



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/14914

Our File Reference Number: Erf 13258, Stellenbosch

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 808 8682

Email address: Ulrich.Vonmolendorff@stellenbosch.gov.za

PER E-MAIL: t

Sir / Madam

APPLICATION FOR PERMANENT DEPARTURE ON ERF 13258, STELLENBOSCH

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:
3. That the following application in terms of Section 15(2) of the Stellenbosch Municipal Land Use Planning By-Law, 2023 on Erf 13258, Stellenbosch:

3.1 That the application for permanent departure in terms of Section 15(2)(b) of the Stellenbosch Municipal Land Use Planning By-law 2023 to permit a boundary wall to be 3m in lieu of 1.8m on Erf 13258, Stellenbosch.

BE APPROVED in terms of Section 60 of the said By-Law and subject to conditions of approval.

4. The approval is subject to the following **conditions** imposed in terms of Section 66 of the said Bylaw:

4.1 The approval only applies to the proposed building line departure under consideration and shall not be construed as authority to depart from any other legal prescriptions or requirements from Council or other legislation or By-laws or Regulations that may be applicable.

4.2 The approval granted shall not exempt the applicant from complying with any other legal prescriptions or requirements that might have a bearing on the proposed use.

4.3 Building plans must be generally in accordance with the site plan / floor layout plan as referenced A101 revision B, drawn by LT, dated 05/12/2022 and A102 – A105 revision B, drawn by LT, dated 27/10/2022 attached as **Annexure B**.

5. The reasons for the above decision are as follows:

5.1 The proposed boundary wall is visually permeable and will not have a negative impact on the streetscape.

6. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.

7. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:

7.1 The personal particulars of the Appellant, including:

- i. First names and surname
- ii. ID number
- iii. Company of Legal person's name (if applicable)
- iv. Physical Address
- v. Contact details, including a Cell number and E-Mail address

7.2 Reference to this correspondence and the relevant property details on which the appeal is submitted.

7.3 The grounds of the appeal which may include the following grounds:

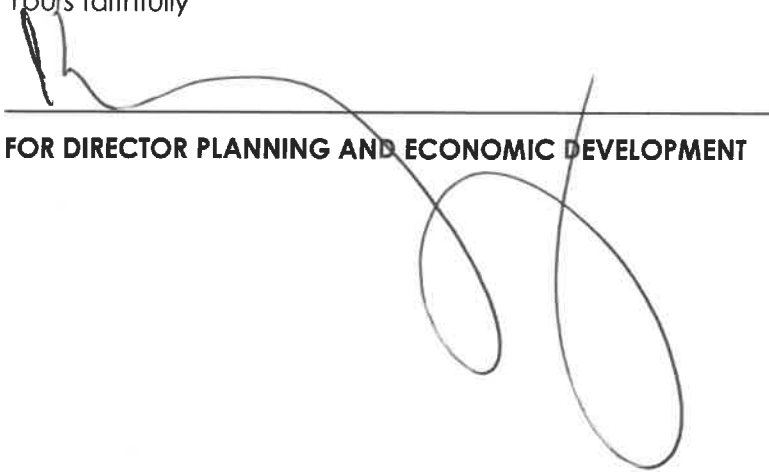
- i. that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000)
- ii. grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.

- 7.4 Whether the appeal is lodged against the whole decision or a part of the decision.
- 7.5 If the appeal is lodged against a part of the decision, a description of the part.
- 7.6 If the appeal is lodged against a condition of approval, a description of the condition.
- 7.7 The factual or legal findings that the appellant relies on.
- 7.8 The relief sought by the appellant.
- 7.9 Any issue that the appellant wishes the Appeal Authority to consider in making its decision.
- 7.10 That the appeal includes the following declaration by the Appellant:
- i. The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
 - ii. That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.
8. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of e-mail at the following address: landuse.appeals@ Stellenbosch.gov.za.
9. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.
10. The approved tariff structure and the banking details for the General Account can be accessed and viewed on the municipal website. For any enquiries the office can be contacted at landuse.appeals@ Stellenbosch.gov.za.
11. An applicant who lodges an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
- (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
 - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
 - (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
 - (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.

12. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.

13. Kindly note the above decision in the case of any approval, is suspended, and may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully



A large, stylized handwritten signature in black ink, consisting of several loops and a long horizontal stroke, positioned above a solid horizontal line.

