



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/13386

Our File Reference Number: Erf 13632, Stellenbosch

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 – 808 8682

Email address: Ulrich.Vonmolendorff@stellenbosch.gov.za

PER E-MAIL: [REDACTED]

Sir / Madam

APPLICATION FOR DEPARTURE IN TERMS OF SECTION 15(2)(b) OF THE STELLENBOSCH MUNICIPAL LAND USE PLANNING BYLAW, 2015: ERF 13632, STELLENBOSCH

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:
 - 2.1 That the application for a departure on Erf 13632, Rustenburg Street- Idas Valley- Stellenbosch in terms of Section 15(2)(b) of the Stellenbosch Municipal Land Use Planning Bylaw 2015 to:
 - a. Relax the common building line from 1m to 0m (adjacent to Erf 13634) for the extensions to the existing dwelling on the first-floor level as indicated in drawing No. 4-1 to 4-4, drawn by donpoerstamper plan+design services, dated Jan 2010 **Annexure B.**

BE APPROVED in terms of Section 60 of the said Bylaw and subject to conditions of approval.

- 2.2 The approval is subject to the following conditions imposed in terms of Section 66 of said Bylaw:
 - 2.2.1 The approval will lapse if not implemented/confirmed within five years from the date of final notification of approval of the application.
 - 2.2.2 The approval only applies to the proposed departure under consideration and shall not be construed as authority to depart from any other legal prescriptions or requirements from Council or other legislation or Bylaws or Regulations that may be applicable.

- 2.2.3 The development must be undertaken generally in accordance with the site plan as referenced in Drawing No. 4-1 to 4-4, drawn by don poerstamper plan +design services, dated Jan 2010 and attached as **Annexure B**.
- 2.2.4 The approval granted shall not exempt the applicant from complying with any other legal prescriptions or requirements that might have a bearing on the proposed use.
- 2.2.5 The approval granted shall not be contradictory to any other legislation which has a bearing on the use of the property and that should any other legislation be applicable and be more restrictive then the most restrictive conditions will apply.
- 2.2.6 Building plans must be generally in accordance with the site plan/floor layout plan as referenced in Drawing No. 4-1 to 4-4, drawn by don poerstamper plan+design services, dated Jan 2010 and attached as **Annexure B**.

2.3 The reasons for the above decision are as follows:

- 2.3.1 The proposed development would not negatively affect the aesthetic appearance of the structure, property, or surrounding environment, and the primary use of the property will remain residential

- 3. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.
- 4. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:

(a) The personal particulars of the Appellant, including:

- (I) First names and surname;
- (II) ID number;
- (III) Company of Legal person's name (if applicable)
- (IV) Physical Address;
- (V) Contact details, including a Cell number and E-Mail address;

- (b) Reference to this correspondence and the relevant property details on which the appeal is submitted.
- (c) The grounds of the appeal which may include the following grounds:
 - (i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);
 - (ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.
- (d) whether the appeal is lodged against the whole decision or a part of the decision;
- (e) if the appeal is lodged against a part of the decision, a description of the part;
- (f) if the appeal is lodged against a condition of approval, a description of the condition;
- (g) the factual or legal findings that the appellant relies on;
- (h) the relief sought by the appellant; and
- (i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;
- (j) That the appeal includes the following declaration by the Appellant:
 - (i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
 - (ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.

5. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address: landuse.appeals@stellenbosch.gov.za

6. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.
7. The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking details for the General Account can also be accessed on the municipal website (<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).
8. An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
 - (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
 - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
 - (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
 - (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.
9. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.
10. Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully


FOR DIRECTOR PLANNING AND ECONOMIC DEVELOPMENT

21/4/2022,
DATE:

GENERAL NOTES:

ALL LEVELS, DIMENSIONS TO BE CHECKED BY CONTRACTOR ON SITE BEFORE COMMENCING WITH ANY WORK.
 ALL BUILDING WORK TO COMPLY WITH NATIONAL BUILDING AND MUNICIPAL BUILDING REGULATIONS.
 ALL CONCRETE WORK TO BE IN ACCORDANCE WITH ENGINEERS DRAWINGS AND DETAILS.
 ALL PLUMBING TO COMPLY WITH SABS LOCAL AUTHORITY REGS. EACH MAIN DRAIN OR BRANCH TO BE VENTED.

