



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/14117

Our File Reference Number: Erf 11982, Stellenbosch

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 – 808 8682

Email address: Ulrich.Vonmolendorff@stellenbosch.gov.za

PER E-MAIL: [REDACTED]

Sir / Madam

APPLICATION FOR PERMANENT DEPARTURE IN TERMS OF SECTION 15(2)(b) OF THE STELLENBOSCH MUNICIPAL LAND USE PLANNING BYLAW, 2015: ERF 11982, STELLENBOSCH

1. The above application refers.
2. The duly authorised decision maker has decided on the above application as follows:
 - 2.1 That the application for permanent departure from the development parameters in terms of Section 15(2)(b) of the Stellenbosch Municipality Zoning Scheme By-Law (2019) on Erf 11982, Stellenbosch for:
 - 2.1.1 Relaxation the street building line (adjacent to Mountain Silver Drive) from 2m to 0m for the construction of a new carport and,
 - 2.1.2 Relaxation of the street building line (adjacent to Cork Oak Clos) from 2m to 0m, along with the common boundary line (adjacent to Erf 12771) from 1m to 0m for the construction of a new storeroom on Erf 11982, Stellenbosch.

BE APPROVED in terms of Section 60 of the said Bylaw and subject to conditions of approval.

- 2.2 The approval is subject to the following conditions imposed in terms of Section 66 of said Bylaw:
 - 2.2.1 The approval only applies to the application under consideration and shall not be construed as authority to depart from any other legal prescriptions or requirements from Council or other legislation or Bylaws or Regulations that may be applicable.
 - 2.2.2 The approval granted shall not exempt the applicant from complying with any other legal prescriptions or requirements that might have a bearing on the proposed use.

- 2.2.3 The development must be undertaken generally in accordance with the site development plan drawing no: MUN-01 & MUN-02, dated 05/11/2021 and 15/09/2021, drawn by Doxah Architects, attached as **Annexure B**.
- 2.2.4 Building plans must be generally in accordance with the site development plan drawing no: MUN-01 & MUN-02, dated 05/11/2021 and 15/09/2021, drawn by Doxah Architects, attached as **Annexure B**.
- 2.2.5 Building plans must be submitted for approval prior to any construction work taking place.

2.3 The reasons for the above decision are as follows:

- 2.3.1 The additions are logical extensions of the existing residential use of the property and will not be out of character with their surroundings.
3. You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.
4. Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:
- (a) The personal particulars of the Appellant, including:
 - (I) First names and surname;
 - (II) ID number;
 - (III) Company of Legal person's name (if applicable)
 - (IV) Physical Address;
 - (V) Contact details, including a Cell number and E-Mail address;
 - (b) Reference to this correspondence and the relevant property details on which the appeal is submitted.
 - (c) The grounds of the appeal which may include the following grounds:
 - (i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);

- (ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.
- (d) whether the appeal is lodged against the whole decision or a part of the decision;
- (e) if the appeal is lodged against a part of the decision, a description of the part;
- (f) if the appeal is lodged against a condition of approval, a description of the condition;
- (g) the factual or legal findings that the appellant relies on;
- (h) the relief sought by the appellant; and
- (i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;
- (j) That the appeal includes the following declaration by the Appellant:
 - (i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
 - (ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.

5. Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address: landuse.appeals@stellenbosch.gov.za
6. Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The LU Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.
7. The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking details for the General Account can also be accessed on the municipal website

<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).

