



# STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/9112

Our File Reference Number: Erf 12, La Motte

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 808 8682

Email address: [Ulrich.Vonmolendorff@stellenbosch.gov.za](mailto:Ulrich.Vonmolendorff@stellenbosch.gov.za)

**PER E-MAIL** [REDACTED]

Sir/Madam

## **APPLICATION FOR TECHNICAL APPROVAL FOR A SECOND DWELLING UNIT ON ERF 12, LA MOTTE, FRANSCHHOEK**

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:

2.1 That the following application in terms of Section 15(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, dated 20 October 2015 on Erf 12, La Motte, namely:

2.1.1 Permission /Technical approval in terms of Section 15(2)(g) of the said Bylaw to construct a second dwelling unit on Erf 12 La Motte.

**BE APPROVED** in terms of Section 60 of the said Bylaw and subject to conditions of approval.

3. The approval is subject to the following conditions imposed in terms of Section 66 of the said Bylaw:

3.1 Compliance with the conditions relating to Infrastructure Services contained in memorandum referenced Civil LU 1864, dated 19/08/2019 attached as (Annexure D).

3.2 Development contributions are payable by the prevailing and applicable Council Tariffs at the time of payment before the submission of any building plans or as may be agreed on in writing with the Director of Infrastructure Services attached as (Annexure D).

3.3 The approval applies only to the application in question, as indicated on the referenced drawing No. 01/2019, drawn by EJS Consultant, dated 2019-01-02 as attached as (Annexure B) and shall not be construed as authority to depart from any other legal prescriptions or requirements from Council or other legislation or Bylaws or Regulations that may be applicable.

3.4 The development must be undertaken generally by the site plan as referenced drawing No. 01/2019, drawn by EJS Consultant, dated 2019-01-02 attached as (Annexure B);

3.5 The approval granted shall not exempt the applicant from complying with any other legal prescriptions or requirements that might have a bearing on the proposed use.

3.6 Building plans must be submitted and be approved by this Municipality before the commencing of any building works, including the preparation of land, which will only be approved when all relevant conditions of approval have been complied with.

4. The reasons for the above decision are as follows:

4.1 The proposal will not negatively affect the aesthetic appearance of the property or surrounding environment and the primary use of the property will be uniform with surrounding properties as it will be residential.

4.2 Sufficient on-site parking has been provided.

5. Matters to be noted:

5.1 All electrical requirements to be directed to Eskom.

6. You may now act on the above decision subject to compliance with the conditions of approval.

Yours faithfully



**FOR DIRECTOR: PLANNING AND ECONOMIC DEVELOPMENT**

4/3/2022  
**DATE:**

## **ANNEXURE B: SITE DEVELOPMENT PLAN**



**ANNEXURE D:** COMMENT FROM THE DIRECTOR: ENGINEERING SERVICES



# MEMO

DIRECTORATE: ENGINEERING SERVICES  
DIREKTORAAT: INGENIEURSDIENSTE

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**To ▫ Aan:** Director: Planning + Economic Development  
**Att Aandag** S Newman  
**From ▫ Van:** A Daniels (Development)  
**Date ▫ Datum:** 19/08/2019  
**Our Ref ▫ Ons Verw:** Civil LU 1864  
**Re ▫ Insake:** Erf 12 La Motte: Consent use

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The above mentioned application for the following refers.

- 1) Consent use in order to build a second dwelling on Erf 12 La Motte.

Comments from the Transport, Roads and Stormwater, Water Services, Traffic Engineering and Development Departments will be reflected in this memo and is to be regarded as development conditions to be reflected in the land-use approval.

The above application is **recommended for approval**, Subject to the following conditions:

## 1. Water

- 1.1 The existing water connection must be utilized for the proposed development: no upgrade in the size of the connection will be allowed, unless agreed to by our Water Services Department.

## 2. Sewer

- 2.1 The existing sewer connection must be utilized for the proposed development: no upgrade in the size of the connection will be allowed, unless agreed to by our Water Services Department.
- 2.2 Take note of the municipal sewer line across the property as indicated in the SDP.
- 2.3 Any damages to the municipal sewer line will be for the account of the owner.

## 3. Development Charges (DCs)

- 3.1 Based on the information provided in application the Development Charges payable by the developer is R 22 105.83. (Vat incl.) as per attached Development Charges calculation (Annexure A)
- 3.2 The DC's were calculated for the 2019/2020 financial year. If the account is paid after 30 June 2020 it has to be recalculated using the then applicable tariffs.
- 3.3 DCs are payable prior to building plan approval.

**4. General**

- 4.1 Any changes to any existing civil engineering services of Stellenbosch Municipality is for the account of the owner.

**5. Electrical**

- 5.1 See annexure 1 for electrical comments.

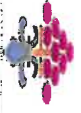


**ABDULLAH DANIELS**

**PRINCIPAL TECHNICIAN: DEVELOPMENT (INFRASTRUCTURE SERVICES)**

W:\2.0 DEVELOPMENT\00 Developments\1864 (AD) Erf 12, La Motte, second dwelling\1864 (AD) Erf 12, La Motte, second dwelling.doc

# Stellenbosch Municipality - Development Charge Calculation



## APPLICATION INFORMATION

Application Number	Thursday, 15/Aug/2019
Date	2019-20
Financial Year	Franschhoek
Erf Location	206
Erf No	645
Erf Size (m <sup>2</sup> )	La Motte
Suburb	
Applicant	
Approved Building Plan No.	

