



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/13134

Our File Reference Number: Erf 13634, Stellenbosch

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 – 808 8682

Email address: Ulrich.Vonmolendorff@stellenbosch.gov.za

PER E-MAIL: [REDACTED]

Sir / Madam

APPLICATION FOR DEPARTURE: ERF 13634, 33 RUSTENBURG STREET, IDASVALLEY

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:
 - 2.1 Departure in terms of Section 15(2)(b) of the Stellenbosch Municipality Land Use Planning Bylaw, 2015 to relax the street building line from 4.5m to 3.3m and the common building line from 2.5m to 1.57m (rear) and to 1.5m (both sides) in order to accommodate the proposed extensions to the existing dwelling house on Erf 13634, Stellenbosch as indicated on drawing no. 4-1 – 4-4, dated January 2010 and drawn by Don Poerstamper plan & design services
 - 2.2 Departure in terms of Section 15(2)(b) of the Stellenbosch Municipality Land Use Planning Bylaw, 2015 to exceed the permissible coverage from 60% to 65% in order to accommodate the proposed extensions to the existing dwelling house on Erf 13634, Stellenbosch as indicated on drawing no. 4-1 – 4-4, dated January 2010 and drawn by Don Poerstamper plan & design services.

BE APPROVED in terms of Section 60 of the said bylaw, subject to conditions in terms of Section 66 of the said Bylaw.

3. Conditions of Approval

3.1 The approval shall lapse if not acted upon within a period of five years from the date of final letter of approval;

3.2 The approval shall be taken to cover only the departure applied for and shall not be construed as authority to depart from any other Council requirements or legal provisions;

3.3 Building plans must be submitted to this Municipality for approval prior to any building work commencing on site.

4. The reasons for the above decision are as follows:

(a) Minimal impact to the existing streetscape and character of surrounding area;

(b) Extension will be used for residential purposes, which is in line with the existing use of the property.

(c) The proposal is seen as a form of sensible densification and makes provision for on-site parking.

5. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.

6. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:

(a) The personal particulars of the Appellant, including:

(I) First names and surname;

(II) ID number;

(III) Company of Legal person's name (if applicable)

(IV) Physical Address;

(V) Contact details, including a Cell number and E-Mail address;

(b) Reference to this correspondence and the relevant property details on which the appeal is submitted.

- (c) The grounds of the appeal which may include the following grounds:
 - (i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);
 - (ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.
- (d) whether the appeal is lodged against the whole decision or a part of the decision;
- (e) if the appeal is lodged against a part of the decision, a description of the part;
- (f) if the appeal is lodged against a condition of approval, a description of the condition;
- (g) the factual or legal findings that the appellant relies on;
- (h) the relief sought by the appellant; and
- (i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;
- (j) That the appeal includes the following declaration by the Appellant:
 - (i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
 - (ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.

7. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address: landuse.appeals@stellenbosch.gov.za
8. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.