8. An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:
 - (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.
 - (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
 - (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
 - (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.
9. Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.
10. Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully



FOR DIRECTOR PLANNING AND ECONOMIC DEVELOPMENT

13/7/2022
DATE:



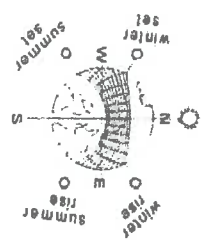
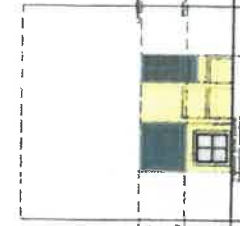
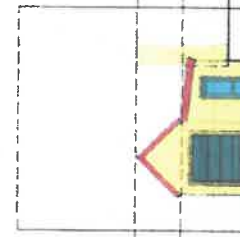
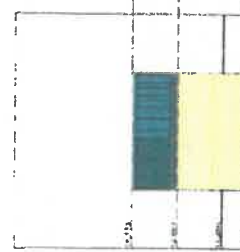
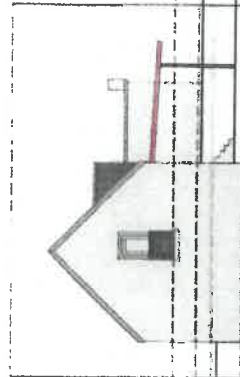
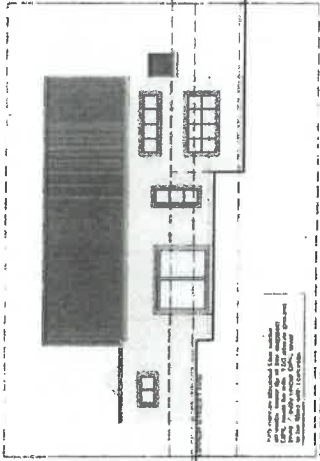
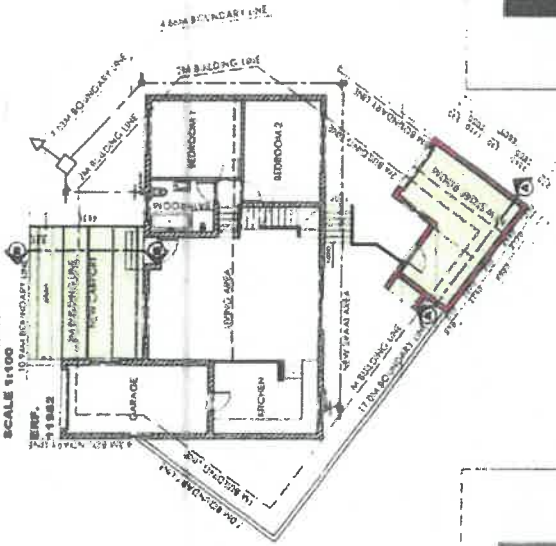
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ANNEXURE B

PURPOSE OF USE: MUNICIPAL SUBMISSION

FLOOR PLAN
SCALE 1:1000



DOXAN

Address: [Redacted]

Principal: H. Enslin PrArch 44336682

PROJECT NO: 2178
PROJECT NAME: HOUSE URQUHART

PROJECT DESCRIPTION:
New Additions
On erf 11982
20 Mountain Silver Road,
Wesleyville
Stellenbosch

DRAWN BY: TLK
Floor Plan & Elevations
DATE: 06/11/2021
DATE: 06/11/2021
DATE: 06/11/2021

PAPER NO: A1
SCALE: 1:2
DRAWN BY: S.G. HENNING
PAD: 42553449

1. ALL DIMENSIONS ARE TO FACE UNLESS STATED OTHERWISE.
2. ALL DIMENSIONS ARE TO FACE UNLESS STATED OTHERWISE.
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8. ALL DIMENSIONS ARE TO FACE UNLESS STATED OTHERWISE.
9. ALL DIMENSIONS ARE TO FACE UNLESS STATED OTHERWISE.
10. ALL DIMENSIONS ARE TO FACE UNLESS STATED OTHERWISE.

Client Name: [Redacted]
Project Name: [Redacted]
Address: [Redacted]
Date of approval: 06/11/2021

General Notes:
1. All dimensions are to face unless otherwise stated.
2. All dimensions are to face unless otherwise stated.
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Notes:
1. The building is to be constructed in accordance with the approved plans.
2. The building is to be constructed in accordance with the approved plans.

