



STELLENBOSCH

STELLENBOSCH • PNIEL • FRANSCHHOEK

MUNISIPALITEIT • UMASIPALA • MUNICIPALITY

Application Number: LU/11932

Our File Reference Number: Erf 10567, Stellenbosch

Your Reference Number:

Enquiries: Ulrich von Molendorff

Contact No: 021 – 808 8682

Email address: Ulrich.Vonmolendorff@stellenbosch.gov.za

PER E-MAIL: [REDACTED]

Sir / Madam

APPLICATION FOR DEPARTURE: ERF 10567, STELLENBOSCH

1. The above application refers.

2. The duly authorised decision maker has decided on the above application as follows:

2.1 That the application for Departure, in terms of Section 15 (2) (b) of the Stellenbosch Municipal Land Use Planning Bylaw 2015, to relax the Common building line from **1m to 0m** in order to accommodate additions on the existing dwelling unit on Erf 10567, as indicated on Plan IV10567 DWG NO. 101 and 102, dated 08 June 2020.

BE APPROVED in terms of Section 60 of the said bylaw, subject to conditions in terms of Section 66 of the said Bylaw:

2.2 Conditions of Approval:

1. The approval applies only to the departure applied for and shall not be construed as authority to depart from any other Council requirements or legal provisions;
2. The conditions imposed by the Manager: Electrical Services as contained in their memo dated 11 March 2021, attached as **Annexure F**, be complied with;
3. Building plans must be submitted to this municipality for approval;
4. The approval shall lapse if not acted upon within a period of five years from the date of approval;

2.3 The reasons for the above decision are as follows:

1. The proposed development can be regarded as desirable as it is a logical extension to the house and will not impact negatively on the character of the area.

- 3 You are hereby informed in terms of section 79(2) of the Stellenbosch Municipal Land Use Planning Bylaw, 2015, of your right to appeal the above decision to the Appeal Authority within 21 days from the date of notification of the above decision. Please note that no late appeals or an extension of time for the submission of appeals are permitted in terms of Section 80(1)(a) of the said By-Law.

- 4 Appeals must be submitted with the prescribed information to satisfy the requirements of Section 80(2) of the said By-law, failing which the appeal will be invalid in terms of Section 81(1)(b) of the said By-Law. The following prescribed information is accordingly required:
 - (a) The personal particulars of the Appellant, including:
 - (I) First names and surname;
 - (II) ID number;
 - (III) Company of Legal person's name (if applicable)
 - (IV) Physical Address;
 - (V) Contact details, including a Cell number and E-Mail address;

 - (b) Reference to this correspondence and the relevant property details on which the appeal is submitted.

 - (c) The grounds of the appeal which may include the following grounds:
 - (i) that the administrative action was not procedurally fair as contemplated in the Promotion of Administrative Justice Act, 2000 (Act 3 of 2000);

 - (ii) grounds relating to the merits of the land development or land use application on which the appellant believes the authorised decision maker erred in coming to the conclusion it did.

 - (d) whether the appeal is lodged against the whole decision or a part of the decision;

 - (e) if the appeal is lodged against a part of the decision, a description of the part;

- (f) if the appeal is lodged against a condition of approval, a description of the condition;
- (g) the factual or legal findings that the appellant relies on;
- (h) the relief sought by the appellant; and
- (i) any issue that the appellant wishes the Appeal Authority to consider in making its decision;
- (j) That the appeal includes the following declaration by the Appellant:
 - (i) The Appellant confirms that the information contained in the subject appeal and accompanied information and documentation is complete and correct
 - (ii) That the Appellant is aware that it is an offence in terms of Section 86(1)(d) of the said By-Law to supply particulars, information or answers in an appeal against a decision on an application, or in any documentation or representation related to an appeal, knowing it to be false, incorrect or misleading or not believing them to be correct.