GARAGE FFL TO BE MIN 150mm ABOVE BACK OF FOOTWAY LEVEL AT THE DRIVEWAY ENTRANCE
 HOUSE FFL TO BE MIN 230mm ABOVE BACK OF FOOTWAY LEVEL AT SEWER CONNECTION

PROVIDE MIN 2.5 WALL TIES PER METER SQ. TO CAVITY WALLS

GABLE END WALLS TO BE TIED BACK TO ROOF STRUCTURE WITH GALV HOOP IRON STRAPS 3mmx30mm WIDE @600mm C/C BENT OVER AND FIXED TO 2 RAFTERS

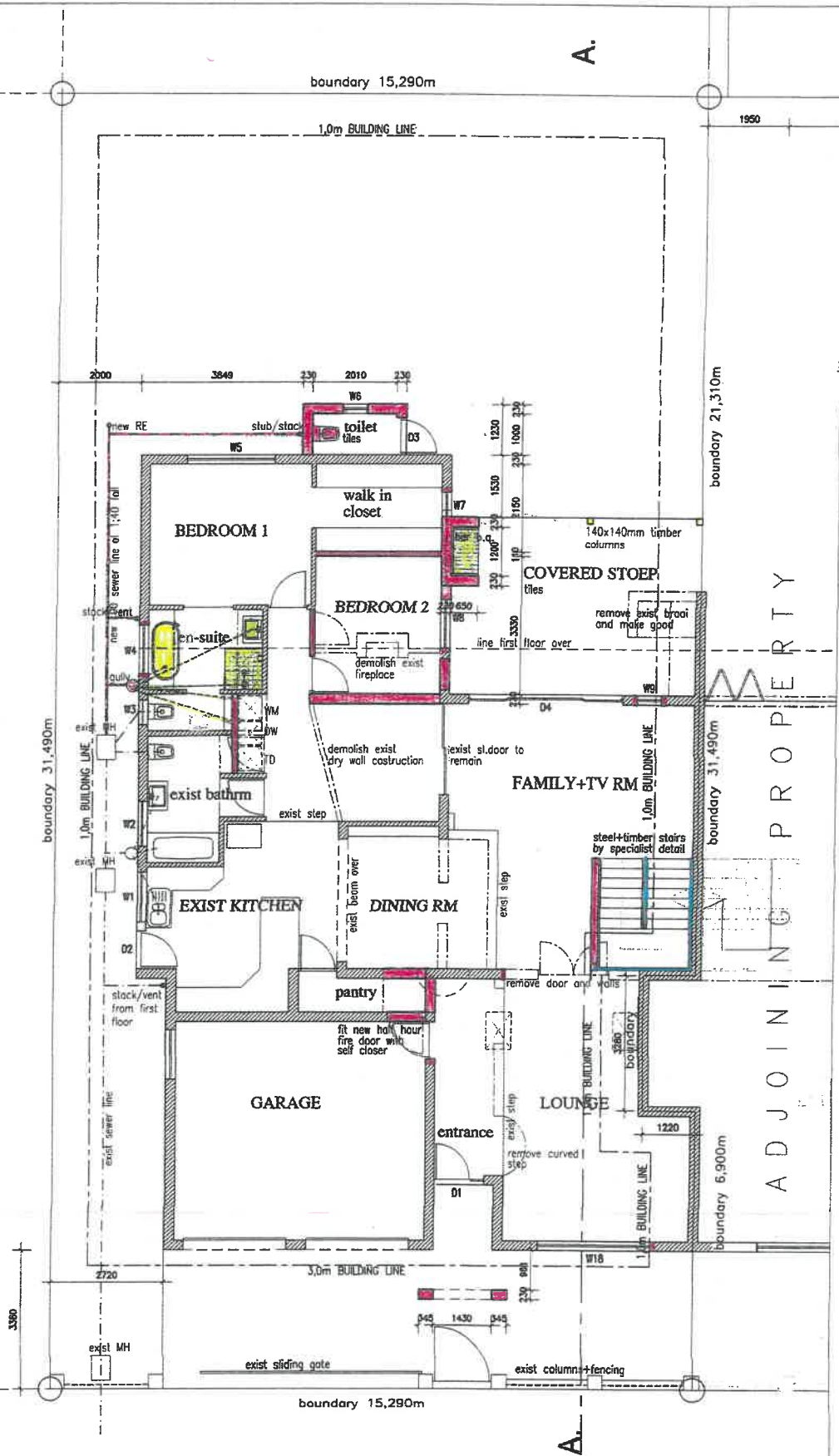
TRUSS BRACING TO BE 115x38mm DIAGONAL END BRACING AT 45 deg. NAILED TO U/S EACH RAFTER AT EACH END OF ROOF IN BOTH PLANES