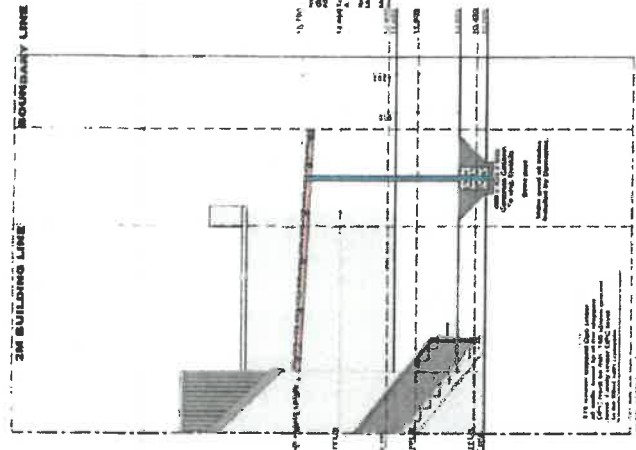
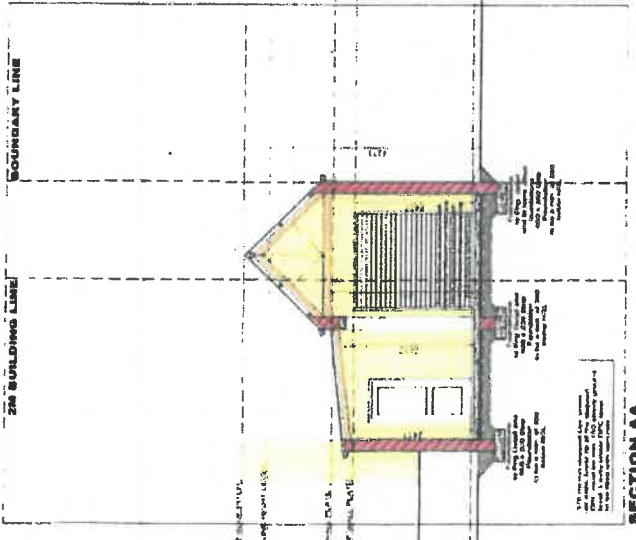
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PURPOSE OF USE: MUNICIPAL SUBMISSION

NO.	DESCRIPTION	DATE
1	Issue for approval	15/08/2021
2	Issue for approval	15/08/2021
3	Issue for approval	15/08/2021
4	Issue for approval	15/08/2021
5	Issue for approval	15/08/2021
6	Issue for approval	15/08/2021
7	Issue for approval	15/08/2021
8	Issue for approval	15/08/2021
9	Issue for approval	15/08/2021
10	Issue for approval	15/08/2021



GENERAL NOTES: SANS 204

CONTRACTOR TO TAKE NOTE OF ALL NOTES LISTED BELOW AND INCLUDED ON DRAWINGS TO ENSURE THE REQUIREMENTS AS STIPULATED IN THE SANS 204 2011 ED 1. DOCUMENT COMPLIANCE TO THESE NOTES BY MEANS OF PHOTOGRAPHIC OR PHYSICAL EVIDENCE THAT WILL PRACTICALLY COMPLETE AND ISSUING OF THE OCCUPATION CERTIFICATE.

WINDOWS & DOORS
 - All windows & doors ALUMINIUM
 - Supply min 10% Light area to each respective room floor
 - Area of which 5% is operable.

FLASHING
 - All flashing and counter flashing wherever roof built against wall or at head and base of parapet walls

CEILING
 - 20mm fibreglass and painted fibreglass ceiling with 20mm wood contact on structural bracing @ 600mm c/c.