5 Appeals must be addressed to the Municipal Manager and submitted to his/ her designated official by means of E-mail at the following address: landuse.appeals@stellenbosch.gov.za

6 Any party (applicant or other) who lodges an appeal must pay the applicable appeal fee in terms of the approved municipal tariffs and submit the proof of payment together with the appeal. The **LU** Reference number on this correspondence, or the applicable Erf/ Farm Number must be used as the reference for the payment of the appeal fee.

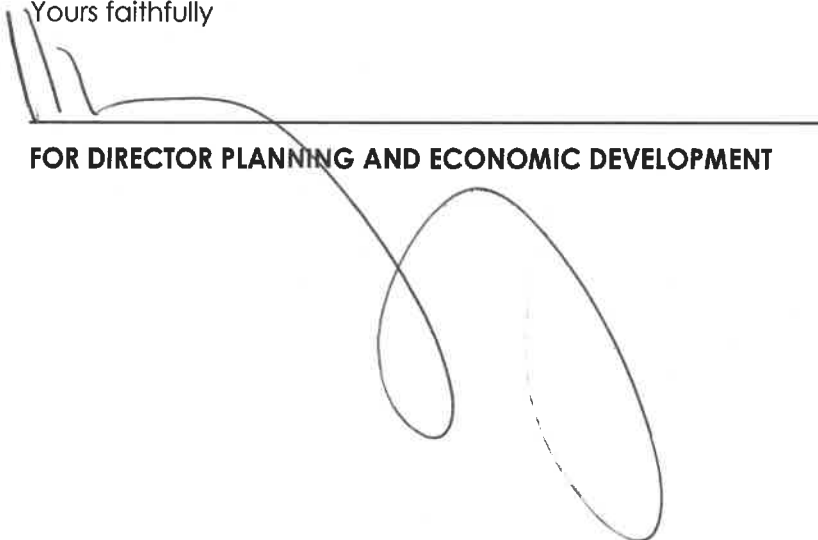
7 The approved tariff structure may be accessed and viewed on the municipal website (<https://www.stellenbosch.gov.za/documents/finance/rates-and-tariffs>) and the banking details for the General Account can also be accessed on the municipal website (<https://www.stellenbosch.gov.za/documents/general/8314-stellenbosch-municipality-banking-details-1/file>).

8 An applicant who lodge an appeal must also adhere to the following requirements stipulated in terms of section 80(3) to (7) of the said By-law:

- (a) Simultaneously serve the appeal on any person who commented on the application concerned and any other person as the municipality may determine.

- (b) The notice by the applicant must invite persons to comment on the appeal within 21 days from date of notification of the appeal.
 - (c) The notice must be served in accordance with section 35 of the said legislation and in accordance with the prescripts or such additional requirements as may be determined by the Municipality.
 - (d) Proof of serving the notification must be submitted to the Municipality at the above E-mail address within 14 days of serving the notification.
- 9 Kindly note that no appeal right exists in terms of Section 62 of the Local Government Municipal Systems Act, No 32 of 2000.
- 10 Kindly note the above decision is suspended, and in the case of any approval, may therefore not be acted on, until such time as the period for lodging appeals has lapsed, any appeal has been finalised and you've been advised accordingly.

Yours faithfully



A large, stylized handwritten signature in black ink, starting with a vertical line and ending in a large loop.

FOR DIRECTOR PLANNING AND ECONOMIC DEVELOPMENT

2/9/2021
DATE:

ANNEXURE F: COMMENT FROM THE MANAGER:
ELECTRICAL DEPARTMENT

7

Erf 10567

. No Comment

1.

CONDITIONS

2. Appropriate caution shall be taken during construction, to prevent damage to existing electrical equipment in the vicinity. Should damage occur, the applicant will be liable for the cost involved repairing damages?