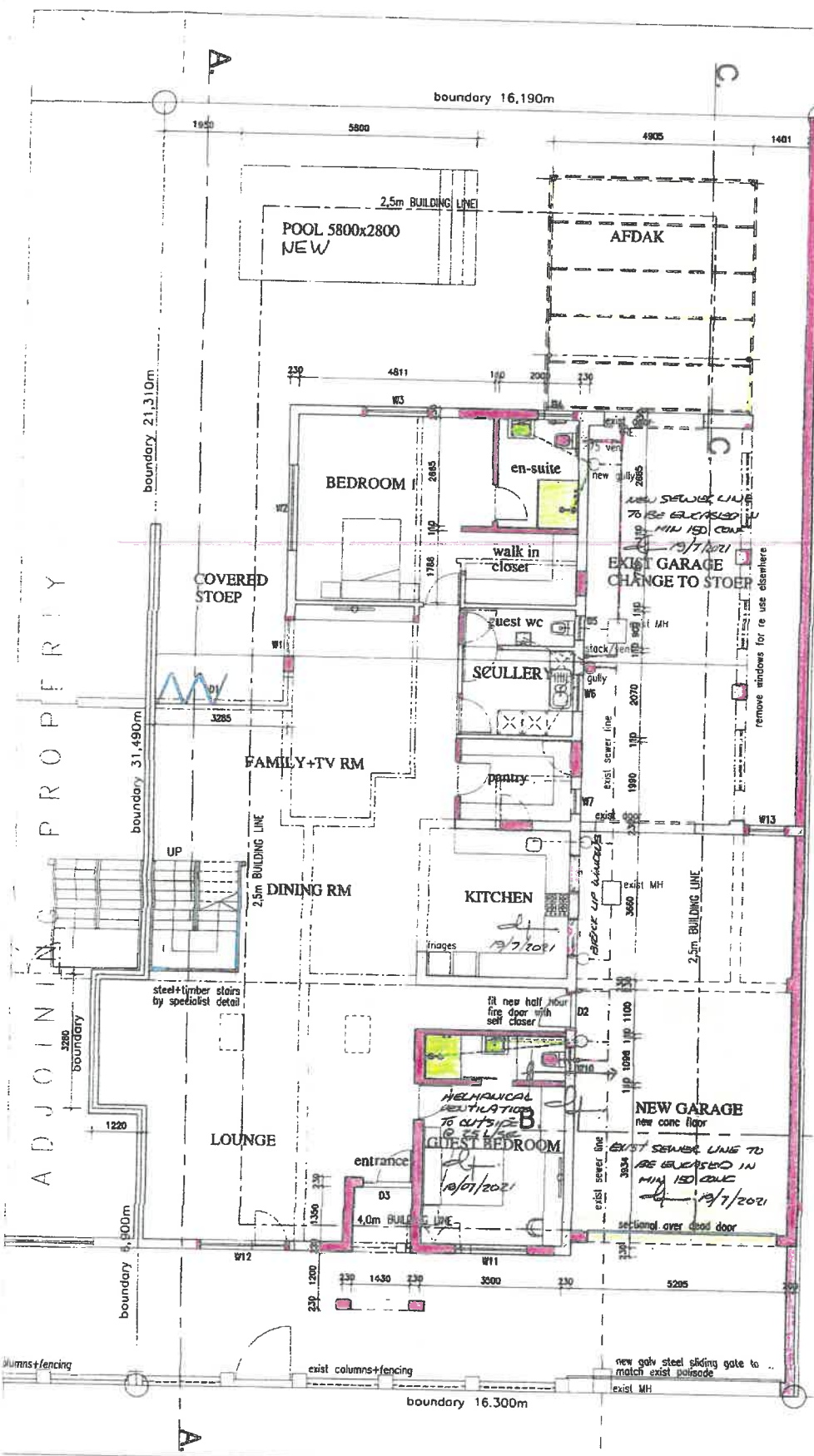
9. The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking details for the General Account can also be accessed on the municipal website (<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).
10. An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
- (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
 - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
 - (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
 - (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.
11. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.
12. Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully



FOR: DIRECTOR PLANNING AND ECONOMIC DEVELOPMENT

11/12/2021
DATE:



GENERAL NOTES:

