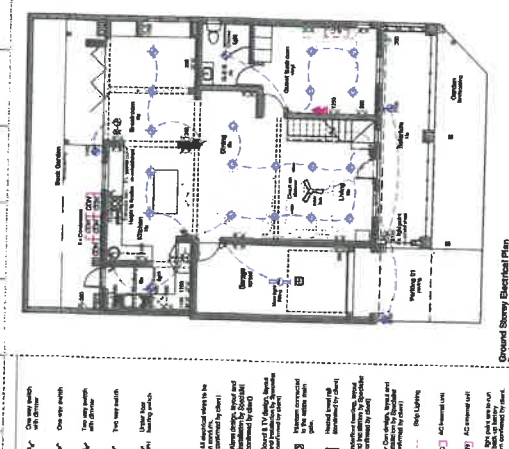
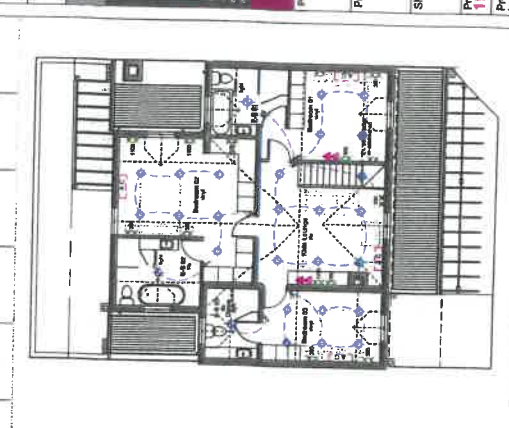
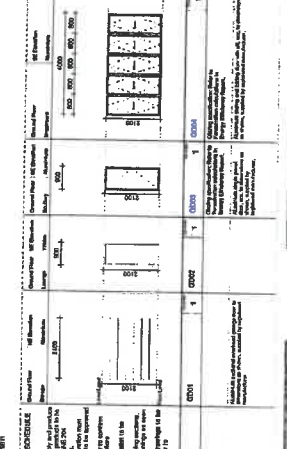
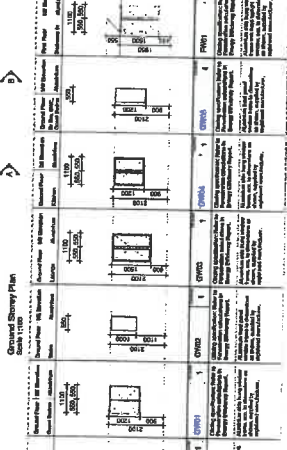
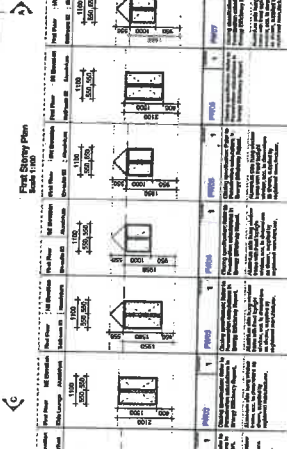
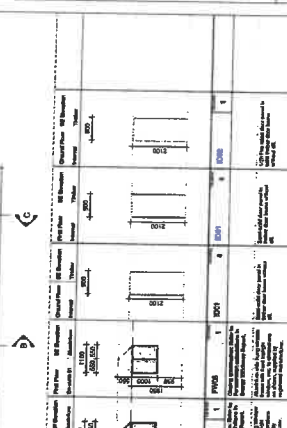
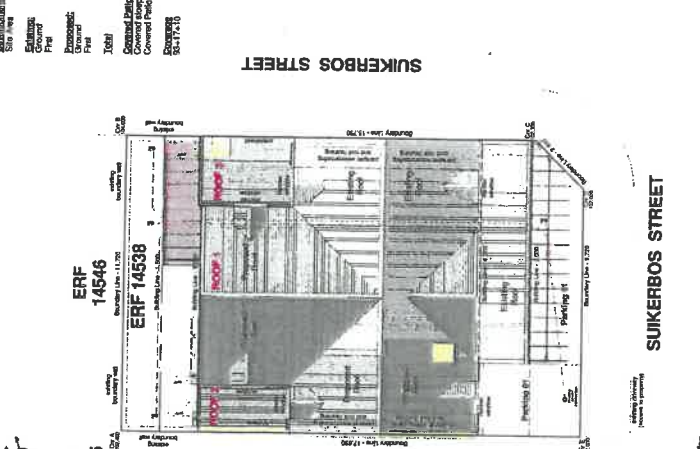
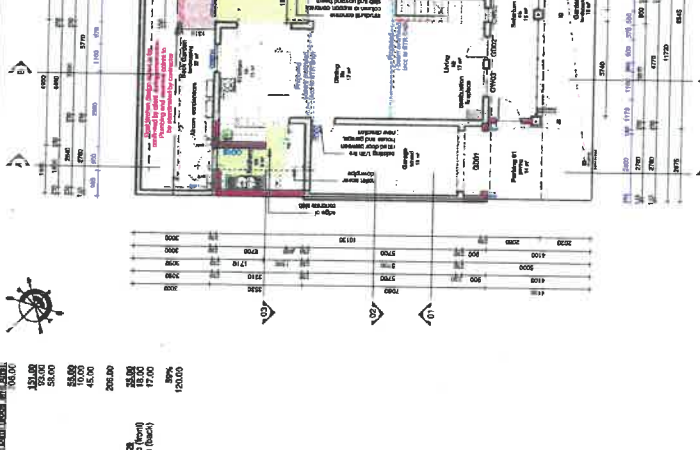
Project status:  
 Design