## SUMMARY OF DC CALCULATION

Unit(s)	Water kl/day	Sewer kl/day	Storm-water ha°C	Solid-Waste t/week	Roads trips/day	Community Facilities person	Totals
Total Increased Services Usage	0,180	0,150	0,004	0,015	1,25	1,3	
Total Development Charges before Deductions	R 4 389,24	R 2 421,08	R 277,67	R 832,08	R 8 067,89	R 3 234,49	R 19 222,46
Total Deductions							
Total Payable (excluding VAT)	R 4 389,24	R 2 421,08	R 277,67	R 832,08	R 8 067,89	R 3 234,49	R 19 222,46
VAT	R 658,39	R 363,16	R 41,65	R 124,81	R 1 210,18	R 485,17	R 2 883,37
Total Payable (including VAT)	R 5 047,63	R 2 784,24	R 319,32	R 956,89	R 9 278,08	R 3 719,66	R 22 105,63

## APPLICANT INFORMATION

Application Processed by:	ABDULLAH DANIELS
Signature	
Date	As Above
Amount Paid:	
Date Payment Received	
Receipt Number	



Land Use Category	Unit Type	Existing Usage		Proposed New Usage		Increased Usage	Water	Sewer	Storm-water	Development Charge Levied (excl VAT)		Total								
		area (m2)	du/ha % GLA	area (m2)	du/ha % GLA					Water	Sewer		Storm-water	Solid-Waste	Roads	Community Facilities				
Residential	Single Residential >100m2	du m2 GLA m2	0		du m2 GLA m2	0	R	-	R	-	R	R								
	Single Residential >500m2	du	0		du	0	R	-	R	-	R	R								
	Single Residential >250m2	du	0		du	0	R	-	R	-	R	R								
	Single Residential <250m2	du	0		du	0	R	-	R	-	R	R								
	Less Formal Residential >250m2	du	0		du	0	R	-	R	-	R	R								
	Less Formal Residential <250m2	du	0		du	0	R	-	R	-	R	R								
	Group Residential >250m2	du	0		du	0	R	-	R	-	R	R								
	Group Residential <250m2	du	0		du	0	R	-	R	-	R	R								
	Medium Density Residential >250m2	du	0		du	0	R	-	R	-	R	R								
	Medium Density Residential <250m2	du	0		du	0	R	-	R	-	R	R								
Commercial	High Density Residential - flats	du	0		du	0	R	4 389,24	R	2 421,08	R	277,67	R	832,08	R	8 067,89	R	3 234,49	R	19 222,46
	High Density Residential - student rooms	du	0		du	0	R		R		R		R		R		R		R	
	Local Business - office	m2 GLA	0%		m2 GLA	0%	R		R		R		R		R		R		R	
	Local Business - retail	m2 GLA	0%		m2 GLA	0%	R		R		R		R		R		R		R	
	General Business - office	m2 GLA	0%		m2 GLA	0%	R		R		R		R		R		R		R	
	General Business - retail	m2 GLA	0%		m2 GLA	0%	R		R		R		R		R		R		R	
	Community	m2 GLA	0%		m2 GLA	0%	R		R		R		R		R		R		R	
	Education	m2 GLA	0%		m2 GLA	0%	R		R		R		R		R		R		R	
	Light Industrial	m2 GLA	0%		m2 GLA	0%	R		R		R		R		R		R		R	
	General Industrial - light	m2 GLA	0%		m2 GLA	0%	R		R		R		R		R		R		R	
Industrial	General Industrial - heavy	m2 GLA	0%		m2 GLA	0%	R		R		R		R		R		R		R	
	Noxious Industrial - heavy	m2 GLA	0%		m2 GLA	0%	R		R		R		R		R		R		R	
	Resort	m2 GLA	0%		m2 GLA	0%	R		R		R		R		R		R		R	
	Public Open Space	m2			m2		R		R		R		R		R		R		R	
	Private Open Space	m2			m2		R		R		R		R		R		R		R	
	Natural Environment	m2			m2		R		R		R		R		R		R		R	
	Utility Services	m2 GLA	0%		m2 GLA	0%	R		R		R		R		R		R		R	
	Public Roads and Parking	m2			m2		R		R		R		R		R		R		R	
	Transport Facility	m2			m2		R		R		R		R		R		R		R	
	Limited Use	m2			m2		R		R		R		R		R		R		R	
Special	To be calculated based on equivalent demands																			

\* Complete yellow/green cells.

du = dwelling unit, GLA=Gross lettable area.

Total Development Charges before Deductions

% Deductions per service (%)

% Deductions per service (amount)

Additional Deduction per service - from Service Agreement (sum)

Sub Total after Deductions (excluding VAT)

VAT

Total

\*\*\* displays red if not equal to existing area

R4 389,24	R2 421,08	R277,67	R832,08	R8 067,89	R19 222,46
0,00%	0,00%	0,00%	0,00%	0,00%	0,00%
R 0,00	R 0,00	R 0,00	R 0,00	R 0,00	R 0,00
R4 389,24	R2 421,08	R277,67	R832,08	R8 067,89	R19 222,46
R658,39	R363,16	R41,65	R124,81	R1 210,18	R2 883,37
R5 047,63	R2 784,24	R319,32	R956,89	R9 278,08	R22 105,83