- ALL LEVELS, DIMENSIONS TO BE CHECKED BY CONTRACTOR ON SITE BEFORE COMMENCING WITH ANY WORK
- ALL BUILDING WORK TO COMPLY WITH NATIONAL BUILDING AND MUNICIPAL BUILDING REGULATIONS.
- ALL CONCRETE WORK TO BE IN ACCORDANCE WITH ENGINEERS DRAWINGS AND DETAILS.
- ALL PLUMBING TO COMPLY WITH SABS LOCAL AUTHORITY RECS EACH MAIN DRAIN OR BRANCH TO BE VENTED
- GARAGE FFL TO BE MIN 150mm ABOVE BACK OF FOOTWAY LEVEL AT THE DRIVEWAY ENTRANCE
- HOUSE FFL TO BE MIN 230mm ABOVE BACK OF FOOTWAY LEVEL AT SEWER CONNECTION
- PROVIDE MIN 2.5 WALL THES PER METER SQ. TO CAVITY WALLS
- CABLE END WALLS TO BE TIED BACK TO ROOF STRUCTURE WITH GALV HOOP IRON STRAPS 3mmx30mm, WIDE @600mm C/C BENT OVER AND FIXED TO 2 RAFTERS
- TRUSS BRACING TO BE 115x38mm DIAGONAL END BRACING AT 45 DEG. NAILED TO U/S EACH RAFTER AT EACH END OF ROOF IN BOTH PLANES
- STAIRS:
MIN TREADS TO BE 250MM
MAX RISERS TO BE 200MM
- WINDOWS & DOORS:
SEE SCHEDULES FOR DIMENSIONS AND SPECIFICATIONS
NOTE: ALL GLAZED SECTIONS LARGER THAN 1m2 OR CLOSER THAN 500 TO AFFL TO BE SAFETY GLASS.
NOTE: ALL OPENINGS LARGER THAN 2.4m TO HAVE PRECAST LINTELS WITH 4 COURSES BRICKWORK OVER
ALL LAD TO MANUFACTURERS SPECS

- DEMOLISHED WALLS
- EXIST WALLS
- NEW WALLS ON 690X230 FOUNDATIONS

3313 *(Handwritten signature)*

B.

ERF NO 13634	
SITE AREA	515.0m.sq
EXIST. GROUND FLOOR	243.0m.sq
NEW GARAGE+AFDAK	84.0m.sq
TOTAL GROUND FLOOR	327.0m.sq
NEW FIRST FLOOR	107.0m.sq
NEW BALCONY	11.0m.sq
TOTAL FIRST FLOOR	118.0m.sq
TOTAL NEW CONSTRUCTION	202.0m.sq
COVERAGE	331.0m.sq = 64 %

33 RUSTENBURG ROAD
ground+site plan 1:100

3333
(Handwritten signatures)

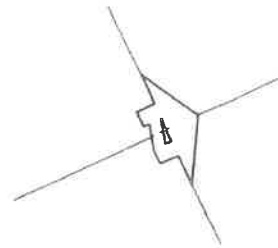
client
Anzel Hossain
Erf 13634
33 Rustenburg Street
Stellenbosch
drawing
Sketch for discussion