RAIN WATER GOODS
 - 125mm Aluminium waterline gutters discharged to 100mm downpipes

HOT WATER CYLINDERS
 - All 11 X 300 litre direct vent panel HWC & / or (HWCs) to be installed in roof space)

INSULATION
 - 120mm "ISOTHERM" flexible fibre glass blanket or similar - in comply with SANS 10400-XA - in ceiling space

CONSTRUCTION NOTE:

WALL CONSTRUCTION:
 - 230mm cavity (hard backed) clay brick
 - Block wall construction with masonry wall less @ a rate of 2.5 hrs per 1 sqm. of face area.
 - Weep holes at intervals @ 1000mm c/c.
 - Weep holes to be sealed plus 3 courses bricks below.

PC LINTOLS
 - Brick lintols with min. 4 course interwork over with exceeding 3m wide and to bear 230mm into wall
 - SANS 10400 Part 14

WALL FINISHES
 - External walls to match existing
 - Colour to owners spec & approval

ROOF FINISHES
 - All finishes to be carried out in accordance with local authority regulations and SANS 10400 Part 14

ROOF FINISHES TO BE CARRIED OUT IN ACCORDANCE WITH LOCAL AUTHORITY REGULATIONS AND SANS 10400 PART 14

SANS 10400 XA - CALCULATIONS

Roots to ring details and spot:
TIMBER ROOF TRUSSES ON 114 x 28mm SPECIALS (TRUSSES DESIGN & SPACING TO SANS 10400-XA, TABLE 1)
EXPOSED TRUSSES TO GARAGE AREA
 ROOF STRUCTURE & CEILING R-VALUE = 0.35
 120mm "ISOTHERM" PFG INSULATION R-VALUE = 1.70
 TOTAL R-VALUE = 2.05

SOLAR HEATING SYSTEMS need to comply with SANS 10400-XA, TABLE 1. These requirements for water heating systems in buildings shall be in accordance with SANS 10262-1:2004 and SANS 10262-1:2004 installation of water systems

All hotwater service pipes shall be clad with insulation with a minimum R-VALUE of 1.28mm polyurethane foam (HWCs) with an internal diameter of less than or equal to 50mm

Thermal insulation if any, shall be installed in accordance with the manufacturer's instructions

SANS 10400 XA - CALCULATIONS

LIGHTING:
 Lighting to comply with table 12 in SANS 10400-XA, TABLE 12
 Max energy demand : 5W/m² & max energy consumption : 0.50W/m² throughout 05:30-19:00 hrs in the used building envelope shall be constructed to minimize air leakage properly sealed. Chimneys of solid masonry shall be sealed at the top of chimney. All doors leading to off of habitable rooms should be sealed

STIPULATIONS
 PRESCRIBED BY THE SANS 204 2011 EDITION 1 COMPLIES TO THE PRESCRIPTIONS FOR AN EFFICIENT BUILDING ARE INCLUDED IN SANS 10400-XA IN ACCORDANCE WITH THE PRESCRIPTIONS CONTAINED IN SANS 204 2011 EDITION 1

AND THE USE OF DIMENSIONS AND UNITS SHOULD BE REFERRED TO THE SANS 10400-XA 2011 EDITION 1 AND SANS 10400-XA 2011 EDITION 1 FOR ALL DIMENSIONS AND UNITS. ALL DIMENSIONS AND UNITS SHOULD BE REFERRED TO THE SANS 10400-XA 2011 EDITION 1 FOR ALL DIMENSIONS AND UNITS. ALL DIMENSIONS AND UNITS SHOULD BE REFERRED TO THE SANS 10400-XA 2011 EDITION 1 FOR ALL DIMENSIONS AND UNITS.

DOXAH
 Address: [REDACTED]
 PROJECT NO: 2176
 PROJECT NAME: HOUSE URQUHART
 PROJECT ADDRESS: New Additions, On erf 11982, Welgevonden, Stellenbosch
 DRAWING NO: MUN - 02
 SECTION: AA & BB
 SCALE: A1
 DATE: 15/08/2021
 DRAWN BY: S.G. HENNING
 PAD: 42553449

SECTION AA
 SCALE 1:50

SECTION BB
 SCALE 1:50