STAIRS:
 MIN. TREADS TO BE 250MM
 MAX. RISERS TO BE 200MM

WINDOWS & DOORS:
 SEE SCHEDULES FOR DIMENSIONS AND SPECIFICATIONS
 NOTE: ALL GLAZED SECTIONS LARGER THAN 1m² OR CLOSER THAN 500 TO AFFL TO BE SAFETY GLASS.
 NOTE: ALL OPENINGS LARGER THAN 2.4m TO HAVE PRECAST UNTELS WITH 4 COURSES BRICK/FORCE OVER ALL LAID TO MANUFACTURERS SPECS.

- DEMOLISHED WALLS
- EXIST WALLS
- NEW WALLS ON 690X230 FOUNDATIONS

ERF NO 13632	
SITE AREA	475.9m.sq
EXIST. GROUND FLOOR	214.0m.sq
NEW OUTSIDE WC	3.0m.sq
TOTAL GROUND FLOOR	217.0m.sq
NEW FIRST FLOOR	97.0m.sq
NEW BALCONY	10.0m.sq
TOTAL FIRST FLOOR	107.0m.sq
TOTAL NEW CONSTRUCTION	110.0m.sq
COVERAGE 242m.sq =	50 %



ground+site plan 1:100

31 RUSTENBURG ROAD

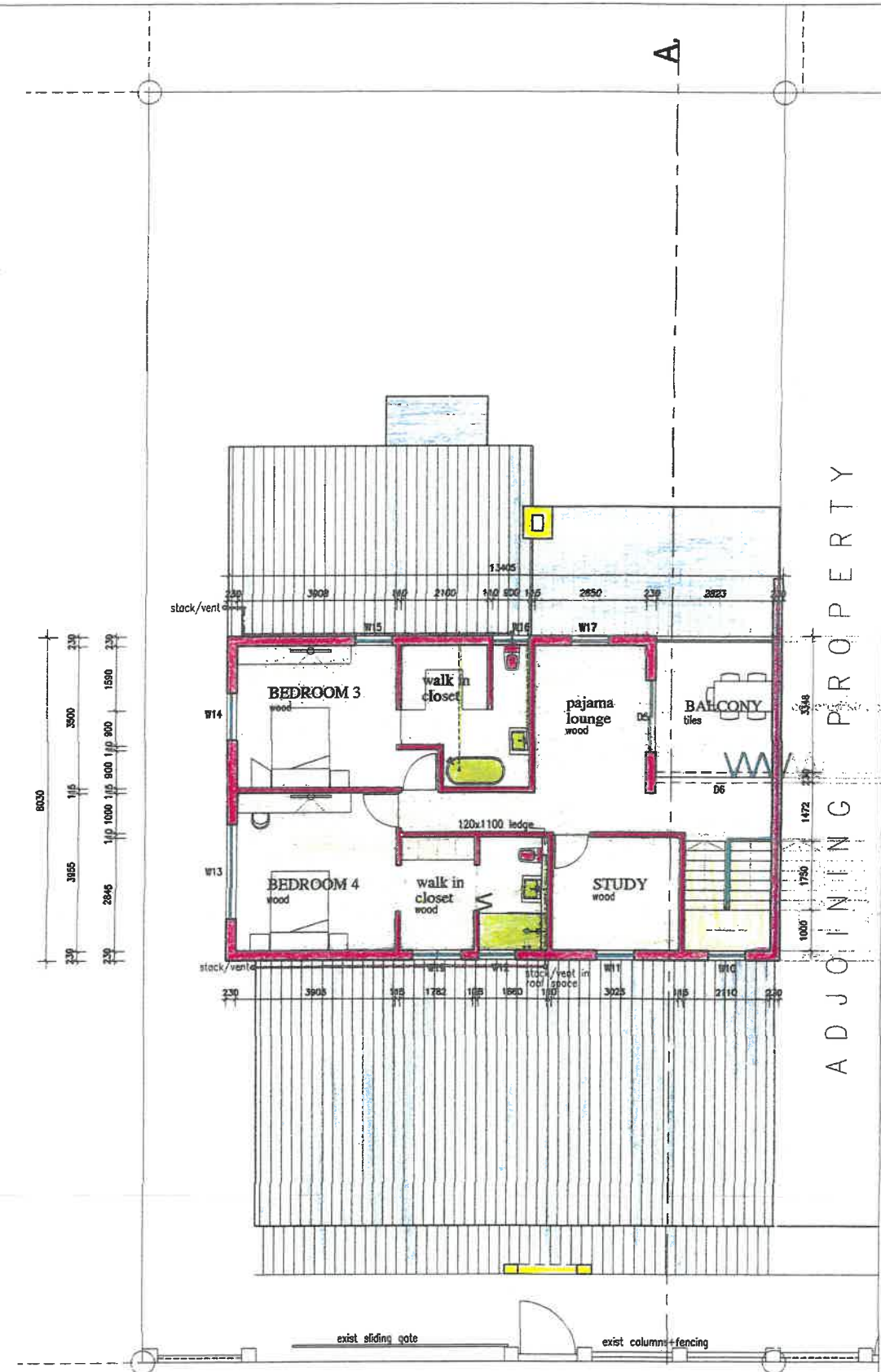
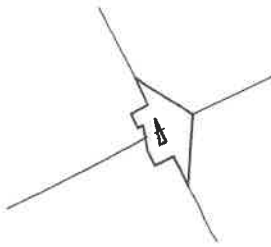
client
 Andrew Green
 Erf 13632
 31 Rustenburg Street
 Stellenbosch