job no. 1/1/1
date Jan 2010
scale 1:100
drawing no 4-1
drawn don
rev RO

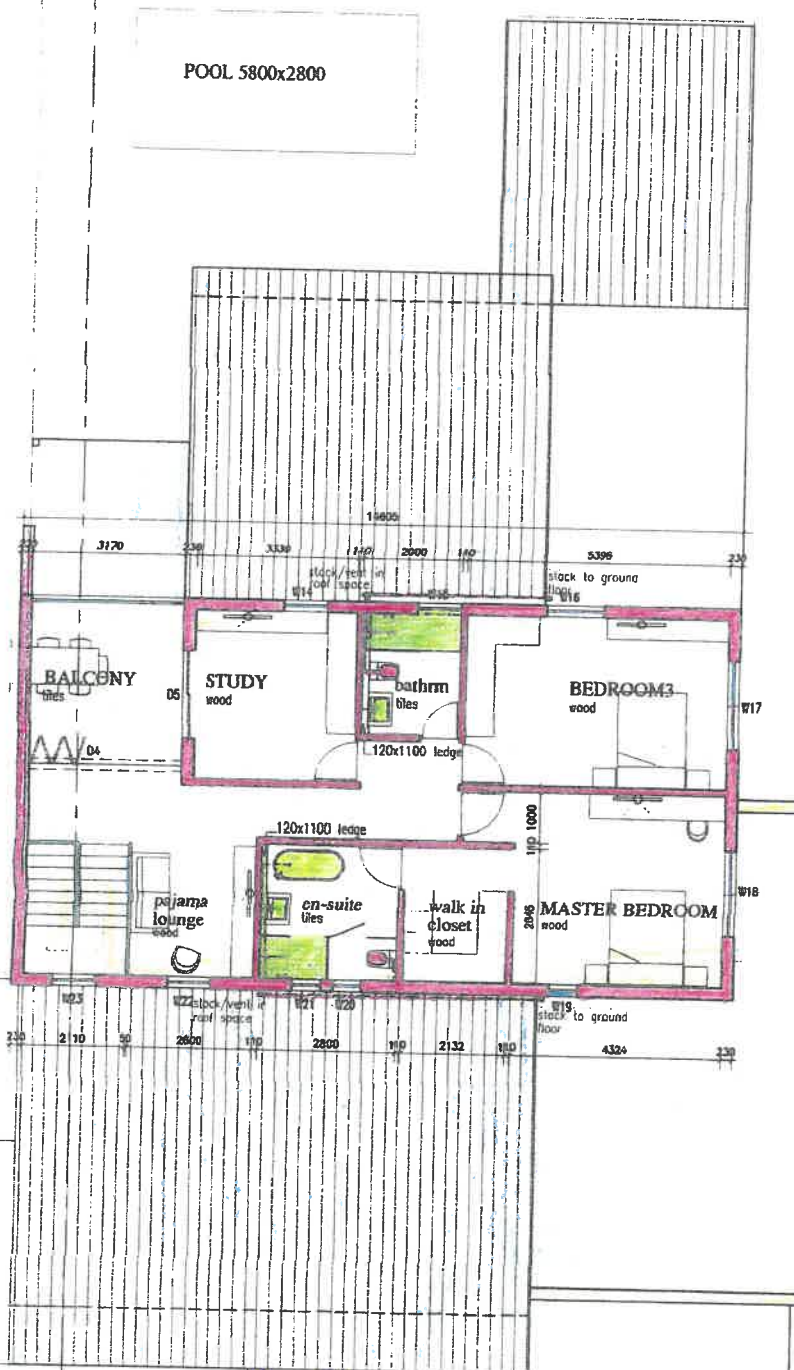
client: *(Signature)*
designer: *(Signature)*
SACAP Reg. No. ST 1393
donpoerstamper
PLAN+DESIGN SERVICES