Project Date:  
 17/01/2020

Designed by:  
 R.V.

Scale:  
 1:100

Page Size:  
 A1



**Development Data (Scale 1:500)**

Site Area	131.40
Site Coverage	53.00
Site Area	53.00
Site Area	45.00
Site Area	203.00
Site Area	18.00
Site Area	17.00
Site Area	89%
Site Area	120.00

**ERF 14546**  
 Boundary Line 1:100

**ERF 14539**  
 Boundary Line 1:100

**ERF 14545**  
 Boundary Line 1:100

**SUIKERBOS STREET**

**SUIKERBOS STREET**

**SUIKERBOS STREET**

**Electrical Legend**

1. 100mm depth	2. On site switch	3. 100mm depth	4. 100mm depth	5. 100mm depth	6. 100mm depth	7. 100mm depth	8. 100mm depth	9. 100mm depth	10. 100mm depth	11. 100mm depth	12. 100mm depth	13. 100mm depth	14. 100mm depth	15. 100mm depth	16. 100mm depth	17. 100mm depth	18. 100mm depth	19. 100mm depth	20. 100mm depth	21. 100mm depth	22. 100mm depth	23. 100mm depth	24. 100mm depth	25. 100mm depth	26. 100mm depth	27. 100mm depth	28. 100mm depth	29. 100mm depth	30. 100mm depth	31. 100mm depth	32. 100mm depth	33. 100mm depth	34. 100mm depth	35. 100mm depth	36. 100mm depth	37. 100mm depth	38. 100mm depth	39. 100mm depth	40. 100mm depth	41. 100mm depth	42. 100mm depth	43. 100mm depth	44. 100mm depth	45. 100mm depth	46. 100mm depth	47. 100mm depth	48. 100mm depth	49. 100mm depth	50. 100mm depth	51. 100mm depth	52. 100mm depth	53. 100mm depth	54. 100mm depth	55. 100mm depth	56. 100mm depth	57. 100mm depth	58. 100mm depth	59. 100mm depth	60. 100mm depth	61. 100mm depth	62. 100mm depth	63. 100mm depth	64. 100mm depth	65. 100mm depth	66. 100mm depth	67. 100mm depth	68. 100mm depth	69. 100mm depth	70. 100mm depth	71. 100mm depth	72. 100mm depth	73. 100mm depth	74. 100mm depth	75. 100mm depth	76. 100mm depth	77. 100mm depth	78. 100mm depth	79. 100mm depth	80. 100mm depth	81. 100mm depth	82. 100mm depth	83. 100mm depth	84. 100mm depth	85. 100mm depth	86. 100mm depth	87. 100mm depth	88. 100mm depth	89. 100mm depth	90. 100mm depth	91. 100mm depth	92. 100mm depth	93. 100mm depth	94. 100mm depth	95. 100mm depth	96. 100mm depth	97. 100mm depth	98. 100mm depth	99. 100mm depth	100. 100mm depth
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**Ground Storey Electrical Plan**  
 Scale 1:100

**First Storey Electrical Plan**  
 Scale 1:100

**Ground Storey Area Plan**  
 Scale 1:200

**First Storey Area Plan**  
 Scale 1:200

**Ground Storey Area Plan**  
 Scale 1:200

**First Storey Area Plan**  
 Scale 1:200



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**Project Description:** 4011 14th Avenue SW, West Vancouver, BC V8M 2G8. **Client:** House Swart. **Architect:** Red Atlantic Architecture, Inc. **Project Number:** 19-011. **Sheet Number:** 201. **Scale:** As Indicated. **Page Size:** A1.