job no.
 1/1/1
 scale
 1:100
 drawing no
 4-1

date
 Jan 2010
 drawn
 don
 rev
 R0

client : *[Signature]*
 designer : *[Signature]*
 SACAP Reg. No. ST 1393




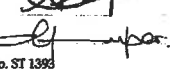



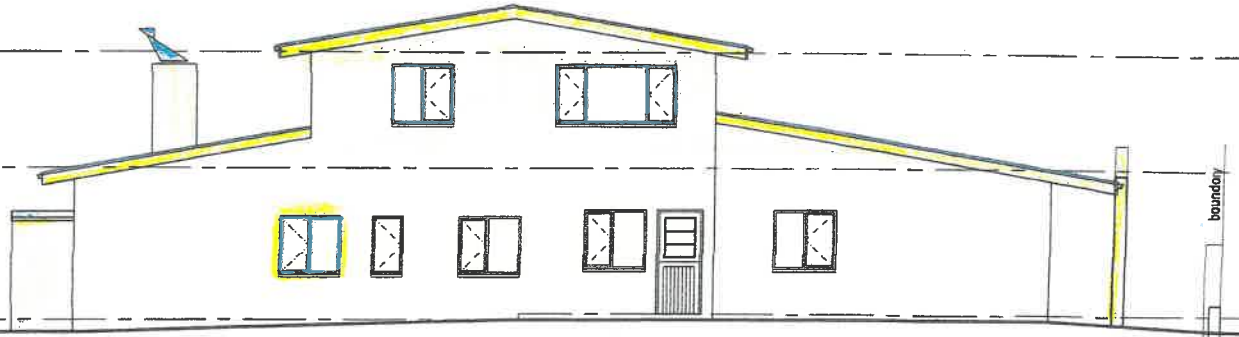
first floor+roof plan

ADJOINING PROPERTY

client
 Andrew Green
 Erf 13632
 31 Rustenburg Street
 Stellenbosch
 drawing
 First Floor

job no.
 1/1/1
 scale
 1:100
 drawing no
 4-2
 date
 Jan 2010
 drawn
 don
 rev
 R0

client : 
 designer : 
 SACAP Reg. No. ST 1398




south west elevation 1:100






north west elevation 1:100



south east elevation 1:100

client
 Andrew Green
 Erf 13632
 31 Rustenburg Street
 Stellenbosch
 Elevations

job no.
 1/1/1
 scale
 1:100
 drawing no
 4-3
 date
 Jan 2010
 drawn
 don
 rev
 R0