FOR DIRECTOR PLANNING AND ECONOMIC DEVELOPMENT

25/1/34,
DATE

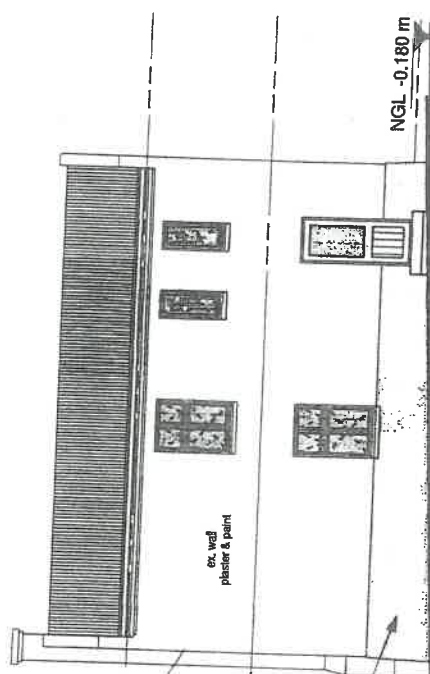
COUNCIL NOTES

- GENERAL:**
 1. ALL WORK TO BE DONE IN ACCORDANCE WITH SANS 10400
 2. SANS 10400 TO BE SATISFIED PER MEANS SPECIFIED IN SCHEDULE A AND B, SANS 10400-A: FORM 1.
 3. DO NOT SCALE. REFER ONLY TO DIMENSIONS.
 4. ALL LEVELS, DIMENSIONS, GRADIENTS AND STEPS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
STRUCTURAL DESIGN:
 3.F. NO STRUCTURAL ENGINEER HAS BEEN APPOINTED ACCORDING TO FORM 1 THE STRUCTURAL SYSTEM TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400 PARTS 4, 4.1, 4.2, 4.3, 4.4, 4.5, 4.6, 4.7, 4.8, 4.9, 4.10, 4.11, 4.12, 4.13, 4.14, 4.15, 4.16, 4.17, 4.18, 4.19, 4.20, 4.21, 4.22, 4.23, 4.24, 4.25, 4.26, 4.27, 4.28, 4.29, 4.30, 4.31, 4.32, 4.33, 4.34, 4.35, 4.36, 4.37, 4.38, 4.39, 4.40, 4.41, 4.42, 4.43, 4.44, 4.45, 4.46, 4.47, 4.48, 4.49, 4.50, 4.51, 4.52, 4.53, 4.54, 4.55, 4.56, 4.57, 4.58, 4.59, 4.60, 4.61, 4.62, 4.63, 4.64, 4.65, 4.66, 4.67, 4.68, 4.69, 4.70, 4.71, 4.72, 4.73, 4.74, 4.75, 4.76, 4.77, 4.78, 4.79, 4.80, 4.81, 4.82, 4.83, 4.84, 4.85, 4.86, 4.87, 4.88, 4.89, 4.90, 4.91, 4.92, 4.93, 4.94, 4.95, 4.96, 4.97, 4.98, 4.99, 5.00, 5.01, 5.02, 5.03, 5.04, 5.05, 5.06, 5.07, 5.08, 5.09, 5.10, 5.11, 5.12, 5.13, 5.14, 5.15, 5.16, 5.17, 5.18, 5.19, 5.20, 5.21, 5.22, 5.23, 5.24, 5.25, 5.26, 5.27, 5.28, 5.29, 5.30, 5.31, 5.32, 5.33, 5.34, 5.35, 5.36, 5.37, 5.38, 5.39, 5.40, 5.41, 5.42, 5.43, 5.44, 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Rev	Description	Date
A	AS BUILT - WHOA and Council	2022/05/12
B	LUMS	2022/10/27