ERF



11/03/21

STELLENBOSCH MUNICIPALITY
PLANNING AND DEVELOPMENT SERVICES
18 MAR 2021
RECEIVED

FILE NR.	
SCAN NR:	E 10567 S
COLLABORATOR NR:	703840

General Notes:
 Contractor and Sub-Contractors to check all levels and dimensions on site before any work is commenced. If any discrepancies are identified, they must be reported to the Architect immediately.
 Proposed dimensions to be taken by reference to the datum level of the site.
 All work to be done in accordance with the Building Regulations and Local Authority requirements of the relevant jurisdiction.
 All plans shall be drawn to a scale of 1:100.
 All dimensions shall be taken from the level of the datum.
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Specification Notes:
 NEW WALLS
 EXISTING WALLS
 DEMOLISHED



AREA CALCULATION:

ERF 10567	489m ²
EXISTING DWELLING:	210m ²
PROPOSED ADDITIONS:	24m ²
TOTAL:	24m ²
COVERABLE:	489m ²

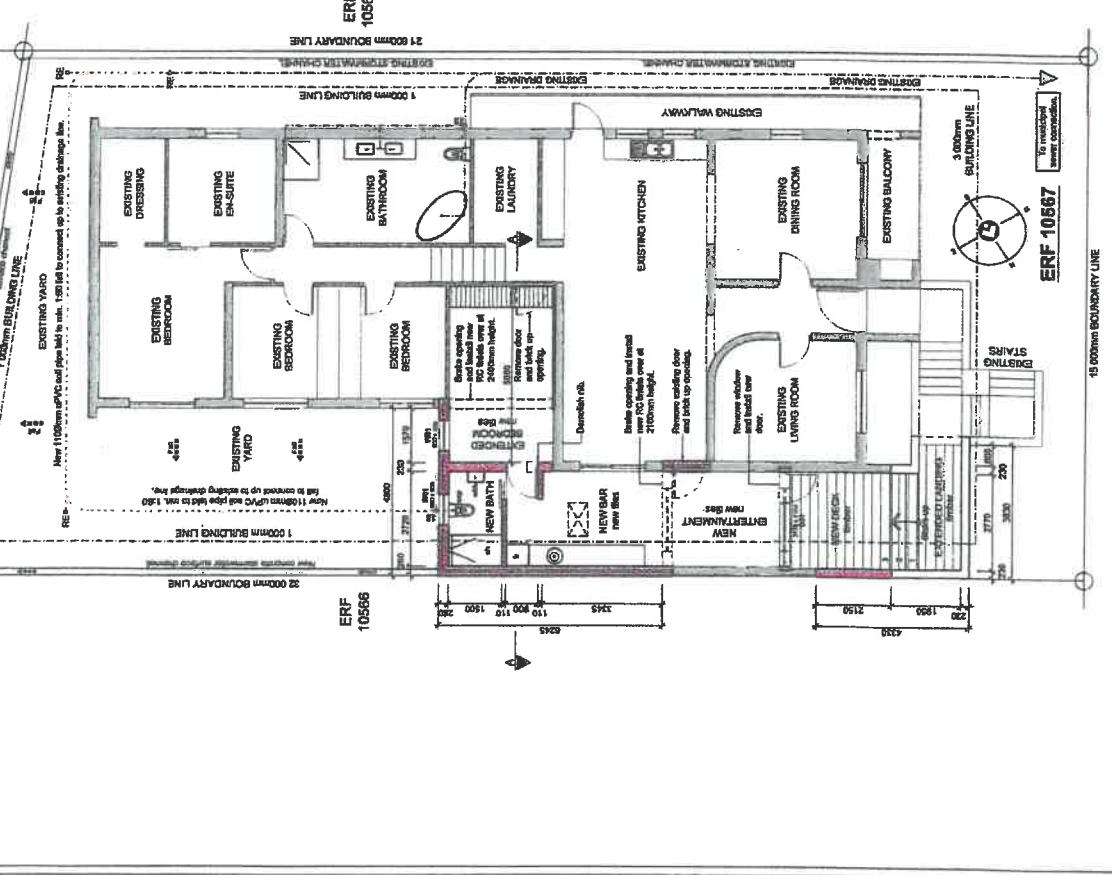
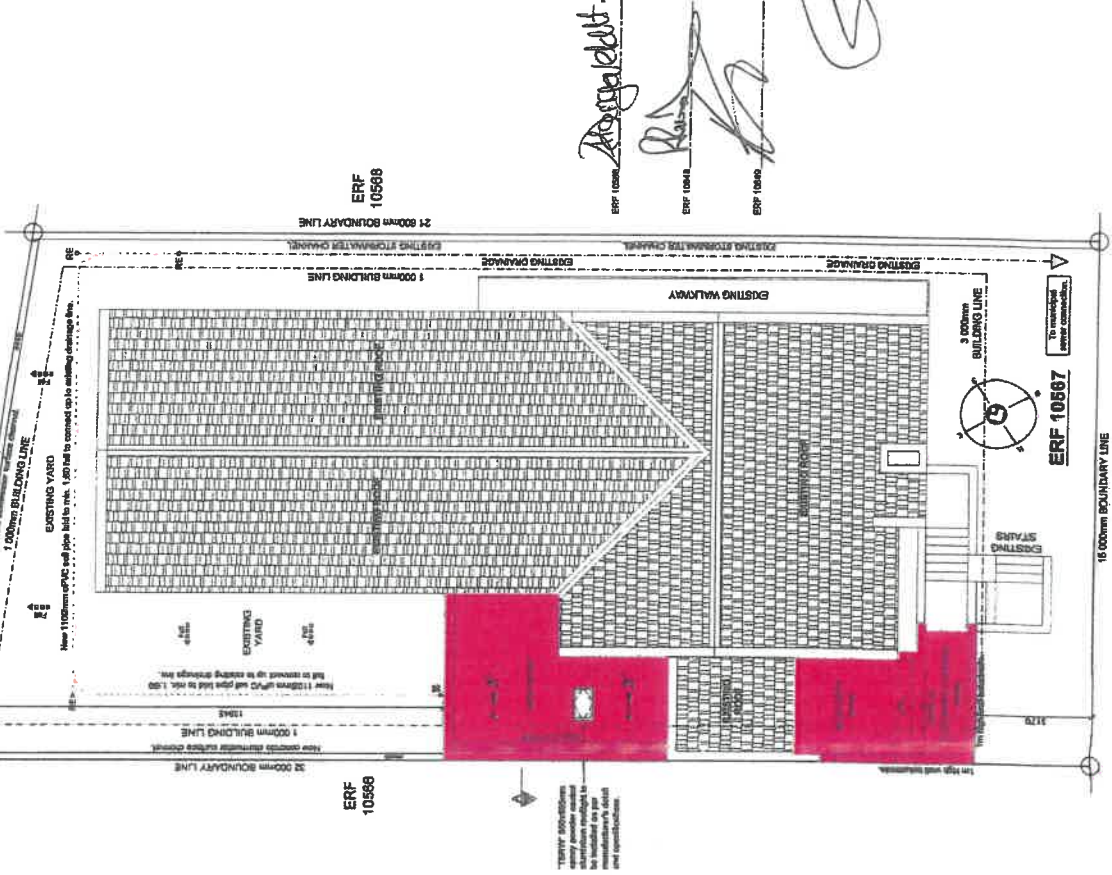
PROJECT NO: 101
 SCALE: 1:100
 DATE: 08 JUN 2020
 ARCHITECT: [Signature]
 CLIENT: [Signature]

ADDITIONS & ALTERATIONS TO EXISTING DWELLING ON ERF 10567, STELLENBOSCH

SITE & FLOOR PLAN

15 000mm BOUNDARY LINE
 MAROELA STREET
FLOOR PLAN SCALE 1:100

15 000mm BOUNDARY LINE
 MAROELA STREET
SITE & ROOF PLAN SCALE 1:100



15 000mm BOUNDARY LINE
 MAROELA STREET
FLOOR PLAN SCALE 1:100