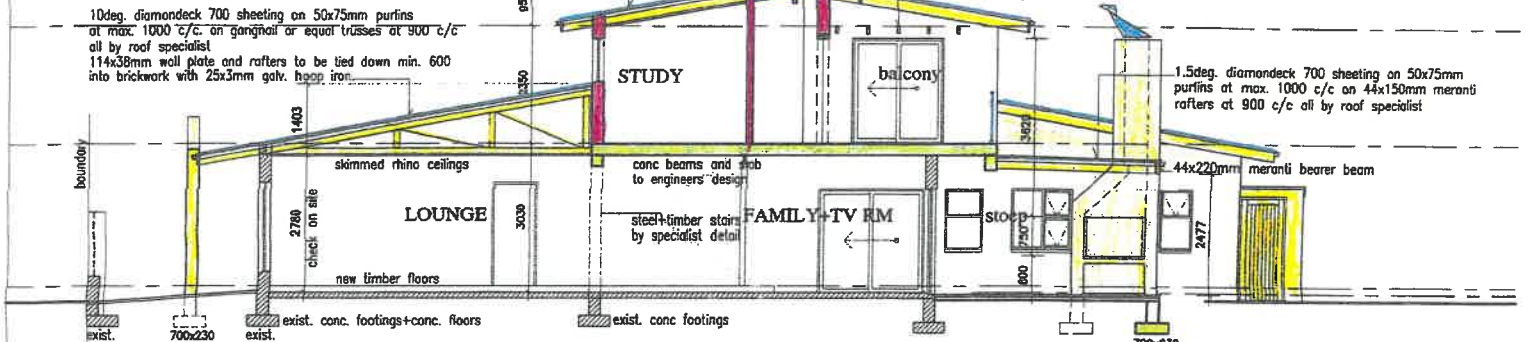
client: 
 designer: 
 SACAP Reg. No. ST 1399


10deg. diamonddeck 700 sheeting on 50x75mm purins at max. 1000 c/c. on 50mm T&G look isoboard on 50x220mm rafters at max. 850mm c/c. all by roof specialist
114x38mm wall plate and rafters to be tied down min. 600 into brickwork with 25x3mm galv. hoop iron.

10deg. diamonddeck 700 sheeting on 50x75mm purins at max. 1000 c/c. on gable end or equal trusses at 900 c/c all by roof specialist
114x38mm wall plate and rafters to be tied down min. 600 into brickwork with 25x3mm galv. hoop iron.

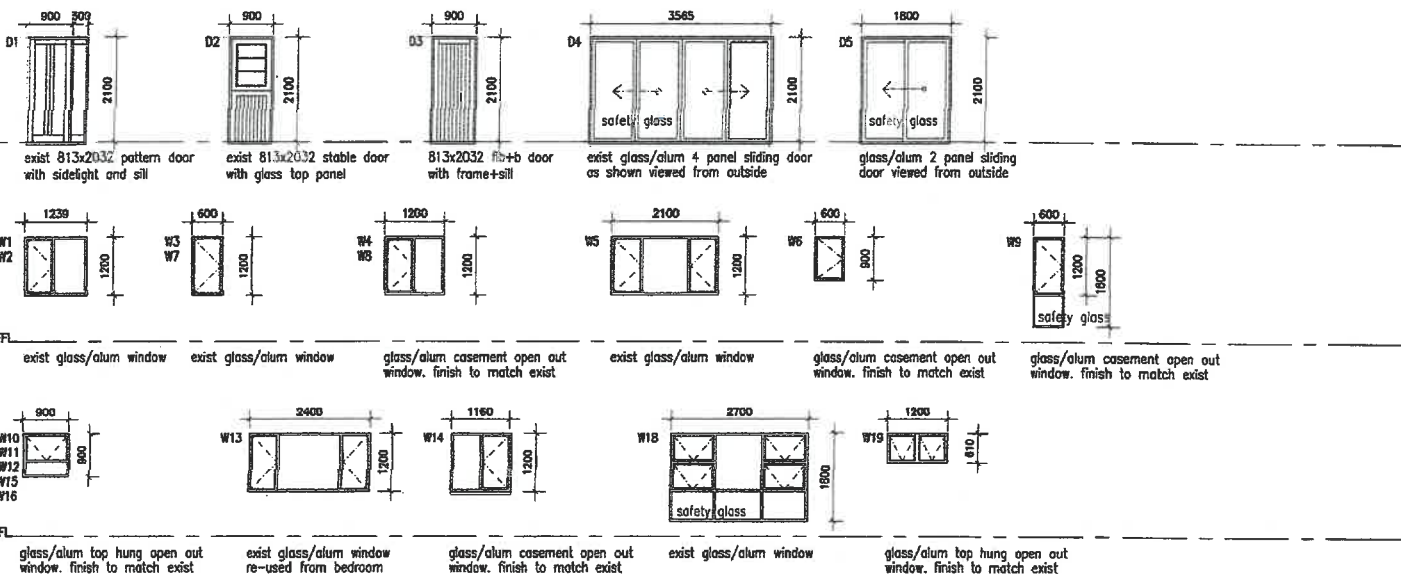
75x300 cape lam beam to engineers details
44x150 meranti pergola rafters at 600 c/c