COUNCIL NOTES

GENERAL:
 1. ALL WORK TO BE DONE IN ACCORDANCE WITH SANS 10400
 2. SANS 10400 TO BE SATISFIED PER MEANS SPECIFIED IN SCHEDULE A AND B, SANS 10400-A, FORM 1.
 3. DO NOT SCALE. REFER ONLY TO FIGURED DIMENSIONS.
 4. ALL LEVELS, DIMENSIONS, GRADIENTS AND STEPS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
STRUCTURAL DESIGN:
 3.1F NO STRUCTURAL ENGINEER HAS BEEN APPOINTED ACCORDING TO FORM 1 THE DETAIL REQUIREMENTS OF SANS 10400 PARTS H, J, K, L, M AND N IN THE CASE OF TOWER BUILDINGS WITH SANS 10082.
 3.2 PROVISION OF SANITARY FACILITIES DURING CONSTRUCTION TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-D, SUBMIT PROPOSAL TO THE ARCHITECT FOR APPROVAL.
FOUNDATIONS:
 ALL FOUNDATIONS ACCORDING TO STRUCTURAL ENGINEER'S DESIGN UNLESS OTHERWISE SPECIFIED IN FORM 1.
ALL DEEP FOOTINGS, SOIL BARTS, CONSTRUCTION AND SUB-SURFACE DRAINAGE ACCORDING TO CIVIL ENGINEER'S DETAILS UNLESS OTHERWISE SPECIFIED IN FORM 1.
WALLS:
 1. STRUCTURAL STRENGTH AND STABILITY OF WALLS TO STRUCTURAL ENGINEERS APPROVAL UNLESS OTHERWISE SPECIFIED IN FORM 1.
 2. ALL CLAY MASONRY OR CONCRETE BLOCK WALLS TO BE CONSTRUCTED IN STANDARD SIZE CLAY BRICKS OR STANDARD SIZE CONCRETE BLOCKS.
FLOORS:
 ROOF COVERINGS, WATERPROOFING SYSTEMS, AND FLAT ROOFS, GUTTERS AND DOWN PIPES TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-L AND SANS 10400-R UNLESS OTHERWISE SPECIFIED IN FORM 1.
 2. FIRE RESISTANCE AND COMBUSTIBILITY OF ROOF AND CEILING ASSEMBLY TO COMPLY WITH FIRE ENGINEER'S REQUIREMENTS UNLESS OTHERWISE SPECIFIED IN FORM 1.
HEALTH & PUBLIC SAFETY:
 1. CHANGES IN LEVEL, RAIRS, AND DRIVEWAYS, AND ACCESS TO SWIMMING POOLS TO COMPLY WITH SANS THE DETAIL REQUIREMENTS OF SANS 10400-C UNLESS OTHERWISE SPECIFIED IN FORM 1.
 2. STOREROOMS & DISCONNECTING LOBBIES TO ALL TOILETS TO BE INDEPENDENTLY AND ADEQUATELY VENTILATED IN COMPLIANCE WITH SANS 10400-G.
 3. ALL STAIRS TO BE PROVIDED WITH HANDRAILS AND TO BE IN COMPLIANCE WITH SANS 10400-G FOR PROVIDING FACILITIES FOR PEOPLE WITH DISABILITIES IN ACCORDANCE WITH SANS 10400-G UNLESS OTHERWISE SPECIFIED IN FORM 1.
DRAINAGE AND STORAGE:
 1. DRAINAGE SYSTEM TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-P UNLESS OTHERWISE SPECIFIED IN FORM 1.
 2. STORMWATER DISPOSAL TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-R UNLESS OTHERWISE SPECIFIED IN FORM 1.
WALLS, CEILING AND FINISHES:
 1. ALL FINISHES AS INDICATED ON THE DRAWINGS, MATERIAL NOTES AND/OR FINISHES SCHEDULE UNLESS OTHERWISE SPECIFIED IN FORM 1.
 2. MASONRY WALLS TO BE PLASTERED AND PAINTED UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.