boundary 16,190m

POOL 5800x2800



ADJOINING PROPERTY



330
3650
118
8030
3650
330

ERF 3313 *N*

first floor+roof plan 1:100

13632 *[Signature]*

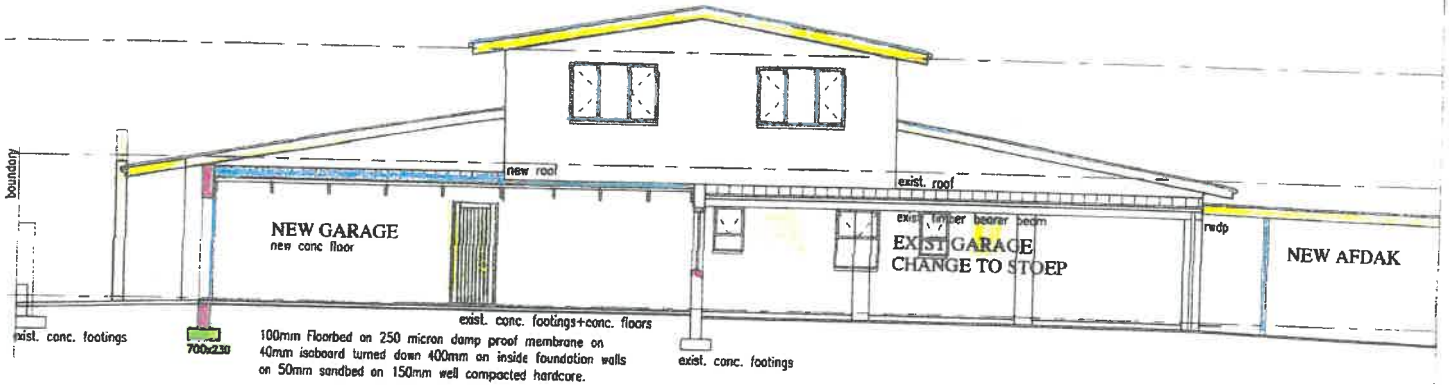
3333 *[Signature]*

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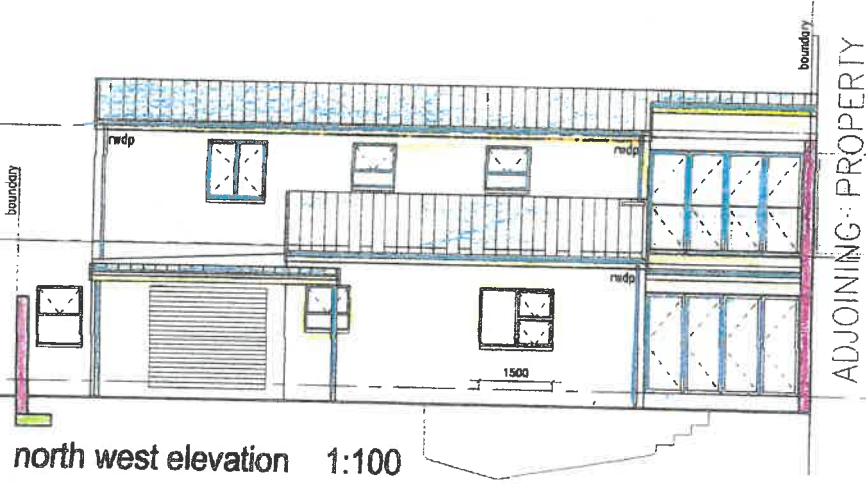
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1/1/1
scale
1:100
drawing no
4-2

date
Jan 2010
drawn
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rev
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client: *[Signature]*
designer: *[Signature]*
SACAP Reg. No. ST 1393
don poerstamper
PLAN DESIGN SERVICES

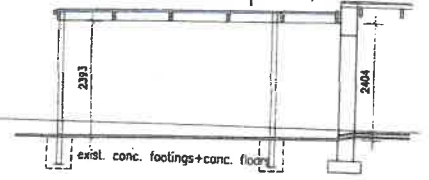


north east elevation 1:100



north west elevation 1:100

1.5deg. diamonddeck 700 -beeing on 50x75mm purlins at max. 1000 c/c. 50x220 pine rafters at 900 c/c all by roof specialist
 7 Pine
 19/7/2021

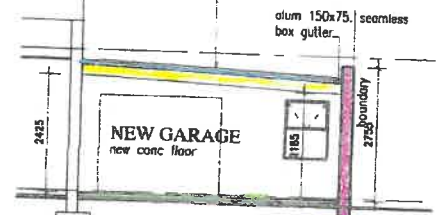


section C-C 1:100



south east elevation 1:100

1.5deg. diamonddeck 700 sheeting on 50x75mm purlins at max. 1000 c/c. 44x220 lam pine rafters at 900 c/c all by roof specialist



section B-B 1:100

13632
[Signature]

3333
[Signature]

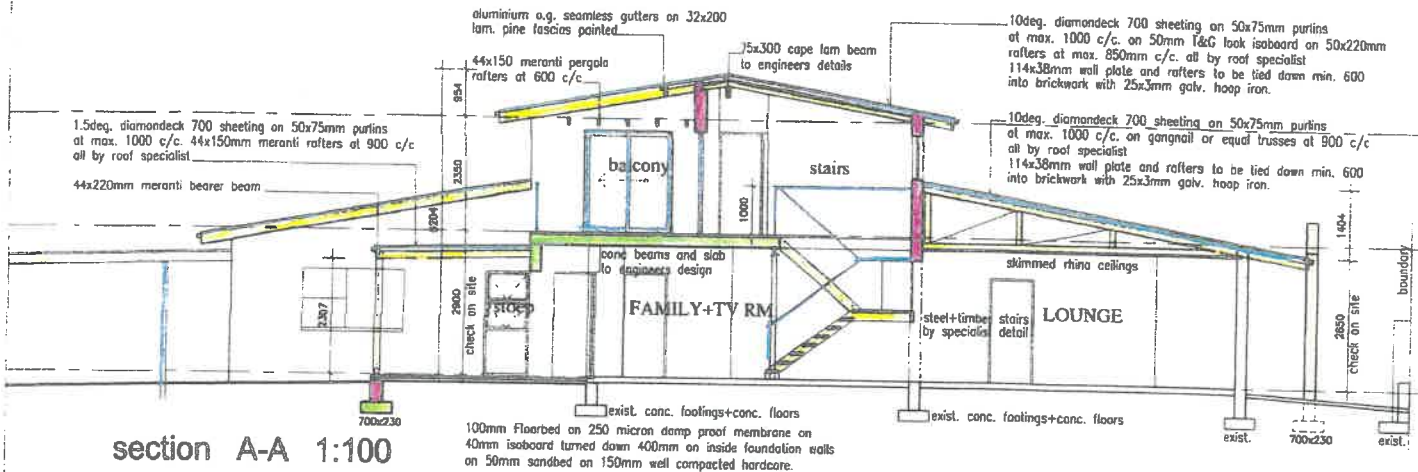
3313
[Signature]