**RED ATLANTIC architecture**

**House Swart**

4011 14th Avenue SW, West Vancouver, BC V8M 2G8

Project description: 4011 14th Avenue SW, West Vancouver, BC V8M 2G8

Sheet description: Elevations, Sections, Description Notes

Project number: 19-011

Sheet number: 201

Project status: Drawn by: [Name], Checked by: [Name], Date: [Date]

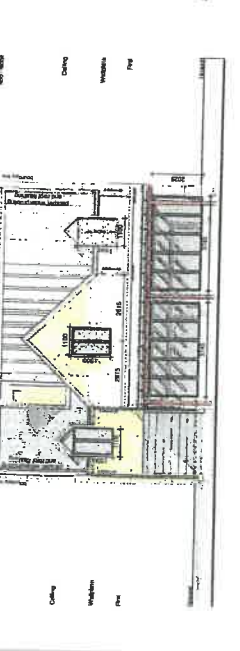
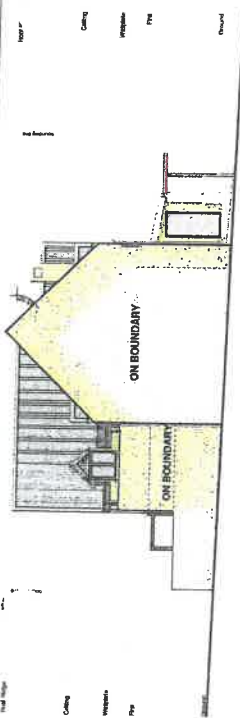
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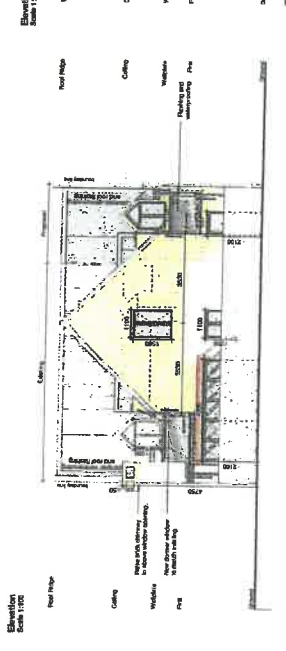
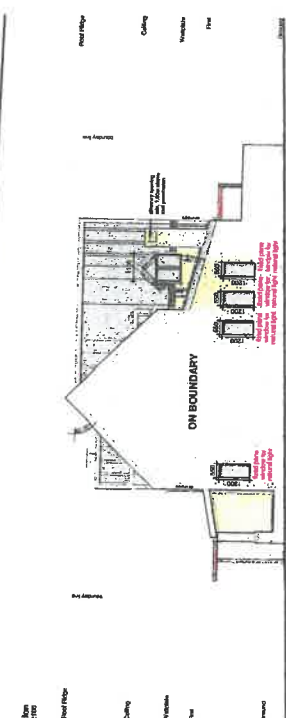
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1. All dimensions are in millimeters unless otherwise indicated.
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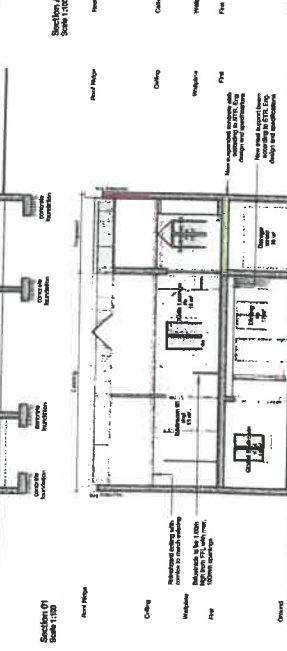
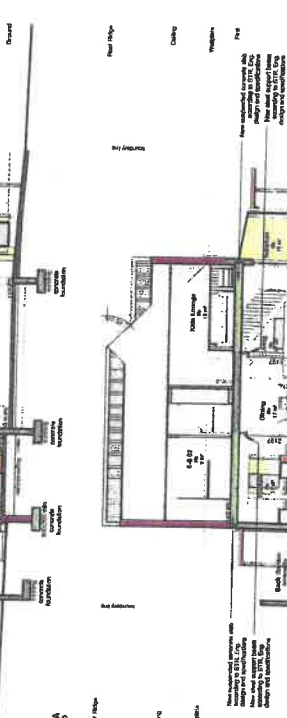
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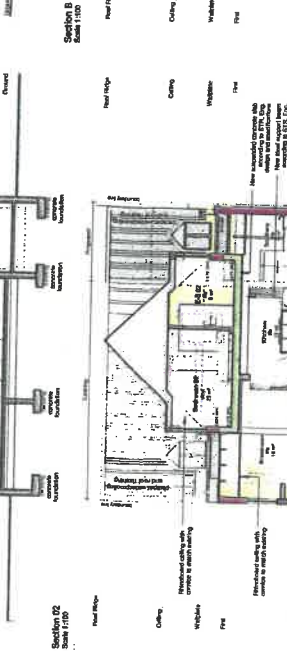
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