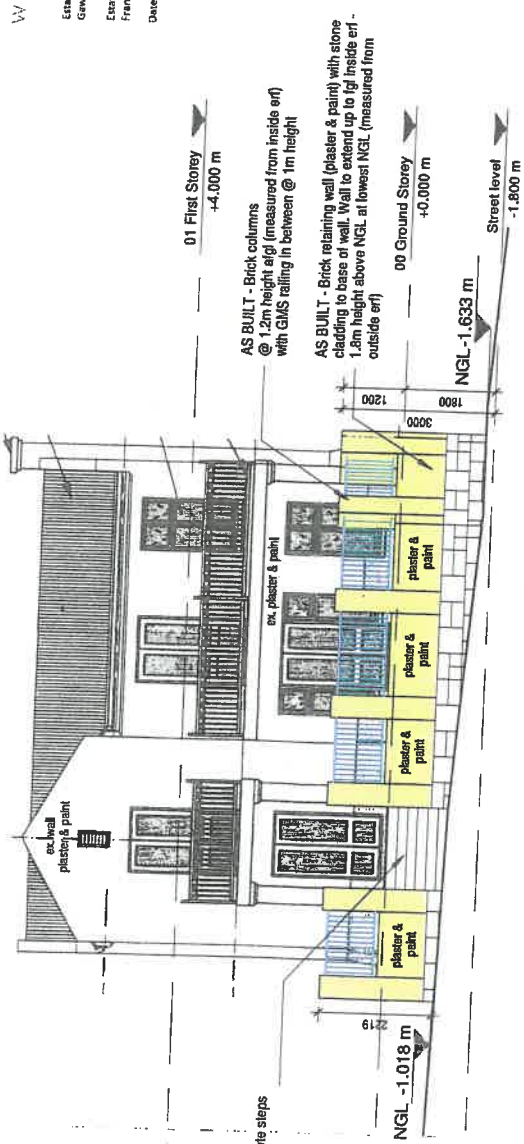


South Elevation

1 : 100

2

WE: GEVONDEN
 Estate Manager
 Gawie Marx
 Estate Review Architect
 Francois Vilhan
 Date of approval: May 2022



North Elevation

1 : 100

1

Date & Time Printed			
Client	Madi Albertse		
Project	Erf 13258, 6 Disa Street, Welgevonden		
Drawing	North and South Elevations		
Scale	1 : 100	Date	10/27/22
Size		Drawn	LT
Project No.		Drawing No.	
Project #	A103	Revision No.	B

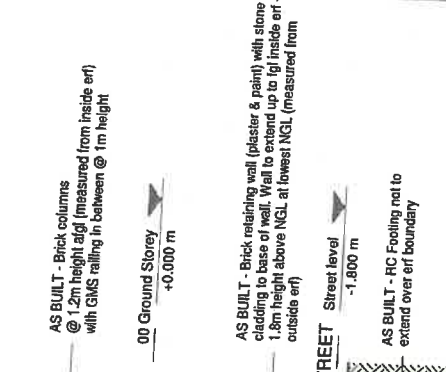
Handwritten signatures and initials in blue ink, including 'Madi', 'Gawie', and 'Francois'.