client
 Anzel Hossain
 Erf 13634
 33 Rustenburg Street
 Stellenbosch
 drawing
 Elevations

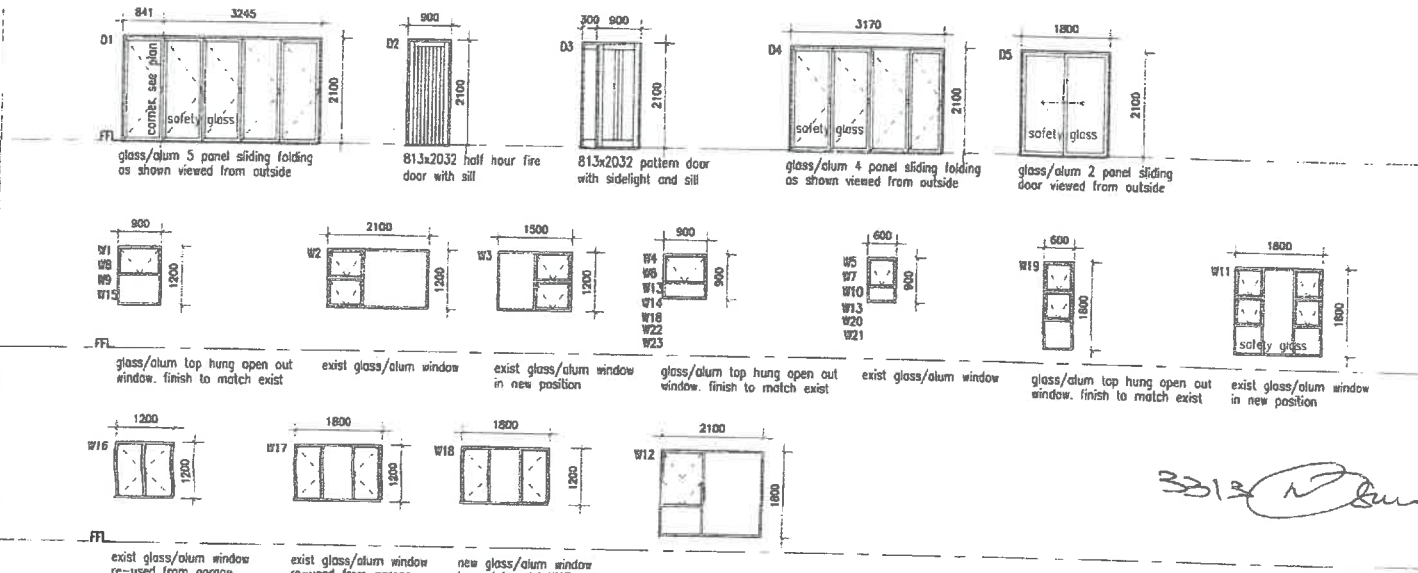
job no.
 1/1/1
 scale
 1:100
 drawing no
 4-3
 date
 Jan 2010
 drawn
 don
 rev
 R0

client
 designer
 SACAP Reg. No. ST 1393

donpoerstamper
 PLAN+DESIGN SERVICES



section A-A 1:100



Doors + Windows 1:100

ENERGY EFFICIENCY INFORMATION:

- FENESTRATION:** Rational design in compliance with acceptable targets for solar heat gain and conductance. Refer H4 sheet for all calculations.
- INSULATION: ROOF**
Roof assembly complies with min R-value of 3.7 in an upwards direction for climate zone 4
Total R value achieved = 4.36
Diamonddeck metal sheeting with mid shade Colorbond finish
R-value = 0.35
Steelion 405 aluminium foil insulation over battens
Total R value achieved = 0.68
Lamdboard laminated polystyrene core board with a minimum core density of 34kg/m³ and minimum thickness of 80mm.
Upper facing to be natural matt mineral-coated fiberglass tissue
Lower facing to be white matt mineral-coated fiberglass tissue supplied in widths of 1220mm, fixing details as per manufacturers instructions
R-value = 3.33
- WALLS:**
Double skin brick with cavity complies to min R-value of 0.35 for climate zone 4
- WATER HEATING AND PIPE INSTALLATION**
>50 % of the volume of the annual hot water supply to be heated by means of solar water heaters and heat pumps
All hot water supply pipes to be fully lagged with either 25mm polyurethane foam or 40mm mineral fiber insulation
R-value 1
- LIGHTING**
All lighting provided will have either energy saver or LED light bulbs.

WATER HEATING CALCULATIONS:

- a H4 Dwelling Occupation 4 beds = 8 people
 - b Usage per person per day = 50 litres
 - c Household consumption per day at 38 degC = 115l/per pers x 8 = 920 litres
Storage volume at 60 degC = 50 litres / per person x 8 = 400 litres
 - d Ambient input temperature = 16 degC
 - e Target output temperature (delivery temperature) = 38 degC
 - f Average difference in temperature = 22 degC
 - g Specific heating of 1 litre of water = 4.182 J/kgK
 - h Daily energy required to heat water = c x f x g = 690 l/day x 22 x 4.182 = 63 482.76kJ/h
= 63.482.76 / 3600 = 17.63 kWh
 - i kWh per day = h divided by 3600 = 63.482.76 / 3600 = 17.63 kWh
50% of energy required to heat water per year = 4 286.75 kWh
 - j Energy requirement to heat water per year = 17.63 kWh x 365 days = 6 443.64 kWh
 - a Storage capacity = 400 litres
 - b flow rate = 12-14.5l/min
 - c heating capacity = 3kW
 - d power consumption = 1.3kW
 - e co-efficient of productivity = 4 COP
 - f adjusted annual average (divide into figure below) = 2.5 COP
 - g annual heat energy = 8 577.5 kWh
heat pump energy usage = less than 50% of energy required = 1 715.5 kWh
than by using a heat resistance device
- Installation complies - 2-off Heatpump spec: 3kw with 200 litre storage
- all hotwater pipes to insulated in fibre material with a min R-value of >150%

FENESTRATION

	GROUND FLOOR	FIRST FLOOR
NETT FLOOR AREA (m ²)	186 sqm	92 sqm
GLAZING AREA (m ²)	26.40sqm	21.24sqm
GLAZING %	14.2%	23.06%
CLIMATIC ZONE	4	4
SANS 204 TABLE 5		
U-Value Constant	1.4	1.4
SHGC Constant	0.13	0.13
U-Value Limit Allowed	260.40	128.80
SHGC Limit Allowed	24.10	11.96
U-Value Limit Achieved	147.84	118.93
SHGC Limit Achieved	9.64	60.8
U-Value Complies?	YES	YES
SHGC Complies?		YES

3333

Don Poer

13632
Don Poer

client
Anzel Hossain
Erf 13634
33 Rustenburg Street
Stellenbosch
drawing
Section/doors+windows

job no.
1/1/1
scale
1:100
drawing no
drawing no 4-4

date
Jan 2010
drawn
don
rev
RO

client : *Don Poer*
designer : *Don Poer*
SACAP Reg. No. ST 1393

don poerstamper
PLAN+DESIGN SERVICES