1.5deg. diamonddeck 700 sheeting on 50x75mm purins at max. 1000 c/c on 44x150mm meranti rafters at 900 c/c all by roof specialist



section A-A 1:100

100mm Floorbed on 250 micron damp proof membrane on 40mm isoboard turned down 400mm on inside foundation walls on 50mm sandbed on 150mm well compacted hardcore.



Doors + Windows 1:100

ENERGY EFFICIENCY INFORMATION:

- FENESTRATION:** Rational design in compliance with acceptable targets for solar heat gain and conductance. Refer A4 sheet for all calculations.
- INSULATION: ROOF**
Roof assembly complies with min R-value of 3.7 in an upwards direction for climate zone 4
Total R value achieved = 4.35
Diamondek metal sheeting with mid shade Colorbond finish R-value = 0.35
Sisalation 405 aluminium foil insulation over battens Total R value achieved = 0.68
Lamboard laminated polyisocyanurate core board with a minimum core density of 34kg/m³ and minimum thickness of 80mm.
Upper facing to be natural matt mineral-coated fiberglass tissue
Lower facing to be white matt mineral-coated fiberglass tissue supplied in widths of 1220mm. Fixing details as per manufacturers instructions.
R-value = 3.33
- WALLS:**
Double skin brick with cavity complies to min R-value of 0.35 for climate zone 4
- WATER HEATING AND PIPE INSTALLATION**
>50% of the volume of the annual hot water supply to be heated by means of solar water heaters and heat pumps
All hot water supply pipes to be fully lagged with either 25mm polyurethane foam or 40mm mineral fiber insulation
R-value 1
- LIGHTING**
All lighting provided will have either energy saver or LED light bulbs.

WATER HEATING CALCULATIONS:

- a H4 Dwelling Occupation 4 beds = 8 people
 - b Usage per person per day = 50 litres
 - c Household consumption per day at 38 degC = 115l/per pers x 8 = 920 litres
Storage volume at 60 degC = 50 litres / per person x 8 = 400 litres
 - d Ambient input temperature = 16 degC
 - e Target output temperature (delivery temperature) = 38 degC
 - f Average difference in temperature = 22 degC
 - g Specific heating of 1 litre of water = 4.182 j/kgK
 - h Daily energy required to heat water = c x f x g = 690 l/day x 22 x 4.182 = 63 482.76 kWh
= 63 482.76 / 3600 = 17.63 kWh
50% of energy required to heat water per year = 4 283.75 kWh
 - i Energy requirement to heat water pa = 17.63 kWh x 365 days = 6 438.44 kWh
 - a Storage capacity = 400 litres
 - b flow rate = 12-14.5l/min
 - c heating capacity = 3kW
 - d power consumption = 1.3kW
 - e co-efficient of productivity = 4 COP
 - f adjusted annual average (divide into figure below) = 2.5 COP
 - g annual heat energy = 8 577.5 kWh
heat pump energy usage = less than 50% of energy required than by using a heat resistance device = 1 715.5 kWh
- Installation complies - 2-off Heatpump spec: 3kw with 200 litre storage
all hotwater pipes to insulated in fibre material with a min R-value of 1>50%

FENESTRATION

	GROUND FLOOR	FIRST FLOOR
NETT FLOOR AREA (m ²)	164 sqm	82 sqm
GLAZING AREA (m ²)	25.94sqm	20.37sqm
GLAZING %	15.5%	24.8%
CUMATIC ZONE	4	4
SANS 204 TABLE 5		
U-Value Constant	1.4	1.4
SHGC Constant	0.13	0.13
U-Value Limit Allowed	229.60	114.8
SHGC Limit Allowed	21.32	10.66
U-Value Limit Achieved	145.26	114.07
SHGC Limit Achieved	10.63	6.27
U-Value Complies?	YES	YES
SHGC Complies?	YES	YES

client
Andrew Green
Erf 13632
31 Rustenburg Street
Stellenbosch

job no.
1/1/1
date
Jan 2010
scale
1:100
drawing no
4-4
drawn
don
rev
RO

client
designer :
SACAP Reg. No. ST 1393