COUNCIL NOTES

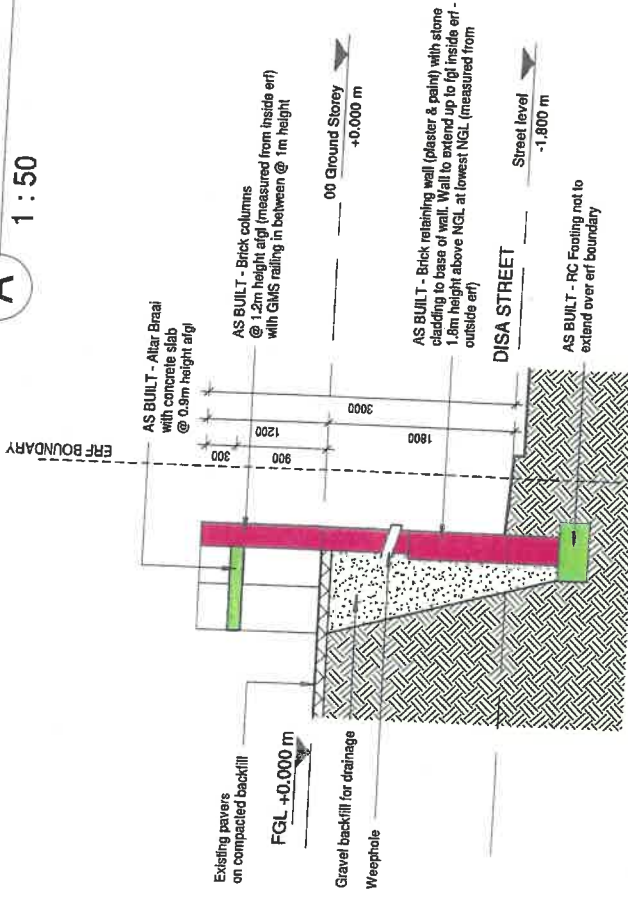
- GENERAL:**
 1. ALL WORK TO BE DONE IN ACCORDANCE WITH SANS 10400
 2. FINISHES TO BE SATISFIED PER MEANS SPECIFIED IN SCHEDULE A AND B, SANS 10400-A;
 3. DO NOT SCALE. REFER ONLY TO FIGURED DIMENSIONS
 4. ALL DIMENSIONS, GRADIENTS AND STEPS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY
STRUCTURAL DESIGN:
 3.F. NO STRUCTURAL ENGINEER HAS BEEN APPOINTED ACCORDING TO FORM 1, THE STRUCTURAL SYSTEM TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400 PARTS 4 AND 5 AND IN THE CASE OF TOWER BUILDINGS WITH SANS 10682.
 1. PROVISION OF SANITARY FACILITIES DURING CONSTRUCTION TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-D, SUBMIT PROPOSAL TO THE ARCHITECT FOR APPROVAL FOR SANITARY FACILITIES.
 ALL FOUNDATIONS ACCORDING TO STRUCTURAL ENGINEERS DESIGN UNLESS OTHERWISE SPECIFIED IN FORM 1.
 ALL DEEP FOOTINGS, SOIL RAFTS COMPACTED AND SUB-SURFACE DRAINAGE ACCORDING TO CIVIL ENGINEERS DETAILS UNLESS OTHERWISE SPECIFIED IN FORM 1.
WALLS:
 1. STRUCTURAL STRENGTH AND STABILITY OF WALLS TO BE CONSTRUCTED IN STANDARD SIZE APPROVAL UNLESS OTHERWISE SPECIFIED IN FORM 1.
 2. CLAY MASONRY OR CONCRETE BLOCK WALLS TO BE CONSTRUCTED IN STANDARD SIZE ROOF COVERINGS WATERPROOFING SYSTEMS, AND FLAT ROOFS, GUTTERS AND DOWN PIPES TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-L AND SANS 10400-H UNLESS OTHERWISE SPECIFIED IN FORM 1.
 2. FIRE RESISTANCE AND COMBUSTIBILITY OF ROOF AND CEILING ASSEMBLY TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-G UNLESS OTHERWISE SPECIFIED IN FORM 1.
 3. HEALTH AND PUBLIC SAFETY:
 1. ALL LEVELS, RAMPS AND DRIVEWAYS, AND ACCESS TO SWIMMING POOLS TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-Q UNLESS OTHERWISE SPECIFIED IN FORM 1.
 2. STOREROOMS AND CONNECTING LOBBIES TO ALL TOILETS TO BE INDEPENDENTLY AND ADEQUATELY LIT AND VENTILATED IN COMPLIANCE WITH SANS 10400-C AND SANS 10400-S UNLESS OTHERWISE SPECIFIED IN FORM 1.
 3. THE MEANS FOR PROVIDING SANITARY FACILITIES FOR PEOPLE WITH DISABILITIES IN ACCORDANCE WITH SANS 10400-S UNLESS OTHERWISE SPECIFIED IN FORM 1.
DRAINAGE & STORMWATER:
 1. DRAINAGE SYSTEM TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-P UNLESS OTHERWISE SPECIFIED IN FORM 1.
 2. STORMWATER DISPOSAL TO COMPLY WITH THE DETAIL REQUIREMENTS OF SANS 10400-R UNLESS OTHERWISE SPECIFIED IN FORM 1.
PAINTS AND FINISHES:
 1. MATERIALS AND FINISHES AS INDICATED ON THE DRAWINGS, MATERIAL NOTES AND/OR FINISHES SCHEDULES.
 2. MASONRY WALLS TO BE PLASTERED AND PAINTED UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.

Client Madi Albertse	
Project Erf 13258, 6 Disa Street, Welgevonden	
Drawing Sections	
Scale 1 : 50	Date 10/27/22
Project No. A105	Revision No. 3

Date & Time printed: 2022/10/27 19:12:30



Section A-A
1 : 50



Section B-B
1 : 50

WELGEVONDEN
 Estate Manager
 Gwene Maza
 Estate Recovery Architect
 Francois Mahen
 Date of approval: May 2022

Handwritten signatures and initials of project team members.